

ITEM: 6.5	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A021/24
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Report Date: April 19, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A021/24
9 ROSSHAVEN CRESCENT WOODBRIDGE**

CITY WARD #:	3
APPLICANT:	Antonio Macri & Nadia Migliano
AGENT:	Square Design Consulting Inc.
PROPERTY:	9 Rosshaven Crescent, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Density Residential", Volume 2, Area Specific Policy 12.13 - Block 40/47.
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana, swimming pool and reduced front and rear yard landscaping requirements.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RD3, Residential Detached Zone Three and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum setback of 7.5 m is required from the rear lot line to the cabana. [Schedule A3]	To permit a minimum setback of 1.17 m from the rear lot line to the cabana.
2	A minimum setback of 1.2 m is required from the interior side lot line to the cabana. [Schedule A3]	To permit a minimum setback of 0.81 m from the interior side lot line to the cabana. <i>*Variance updated using Zoning Review Waiver</i>
3	The maximum height of any accessory building or structure measured from the average finished ground level to the nearest part of the roof shall not be more than 3 m above finished grade for a cabana. [4.1.1.b]	To permit a maximum height of 3.13 m above finished grade measured from average finished ground level to the nearest part of the roof for a cabana. [4.1.1.b]
4	A minimum setback of 1.5 m is required from the southerly interior side lot line to a swimming pool. [4.1.1.i]	To permit a minimum setback of 1.2 m from the southerly interior side lot line to a swimming pool (measured perpendicular from the lot line). <i>*Variance updated using Zoning Review Waiver</i>
5	A minimum setback of 1.5 m is required from the rear lot line to a swimming pool. [4.1.1.i]	To permit a minimum setback of 1.26 m from the rear lot line to a swimming pool (measured perpendicular from the lot line). <i>*Variance updated using Zoning Review Waiver</i>
6	Where the area of a rear yard of a lot is greater than 135 square metres, a minimum of sixty percent (60%) (72 m ²) of that portion of the rear yard in excess of 135 square metres shall be composed of soft landscaping. [4.1.2.b]	To permit a minimum of 51.6% (62 m ²) of the area of the rear yard in excess of 135 square metres to be composed of soft landscaping. <i>*Variance updated using Zoning Review Waiver</i>
7	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with Paragraph 4.1.2 of the bylaw. (23.52 m ² front yard soft landscaped area is required). [4.1.4.f.v (2)]	To permit a minimum of 57.47% (22.53 m ²) of the minimum required landscaped front yard to be composed of soft landscaped area.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 25, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	April 13, 2024
Date Applicant Confirmed Posting of Sign:	April 8, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Cannot comply with bylaw setbacks and lot coverage, Cabana height
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The proposed cabana and swimming pool can increase to the existing storm drainage flows on the subject property having adverse effects on the neighbour's property. The Owner / Applicant shall ensure that positive drainage is achieved and that no surface drainage problems are created on adjacent private or public lands because of the construction in accordance with the City's Engineering standards. It is important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A021/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comments received to date

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No objections or comments

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

		Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

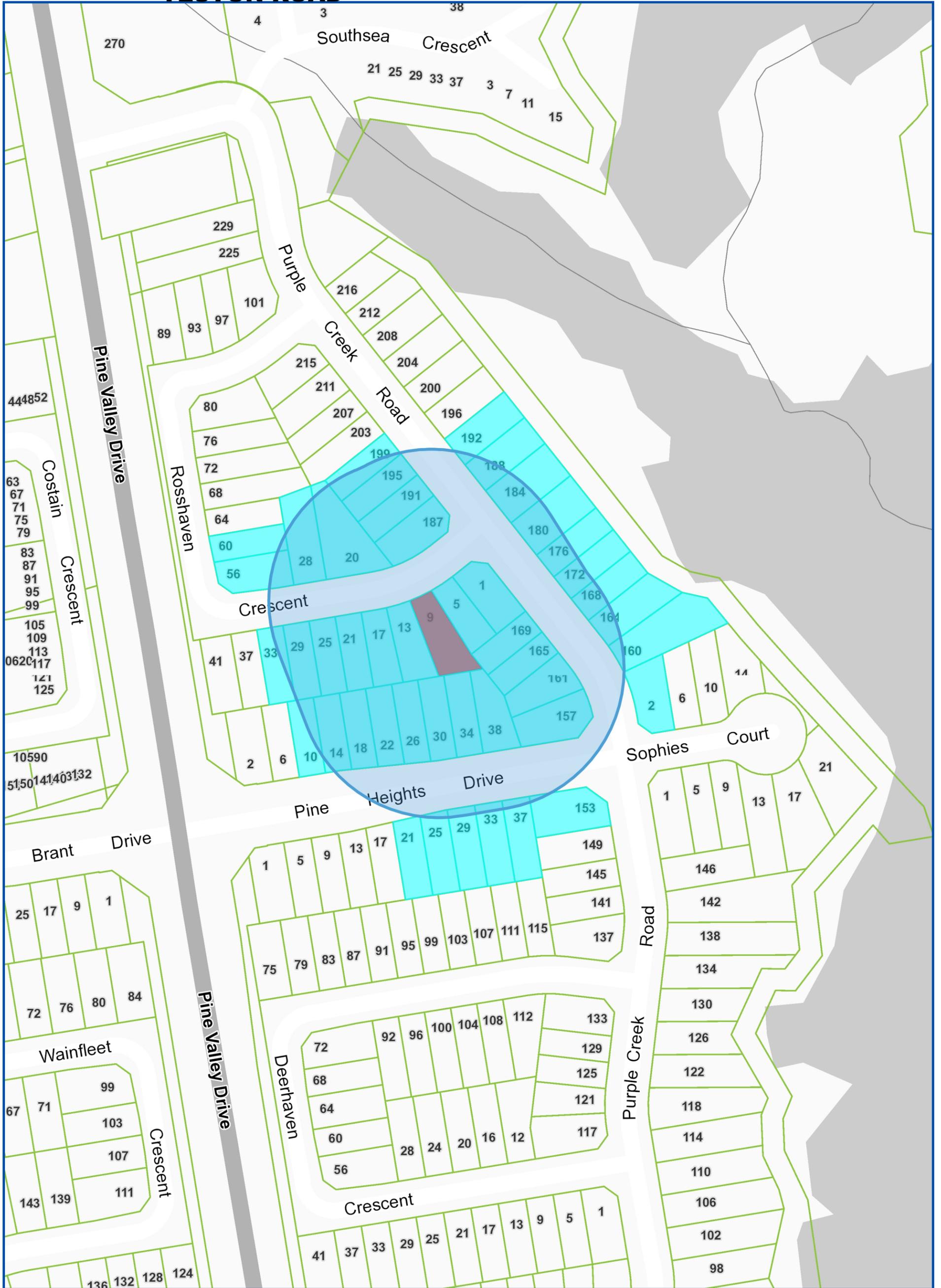
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

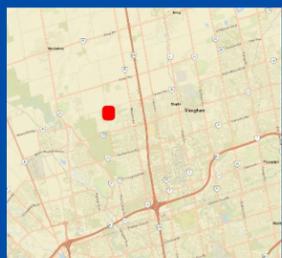
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

TESTON ROAD



Map Information:



Title:

9 Rosshaven Crescent, Woodbridge

NOTIFICATION MAP - A021/24

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



Created By:

Infrastructure Delivery
Department

February 16, 2024 9:47 AM

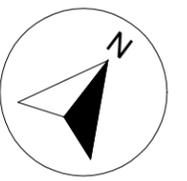
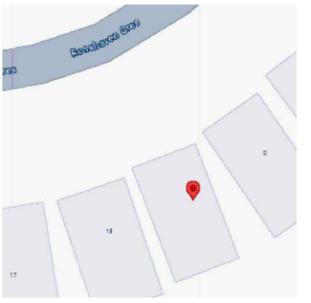
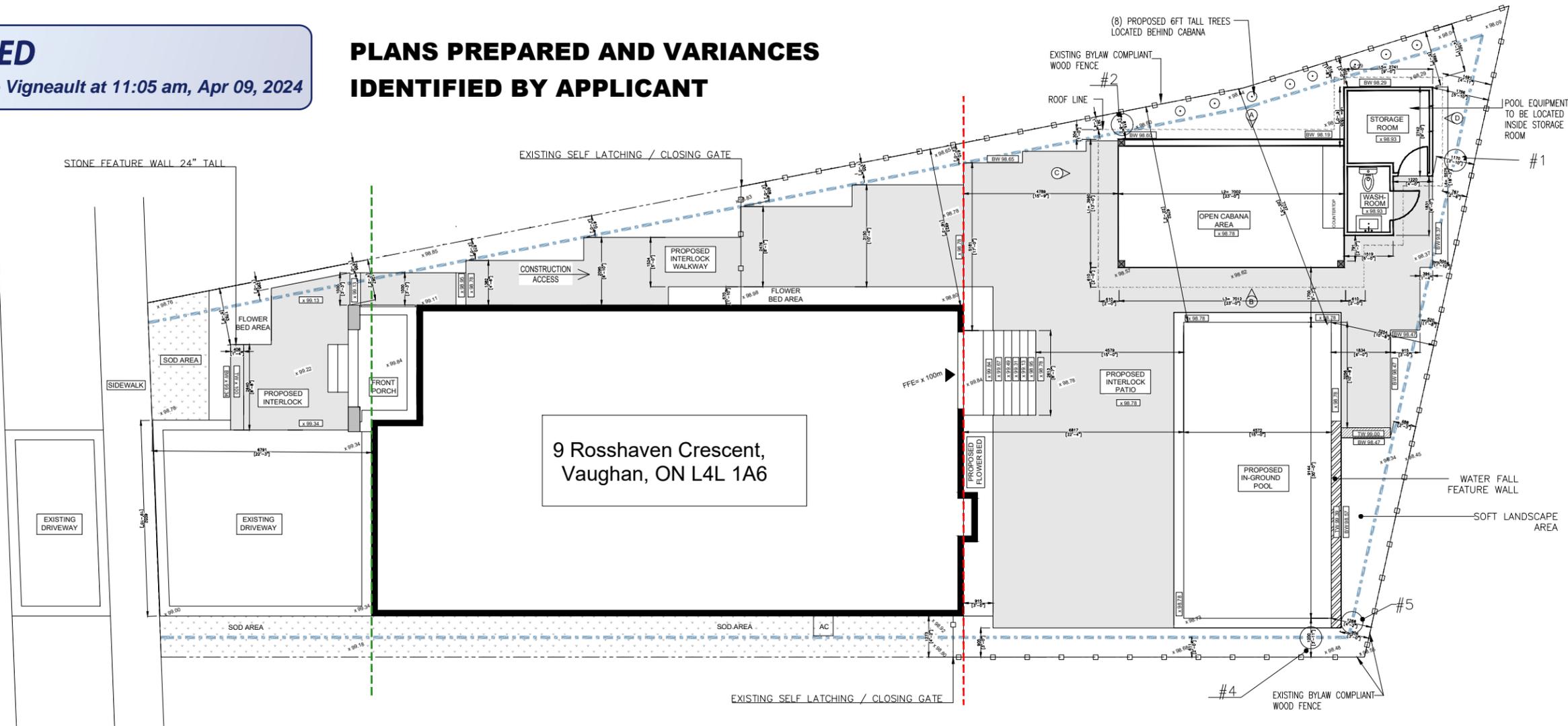
Projection:
NAD 83
UTM Zone
17N

RECEIVED

By Christine Vigneault at 11:05 am, Apr 09, 2024

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

ROSSHAVEN CRESCENT



No.	DESCRIPTION	DATE
#1	MV's Identified	3/1/2024
REVISIONS		

ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL DATE: _____
 SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
 DO NOT SCALE DRAWINGS.

SITE DEVELOPMENT	
CATEGORY	AREA
TOTAL LOT AREA	592 m ²
EXISTING HOUSE + PORCH FOOTPRINT w/out EAVES	179 m ²
PROPOSED CABANA w/ EAVES	Cabana 38 m ² + 13.9 m ² Eaves = 51.9 m ²
LOT COVERAGE	PROVIDED
EXISTING HOUSE + PORCH FOOTPRINT w/out EAVES	30 %
PROPOSED CABANA w/ eaves	8.7 %
TOTAL COVERAGE	38.7 %
LANDSCAPE AREA (REAR LOT)	PROVIDED
TOTAL REAR YARD AREA	255 m ²
REQUESTED SOFT LANDSCAPE AREA	(255m ² - 135 m ²) x 80% = 72 m ²
PROPOSED SOFT LANDSCAPE AREA	62 m ²
HARD LANDSCAPE AREA	193 m ²

TOTAL FRONT YARD AREA	78.4 m ²
EXISTING DRIVEWAY AREA	38 m ²
REQUIRED MIN. SOFT LANDSCAPE AREA	39.2m ²
PROPOSED SOFT LANDSCAPE AREA	22.53 m ²
HARD LANDSCAPE AREA	17.87m ²

LEGEND			
× [XX m]	-Proposed Grades	T.W	-Top of Wall
× [XX m]	-Existing Grades	B.W	-Bottom of Wall
▲	-Entrance Door	- - - -	Rear Yard Line
- - - -	2' Undisturbed Area Around Lot Line	- - - -	Front Yard Line
- - - -	Property Line	- - - -	Property Line

ESTABLISHED GRADE CALCULATION				
LENGTH #	BEGIN ELEV.	END ELEV.	LENGTH	EL. 1+EL. 2 / 2 x L
L1	98.57	98.60	3.960m	390.3
L2	98.60	98.19	7.307m	718.9
L3	98.57	98.37	7.317m	720.5
L4	98.37	98.29	5.795m	569.8
L5	98.29	98.29	2.741m	269.4
L6	98.18	98.29	1.835m	180.2
TOTAL			28.955m	2849.1
ESTABLISHED GRADE			2967.9/30.161m	98.39

A1.0 Site Plan
 1:150



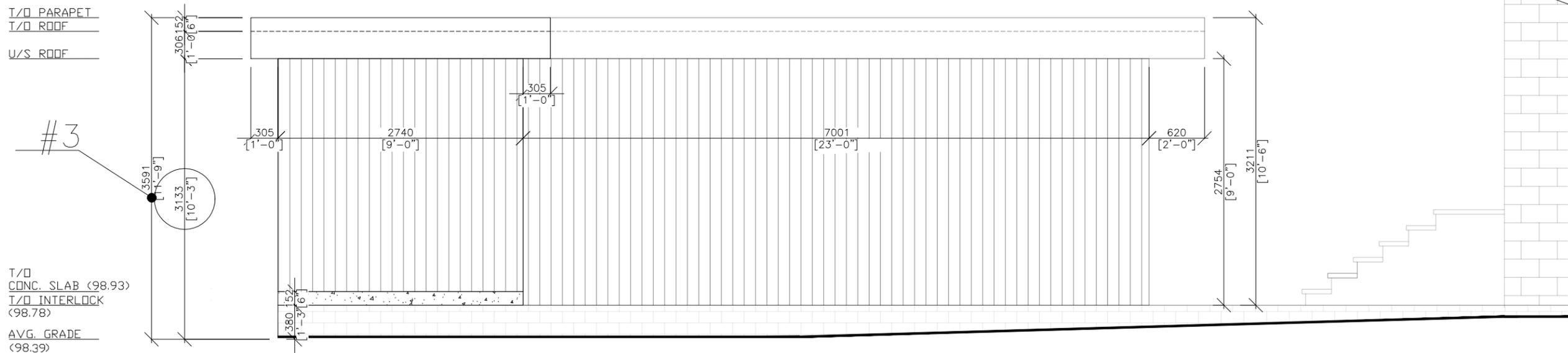
PROJECT: Proposed Cabana & Pool
 ON
 9 Rosshaven Crescent
 Vaughan

DRAWING: SITE PLAN	
DATE: 2024-04-08	PROJECT No.
SCALE: AS NOTED	DRAWING No.
DRAWN BY:	REVIEWED BY: A1

PLOT SCALE: 1" =

ESTABLISHED GRADE CALCULATION

LENGTH #	BEGIN ELEV.	END ELEV.	LENGTH	$\frac{EL.1+EL.2}{2} \times L$
L1	98.57	98.60	3.960m	390.3
L2	98.60	98.19	7.307m	718.9
L3	98.57	98.37	7.317m	720.5
L4	98.37	98.29	5.795m	569.8
L5	98.29	98.29	2.741m	269.4
L6	98.18	98.29	1.835m	180.2
		TOTAL	28.955m	2849.1
ESTABLISHED GRADE			2967.9/30.161m	98.39



T/O PARAPET
T/O ROOF
U/S ROOF

T/O CONC. SLAB (98.93)
T/O INTERLOCK (98.78)
AVG. GRADE (98.39)

1
A3
Elevation A
1:50

#1	MV's Identified	3/1/2024
No.	DESCRIPTION	
	REVISIONS	

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL DATE
SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.



PROJECT:
Proposed Cabana & Pool
ON
9 Rosshaven Crescent
Vaughan

DRAWING:
Elevation

PLOTTED:
DATE: 2024-02-22 PROJECT No.

SCALE: AS NOTED DRAWING No.

DRAWN BY: REVIEWED BY: A3

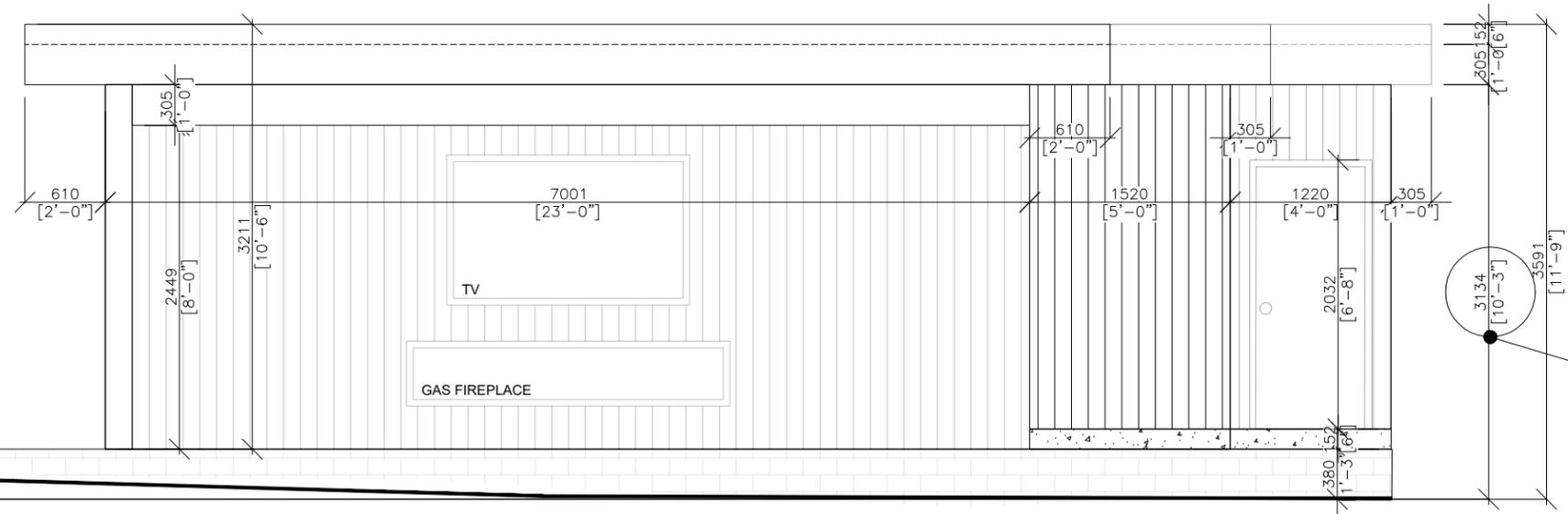
XREFS: FILE NAME: PLOT SCALE: 1" =

ESTABLISHED GRADE CALCULATION

LENGTH #	BEGIN ELEV.	END ELEV.	LENGTH	$\frac{EL.1+EL.2}{2} \times L$
L1	98.57	98.60	3.960m	390.3
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		TOTAL	28.955m	2849.1
ESTABLISHED GRADE			2967.9/30.161m	98.39

T/O PARAPET
T/O ROOF
U/S ROOF
U/S BEAM

T/O
CONC. SLAB (98.93)
T/O INTERLOCK
(98.78)
AVG. GRADE
(98.39)



#3

#1	MV's Identified	DATE
		3/1/2024
No.	DESCRIPTION	
REVISIONS		

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL DATE
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PROJECT:
Proposed Cabana & Pool
ON
9 Rosshaven Crescent
Vaughan

DRAWING:
Elevation

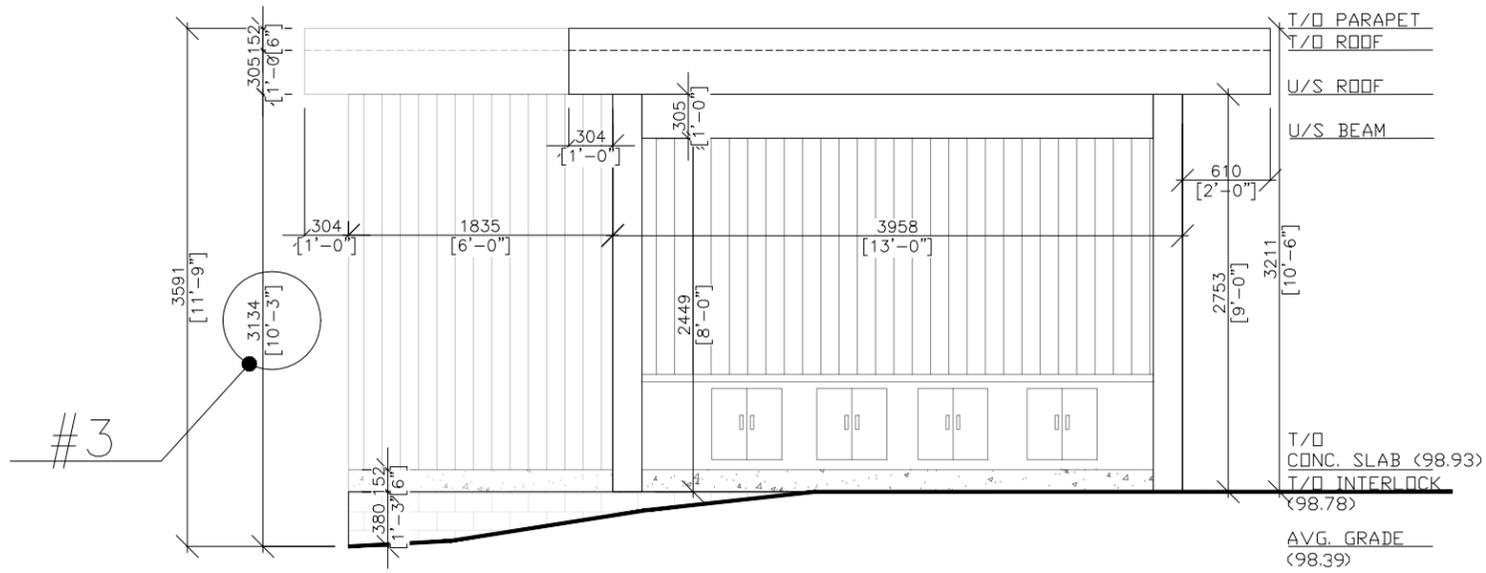
DATE: 2024-02-22 PROJECT No.

SCALE: AS NOTED DRAWING No.

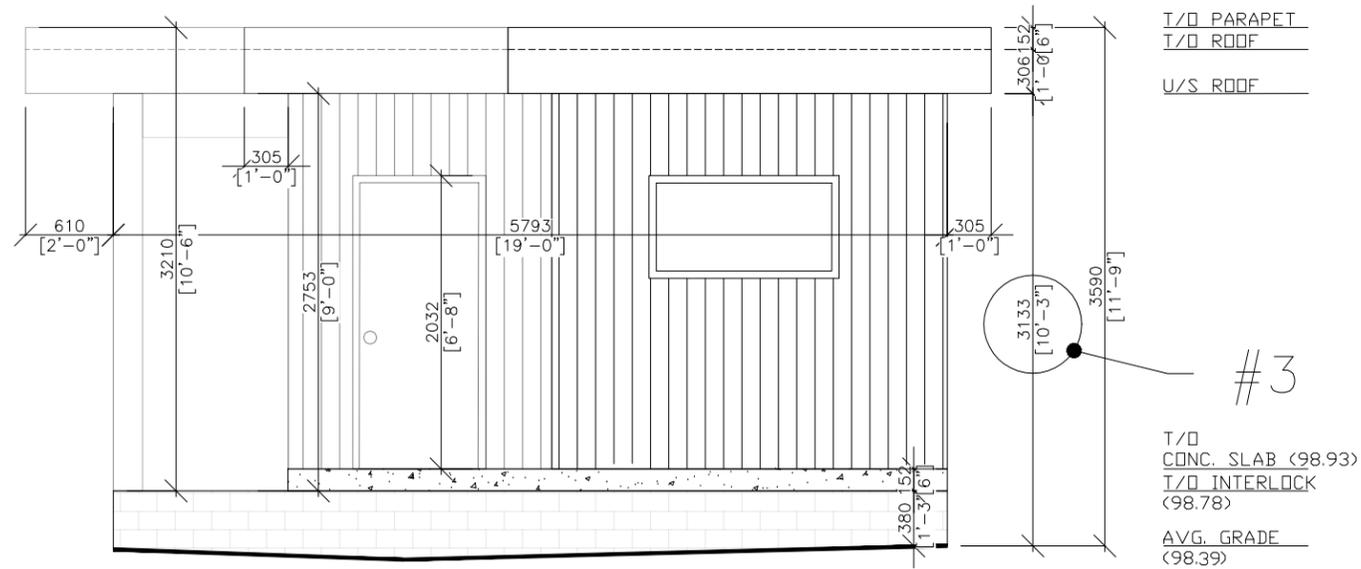
DRAWN BY: REVIEWED BY: A3.1

1 Elevation B
A3.1 1:50

XREFS: FILE NAME: PLOT SCALE: 1"



1 Elevation C
A3.2 1:50



2 Elevation D
A3.2 1:50

ESTABLISHED GRADE CALCULATION

LENGTH #	BEGIN ELEV.	END ELEV.	LENGTH	$\frac{EL.1+EL.2}{2} \times L$
L1	98.57	98.60	3.960m	390.3
L2	98.60	98.19	7.307m	718.9
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 DO NOT SCALE DRAWINGS.



PROJECT:
Proposed Cabana & Pool
 ON
 9 Rosshaven Crescent
 Vaughan

DRAWING:
Elevation

DATE: 2024-02-22	PROJECT No.
SCALE: AS NOTED	DRAWING No. A3.2
DRAWN BY:	REVIEWED BY:

XREFS: FILE NAME: PLOT SCALE: 1"

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: March 13th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A021-24**

Related Files:

Applicant Antonio Marcri and Nadia Migliano

Location 9 Rosshaven Crescent

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

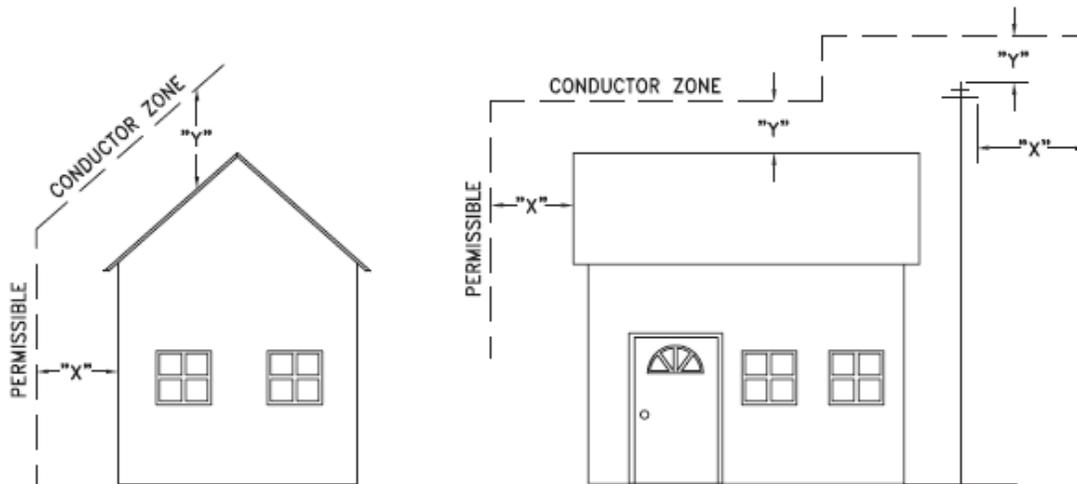
Mitchell Penner

Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alecrautilities.com

Email: Mitchell.Penner@alecrautilities.com



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

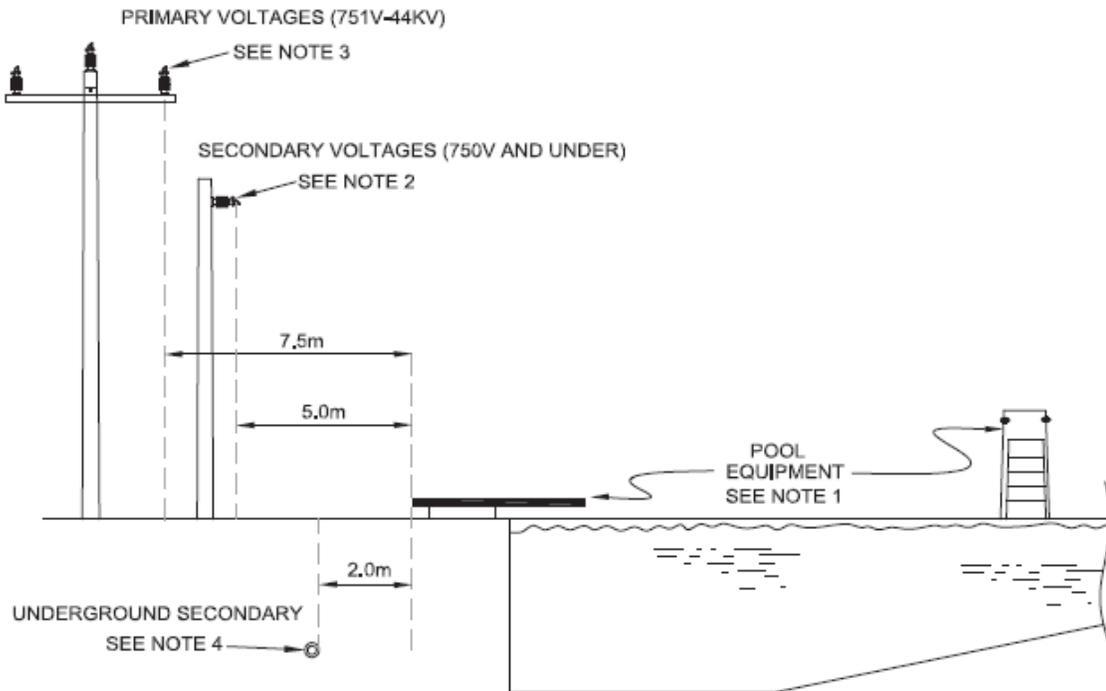
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES	
FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: April 9, 2024
Applicant: Antonio Macri and Nadia Migliano
Location: 9 Rosshaven Crescent
 PLAN 65M4647 Lot 142
File No.(s): A021/24

Zoning Classification:

The subject lands are zoned RD3, Residential Detached Zone Three and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum setback of 7.5 m is required from the rear lot line to the cabana. [Schedule A3]	To permit a minimum setback of 1.17 m from the rear lot line to the cabana.
2	A minimum setback of 1.2 m is required from the northerly interior side lot line to the cabana. [Schedule A3]	To permit a minimum setback of 0.81 m from the northerly interior side lot line to the cabana.
3	The maximum height of any accessory building or structure measured from the average finished ground level to the nearest part of the roof shall not be more than 3 m above finished grade for a cabana. [4.1.1b]	To permit a maximum height of 3.134 m above finished grade measured from average finished ground level to the nearest part of the roof for a cabana. [4.1.1.b]
4	A minimum setback of 1.5 m is required from the southerly interior side lot line to a swimming pool. [4.1.1.i]	To permit a minimum setback of 1.2 m from the southerly interior side lot line to a swimming pool (measured perpendicular from the lot line).
5	A minimum setback of 1.5 m is required from the rear lot line to a swimming pool. [4.1.1.i]	To permit a minimum setback of 1.26 m from the rear lot line to a swimming pool (measured perpendicular from the lot line).
6	Where the area of a rear yard of a lot is greater than 135 square metres, a minimum of 60% (72 m ²) of that portion of the rear yard in excess of 135 square metres shall be composed of soft landscaping. [4.1.2.b]	To permit a minimum of 51.6% (62 m ²) of the area of the rear yard in excess of 135 square metres to be composed of soft landscaping.
7	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with Paragraph 4.1.2 of the bylaw. (23.52 m ² front yard soft landscaped area is required). [4.1.4.f.v (2)]	To permit a minimum of 57.47% (22.53 m ²) of the minimum required landscaped front yard to be composed of soft landscaped area.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A building permit is required for the cabana.

A permit is required for the swimming pool. Please contact the Engineering Department.

Other Comments:

General Comments	
1	Height of the proposed cabana is as per the Agent's calculation.
2	The subject lands are transitioned under Zoning Bylaw 001-2021 and are therefore subject to the requirements of Zoning Bylaw 1-88 only.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: April 16, 2024
Name of Owners: Antonio Marcri & Nadia Migliano
Location: 9 Rosshaven Crescent
File No.(s): A021/24

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum setback of **1.17 m** from the rear lot line to the cabana.
2. To permit a minimum setback of **0.81 m** from the northerly interior side lot line to the cabana.
3. To permit a maximum height of **3.134 m** above finished grade measured from average finished ground level to the nearest part of the roof for a cabana.
4. To permit a minimum setback of **1.2 m** from the southerly interior side lot line to a swimming pool (measured perpendicular from the lot line).
5. To permit a minimum setback of **1.26 m** from the rear lot line to a swimming pool (measured perpendicular from the lot line).
6. To permit a minimum of **51.6% (62 m²)** of the area of the rear yard in excess of **135 square metres** to be composed of soft landscaping.
7. To permit a minimum of **57.47% (22.53 m²)** of the minimum required landscaped front yard to be composed of soft landscaped area.

By-Law Requirement(s) (By-law 1-88):

1. A minimum setback of **7.5 m** is required from the rear lot line to the cabana.
2. A minimum setback of **1.2 m** is required from the northerly interior side lot line to the cabana.
3. The maximum height of any accessory building or structure measured from the average finished ground level to the nearest part of the roof shall not be more than **3 m** above finished grade for a cabana.
4. A minimum setback of **1.5 m** is required from the southerly interior side lot line to a swimming pool.
5. A minimum setback of **1.5 m** is required from the rear lot line to a swimming pool.
6. Where the area of a rear yard of a lot is greater than 135 square metres, a minimum of sixty percent (**60%**) (**72 m²**) of that portion of the rear yard in excess of 135 square metres shall be composed of soft landscaping.
7. The lot frontage for lots **12.0 m** and greater shall be comprised of a minimum of 50% landscaped front yard and a minimum sixty percent (**60%**) of the minimum landscaped front yard shall be soft landscaping in accordance with Paragraph 4.1.2 of the bylaw. (**23.52 m²** front yard soft landscaped area is required).

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Density Residential", Volume 2, Area Specific Policy 12.13 - Block 40/47.

Comments:

The Owners are requesting relief to permit a proposed cabana and in-ground swimming pool in the rear yard with the above-noted variances, as well as a reduction of landscaping in the front and rear yards.

Development Planning Department Staff ('Development Planning Staff') have no objection to Variances 1 and 2 for the proposed cabana. Variance 1 is to permit a minimum rear yard setback of 1.17 metres which is measured at a pinch-point from the southwest corner of the storage room portion of the proposed cabana, increasing to approximately 1.72 metres at the southeast corner of the storage room. The rear lot line setback expands to approximately 3.25 metres at the open portion of the cabana at its greatest extent. The reduction to the minimum interior side yard setback (Variance 2) is sought to address to pinch-points. The first, full 0.38 m reduction is measured at a pinch-point from the northeast corner of the proposed open cabana area. The second pinch-point, a 0.29 m reduction, is measured from the northeast corner of the storage room.

The setback increases above compliance to approximately 2.45 metres where the open and storage room portions of the cabana meet. The reduced interior side yard setback is not anticipated to pose adverse massing or privacy concerns to the properties to the east (5 Rosshaven Crescent & 169 Purple Creek Road) as vegetative screening is proposed at the request of Development Planning Staff to alleviate such concerns. The Owners propose planting a total of eight (8) 6-foot-tall cedars between the cabana's east wall and the nearby east fence. The cedars will help provide a visual buffer between the accessory building and the two neighbouring rear yards to the east (5 Rosshaven Crescent and 169 Purple Creek Road) to mitigate potential mass and privacy impacts. The rear yard and interior side yard setbacks provide sufficient space for safe access and maintenance. As such, the proposed accessory building is not anticipated to pose adverse massing and/or privacy impacts to the neighbouring properties.

The 0.134 metre increase in maximum building height for an accessory structure (Variance 3) is not proposed to pose any adverse massing or privacy impact on either of the neighbouring properties to the east (5 Rosshaven Crescent & 169 Purple Creek Road) and west (13 Rosshaven Crescent), nor to the properties to the south (34 & 38 Pine Heights Drive). The cabana is relatively long in relation to the side lot line, but its spatial separation from said lot line is not uniform. As noted above, the side yard setbacks are measured to two pinch-points and will be largely buffered/screened by cedar trees to lessen the impacts on the two abutting rear yards to the east the unmitigated height may otherwise generate. As further mentioned above, the minimum rear yard setback is measured at a pinch point and expands to approximately 3.25 metres at its greatest extent. The face of the cabana relative the length of the rear line is also proportionally modest. The modest height increase, when paired with the vegetative buffering and varied setbacks from the lot lines, mitigates the massing concerns resulting with the increased proximity of said taller building to the lot lines.

Development Planning Staff have no objection to Variances 4 and 5 for the proposed 0.30 m reduction to the required southerly interior side lot line setback and 0.24 m reduction to the required rear lot line setback for the proposed in-ground swimming pool. The proposed pool would only utilize the full extent of the requested relief for the rear yard setback at its southwest corner, which is a pinch-point, increasing to approximately 3.25 metres at its greatest extent at the pool's southeast corner. The requested interior side yard and rear yard setbacks are not anticipated to be perceptible from a visual perspective and an appropriate area for safe access and maintenance is maintained around the entirety of the pool.

Development Planning Staff have no objection to Variance 6 for the proposed reduction in soft landscaping within the rear yard. At the request of Development Planning Department Staff, improvements were made to reduce the existing hardscaping and provide additional soft landscaping in the rear yard, primarily by proposing planting beds along the rear wall of the existing dwelling. The proposed reduction of 8.4 % from what the Zoning By-law requires (60%) is minimal from a visual perspective, maintains an appropriate balance of soft and hard landscaping within the rear yard, and Development Engineering Staff have also reviewed the application and do not have any concerns regarding drainage. As such, Development Planning Staff are of the opinion that the proposed reduction in rear yard soft landscaping is desirable and appropriate for the development of the land and does not adversely impact the surrounding neighbours or existing character of the existing neighbourhood.

Development Planning Staff have no objection to Variance 7 for the proposed reduction in soft landscaping in the front yard. The proposed 2.53 % (0.99 m²) reduction of landscaped front yard is negligible from a visual perspective and is not anticipated to pose significant adverse impacts on the neighbouring properties nor the existing streetscape and neighbourhood. The proposed reductions are not anticipated to significantly impact the balance of soft landscaping present along the street as a whole. Development Engineering Staff have also reviewed the application and do not have any concerns regarding drainage. As such, Development Planning Staff are of the opinion that the proposed reduction in front yard soft landscaping is desirable and appropriate for the development of the land and does not adversely impact the surrounding neighbours or existing character of the existing neighbourhood.

Accordingly, Development Planning Staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner 1
David Harding, Senior Planner

Lenore Providence

Subject: FW: [External] RE: A021/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Tuesday, March 12, 2024 3:16 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Cc: Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>
Subject: [External] RE: A021/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 9 Rosshaven Crescent, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] RE: A021/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>
Sent: Thursday, March 14, 2024 5:54 PM
To: Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A021/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A021/24 (9 Rosshaven Crescent) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None