

ITEM: 6.9	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A047/24
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Report Date: April 19 , 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant				Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description
None	(i.e. Minor Variance Application; Approved by COA / OLT)

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
None	

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A047/24

CITY WARD #:	2
APPLICANT:	Marcello Quintieri
AGENT:	Jonathan Benczkowski
PROPERTY:	105 Kilmuir Gate, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana and reduced landscaping requirements in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.134 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [4.1.2 b.]	To permit a minimum rear yard of 2.36 metres to an accessory building (cabana).
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [4.1.2 b.]	To permit a minimum interior side yard of 0.62 metres to an accessory building (cabana).
3	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line. [4.13, 3.]	To permit a minimum distance of 0.31 metres of encroaching eaves and gutter overhangs to the nearest lot line.
4	Any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [4.19.1]	To permit a minimum of 55.74% (84.79 m ²) of the rear yard in excess of 135.0 m ² to be comprised of soft landscaping.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 25, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	April 11, 2024
Date Applicant Confirmed Posting of Sign:	April 12, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	To construct a new pool house
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Due to the size of the proposed cabana and concrete patio on the subject property, which measures 16.07 m² and 31.45 m² respectively, the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A047/24, subject to the following condition(s):

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

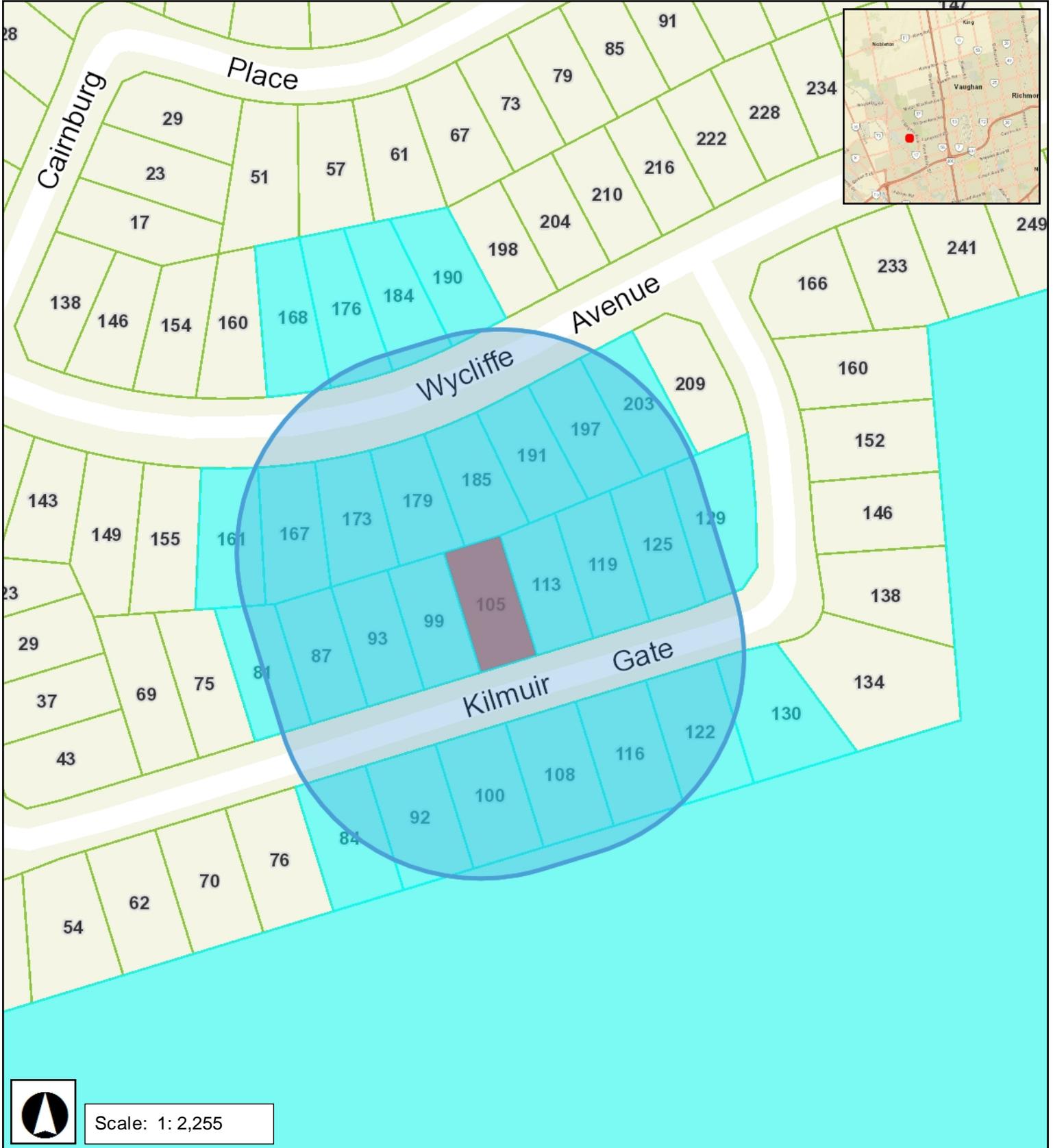
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

105 Kilmuir Gate Woodbridge



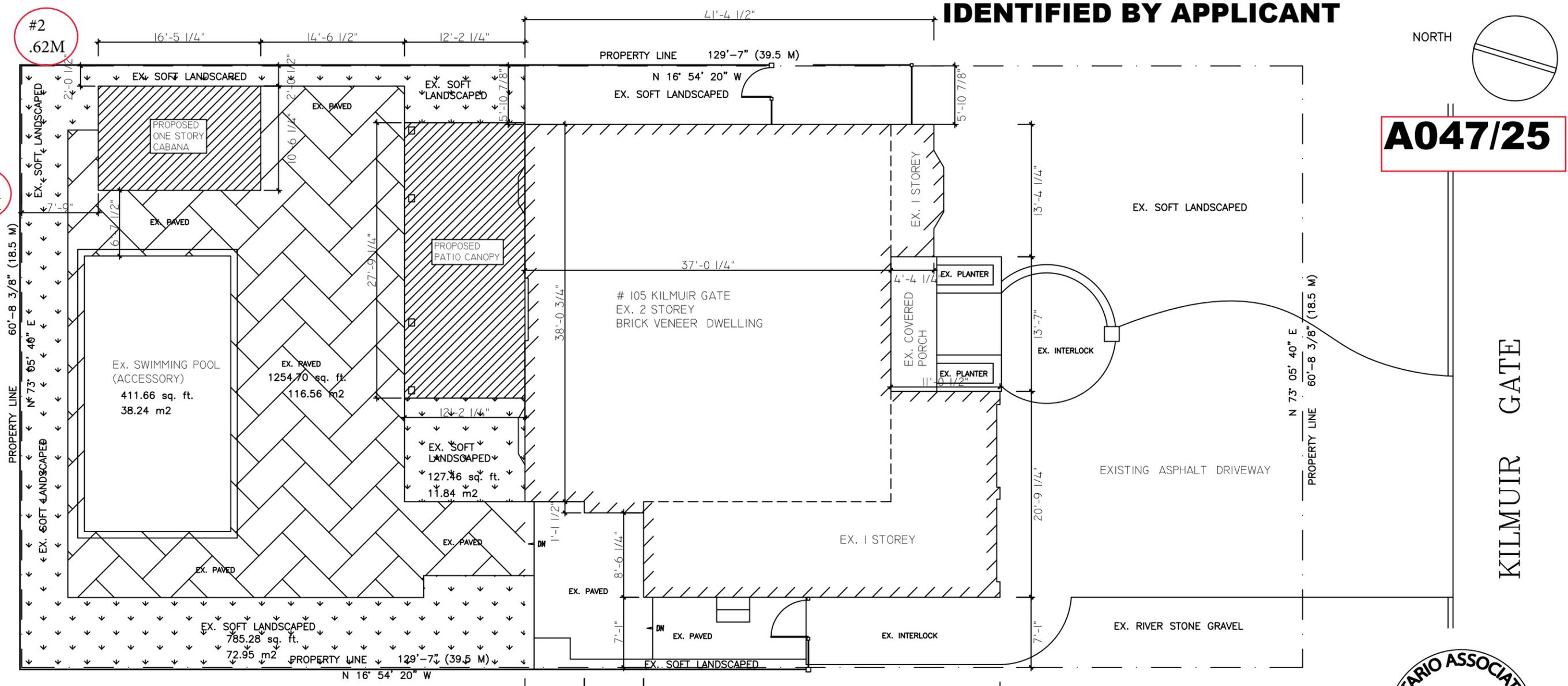
PLANS PREPARED AND VARIANCES

IDENTIFIED BY APPLICANT

A047/25

#2
.62M

#1
2.36M



SOFT LANDSCAPE CALCULATIONS AT REAR LOT :

ACCESSORY STRUCTURE AREA = APPROX. 923.16 SQ. FT. (85.76 m2)

HARD LANDSCAPE AREA = APPROX. 1254.70 SQ. FT. (116.56 m2)

SOFT LANDSCAPE AREA = APPROX. 912.74 SQ. FT. (84.79 m2)

SOFT LANDSCAPE PERCENTAGE = 912.74/3090.55 = 29.53 %

#4
55.74 %

1 SITE PLAN **Received**
March 28, 2024

LOT # 82
REGISTERED PLAN # M-2021
TOWNSHIP VAUGHAN
REGIONAL MUNICIPALITY OF YORK



3/32" = 1'-0"

SITE STATISTICS :

LOT AREA = APPROX. 7,866 SQ. FT. (730.75 m2)

EXISTING BUILDING AREA = 1,943.2 SQ.FT. (180.5 m2)

EX. COVERED FRONT PORCH: 63.1 S.F. (5.86 m2)

(PROPOSED): NEW ROOF OVER REAR CONCRETE PATIO: 338.5 SQ.FT. (31.45 m2)

PROPOSED UNHEATED CABANA AT REAR: 173 SQ.FT. (16.1 m2)

NEW TOTAL COVERAGE AREA = 2,517.8 SQ.FT. (233.91 m2) (32 % OF THE LOT)

EXISTING HOUSE GFA WITH NO CHANGES (REMAIN AS IS)

SET NUMBER

THESE DOCUMENTS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW, WHEN SO NOTED AND INITIALED BY THE ARCHITECT :

- PRELIMINARY
- SITE PLAN CONTROL
- PERMIT
- TENDER
- CONTRACT
- CONSTRUCTION

3 REVISED FOR PERMIT	FEB. 20, 2024
2 ISSUED FOR PERMIT	JAN. 02, 2024
1 SITE MEASUREMENTS	NOV. 30, 2023
Scale	3/32" = 1'-0"
Date	NOV., 2023
Drawn	DG
Checked	PP

PROJECT

PROP. CANOPY OVER EX. PATIO AND NEW UNHEATED CABANA AT ONE FAMILY DWELLING

105 KILMUIR GATE
VAUGHAN, ONTARIO

TITLE

SITE PLAN

PEDRO PIMENTEL ARCHITECT INC.

111 FLORADALE DRIVE, MISSISSAUGA ONT. L5B 6J1
TEL: (905) 277 9054 CELL: (416) 464 3975

Project No./Drawing No

202336 **A1**

NOTE: This drawing is the property of the Architect and may not be reproduced or used without expressed consent of the architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

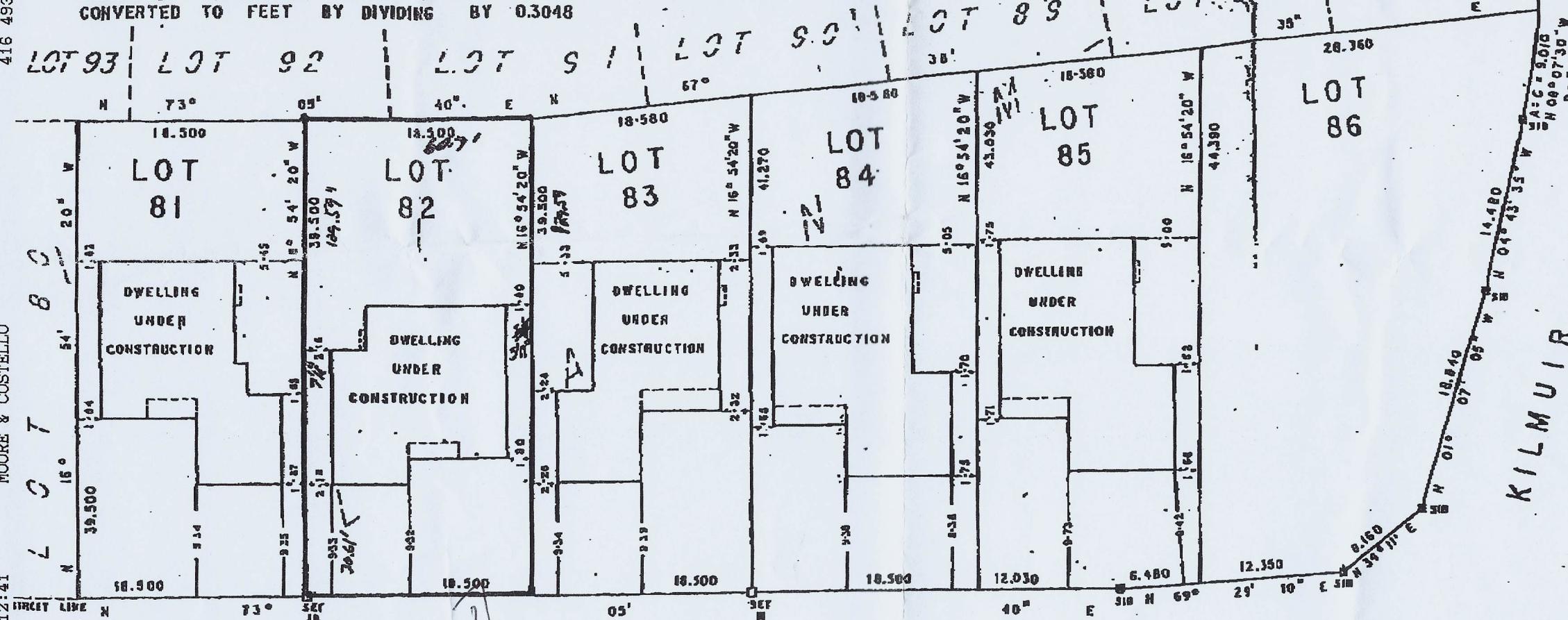
PLAN SHOWING
 LOTS 81, 82, 83, 84, 85 AND 86, PLAN M-2021
 TOWN OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

SCALE 1:400
 METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

416 493 3979 P.002

MOORE & COSTELLO

APR-09-2012 12:41



P KILMUIR GATE

DATE: JAN. 25th 1993

NOTE
 IB DENOTES IRON BAR
 FB DENOTES FOUND
 SIB DENOTES STANDARD IRON BAR

J. Raoy-Pentek
 JOSEPH RAOY - PENTEK LTD
 ONTARIO LAND SURVEYOR
 678 SHEPPARD AVE., W. DOWNSVIEW ON
 635-3886

TOTAL P.002



CONSTRUCTION NOTES

IN THE EVENT OF CONFLICT BETWEEN CONTENT OF DRAWINGS AND THE CONSTRUCTION NOTES, THE CONSTRUCTION NOTES SHALL GOVERN.

CONTRACTOR SHALL NOTIFY IN WRITING OF DISCREPANCIES IN THE DOCUMENTS PRIOR TO COMMENCEMENT OF THE WORK.

DO NOT SCALE DRAWINGS, DIMENSIONS TO TAKE PRECEDENT OVER SCALE.

Contractor to check and verify all dimensions on the job site before starting the work and report any discrepancies.

Workmanship and materials shall be in accordance with requirements of latest issue of Ontario Building Code, CSA specifications, NBC, Industry Safety Act, Public Health Act, Ont. Fire Code, Manufacturer's Instructions and Applicable Regulations of Authorities having Jurisdiction.

Protect property and work, materials and existing construction. Keep work site free of debris during construction, clean finished work on completion, remove debris from site.

Use materials as specified or equals, all to be approved.

FOR OTHER ITEMS NOT REFERED ON THIS DRAWINGS.

-ALL THE NEW WINDOWS STYLE AND MANUFACT. AS PER OWNER'S CHOICE - ALL LINTELS AS PER STRUCTURAL DRAWINGS

-ALL PUMBING FIXTURES STYLE AND MANUFACT. AS PER OWNER'S CHOICE - SEE MECH. FOR INSTALLATION

-ALL PLUMBING WORK SHALL BE ACCORDING TO ONTARIO REGULATION 815/84.

-ALL NEW PLUMBING WORK TO BE PROVIDED W/ VENTING AS PER OBC.

-BATHROOM EXHAUST FAN WITH A MINIMUM 50 CFM.

FOOTINGS / SLABS

1a) TYPICAL STRIP FOOTING

- BASED ON 16'-1" (4.9M) MAX. SUPPORTED JOIST LENGTH
- MIN. 2200PSI (15MPA) CONCRETE AFTER 28 DAYS
- SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9PSI (75KPA) BEARING CAPACITY
- FTG. TO HAVE CONTINUOUS KEY
- SEE STRUCTURAL DRAWINGS

1) TYPICAL STRIP FOOTING - (EXTERIOR WALLS)

- FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE
- SEE STRUCTURAL DRAWINGS FOR EX. FOOTING SIZES

4) DRAINAGE TILE OR PIPE

- MATERIALS SHALL CONFORM TO OBC- 9.14.3.1
- 4" (100mm) MIN. DIA.
- LAID ON UNDISTURBED OR WELL COMPACTED SOIL
- TOP OF TILE OR PIPE TO BE BELOW BTM. OF FLR. SLAB
- COVER TOP & SIDES OF TILE OR PIPE W/ 6" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL
- TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL

6) SLAB ON GRADE

- 4" SLAB ON GRADE (SEE STRUCT)

WALL ASSEMBLIES

17) BRICK VENEER OR STONE VENEER CONSTRUCTION

- 3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
- MIN. 0.03" (0.76mm) THICK, 1-7/8" (22mm) CORROSION RESISTANT STRAPS @ MAX. 16" (400mm) O.C. HORIZONTAL & 24" (600mm) O.C. VERTICAL SPACING
- PROVIDE WEEP HOLES @ 2'-6" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
- BASE FLASHING UP TO 6" (150mm) BEHIND WALL SHEATHING MEMBRANE
- BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
- 1" (25mm) AIR SPACE
- WALL SHEATHING MEMBRANE AS PER OBC 9.23.16
- 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER OBC 9.23.16
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ OBC- 9.25.3 & 9.25.4
- 1/2" (13mm) GYPSUM BOARD

WALL ASSEMBLIES

18) FRAME WALL CONSTRUCTION - NON HEATED

- SIDING AS PER OWNER'S CHOICE
- WALL SHEATHING MEMBRANE AS PER OBC 9.23.16
- 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER OBC 9.23.16
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
- WOOD SILL PLATE FASTENED TO FOUNDATION WALL W/ MIN. ANCHOR BOLTS EMBEDDED MIN. 4" IN CONCRETE AT 7'-10" O.C. MAX AND PROVIDE CAULKING OR GASKET BETWEEN PLATE AND FOUNDATION WALL TOP BLOCK COURSE FILLED WITH MORTAR OR CONCRETE.
- 1/2" (13mm) GYPSUM BOARD OR 5/8" (15.9mm) TYPE 'X' GYPSUM BD FOR LIMITING DISTANCES LESS THAN 4'-0" (1200mm)
- VINYL SIDING PERMITTED WHEN LIMITING DISTANCE IS LESS THAN 2'-0" (600mm), PROVIDED IT CONFORMS TO OBC- 9.10.15.5.(3)

22) INTERIOR STUD WALLS

- 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/ DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND
- SINGLE BOTTOM PLATE
- 1/2" (13mm) INTERIOR GYPSUM BOARD BOTH SIDES

ROOF ASSEMBLIES

39a) TYPICAL EXTERIOR FLAT ROOF ASSEMBLY- NO INSULATION

- EPDM ROOF MEMBRANE(INSTALLED PER MANUF.)
- 1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PERLINS SLOPED MIN. 2% TO ROOF SCUPPER
- 3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON
- ROOF JOISTS AS PER STRUCTURAL DRAWINGS
- PRE-FIN ALUMINIUM SOFFIT - AS PER OWNERS CHOICE
- PARAPET FINISH - AS PER OWNERS CHOICE OR ELEVATIONS

45) FASCIA AND SOFFIT

- TO BE PREFINISHED ALUMINUM

46) EAVESTROUGH AND RAINWATER LEADERS

- TO BE PREFINISHED ALUMINUM.

47) EAVES PROTECTION

- TYPE M OR S ROLL ROOFING LAPPED T LEAST 100MM (4"O AND CEMENTED TOGETHER. PROTECTION TO EXTEND 900 (36") FROM EDGE OF ROOF AND MIN. 300 (12") FROM INNER FACE OF EXT.WALL

5	
4	
3	
2	ISSUED FOR PERMIT JAN. 02, 2024
1	SITE MEASUREMENTS NOV. 30, 2023
No Revisions	Ch'd Date

The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Owner and obtain clarification prior to commencing work.

Scale	N.T.S.
Date	NOV., 2023
Drawn	DG
Checked	PP

SET NUMBER

THESE DOCUMENTS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW, WHEN SO NOTED AND INITIALED :

<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> TENDER
<input type="checkbox"/> ZONING CERTIFICATE	<input type="checkbox"/> CONTRACT
<input checked="" type="checkbox"/> PERMIT	<input type="checkbox"/> CONSTRUCTION

PROJECT

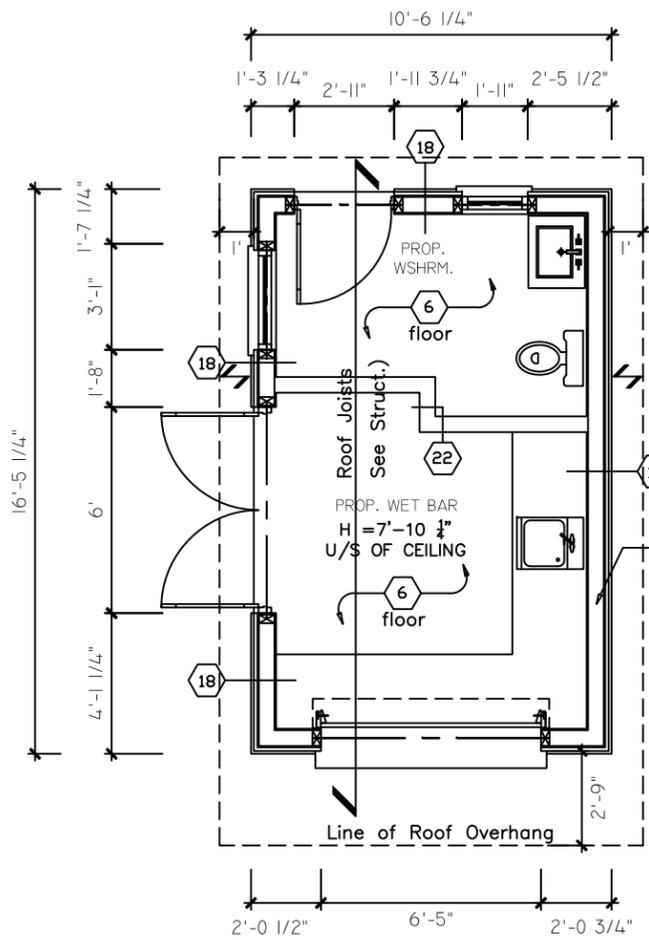
PROP. CANOPY OVER EXISTING PATIO AND NEW UNHEATED CABANA AT SINGLE FAMILY DWELLING
105 KILMUIR GATE VAUGHAN, ONTARIO

CONSTRUCTION NOTES

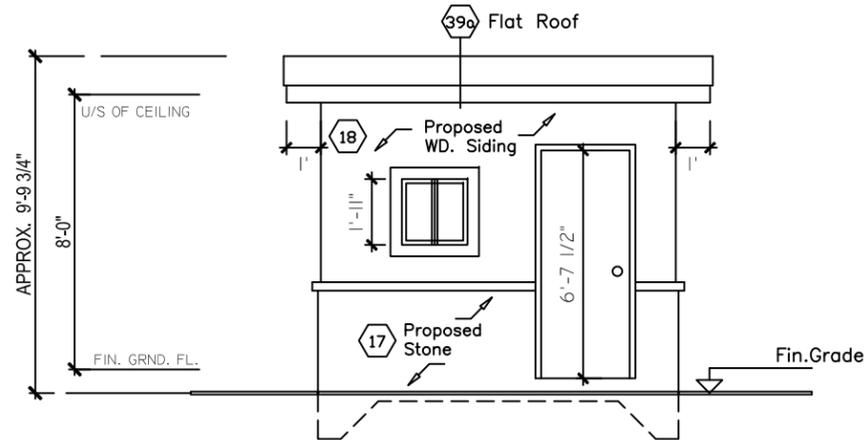
PEDRO PIMENTEL ARCHITECT INC.

111 FLORADALE DRIVE MISSISSAUGA ONT. L5B 1G1
TEL: (905) 277 9054 CELL: (416) 464 3975

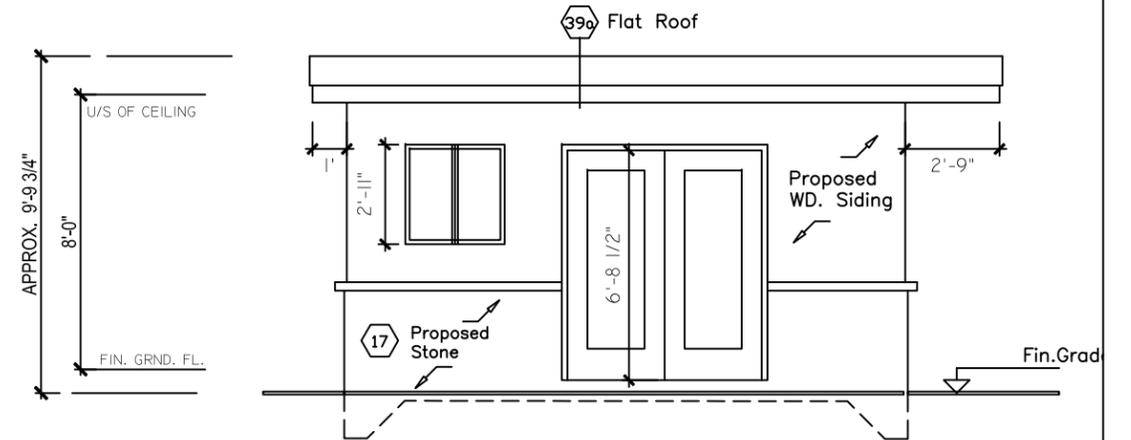
Project No./Drawing No
202336 A1a



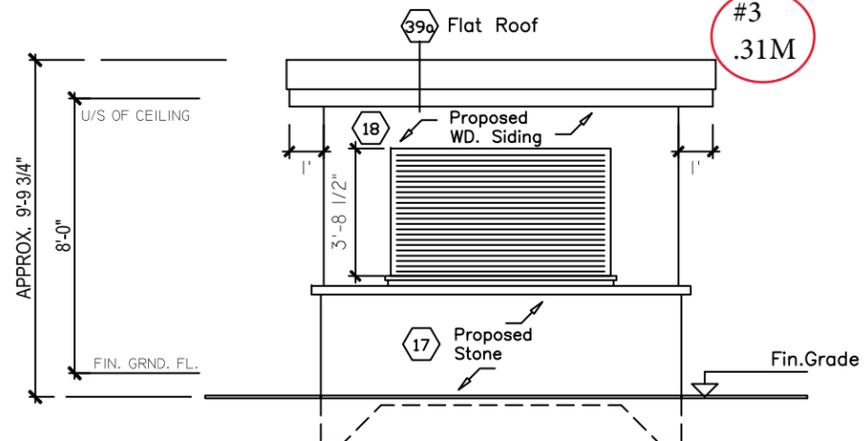
1
A5
GROUND PLAN
3/16" = 1'-0"



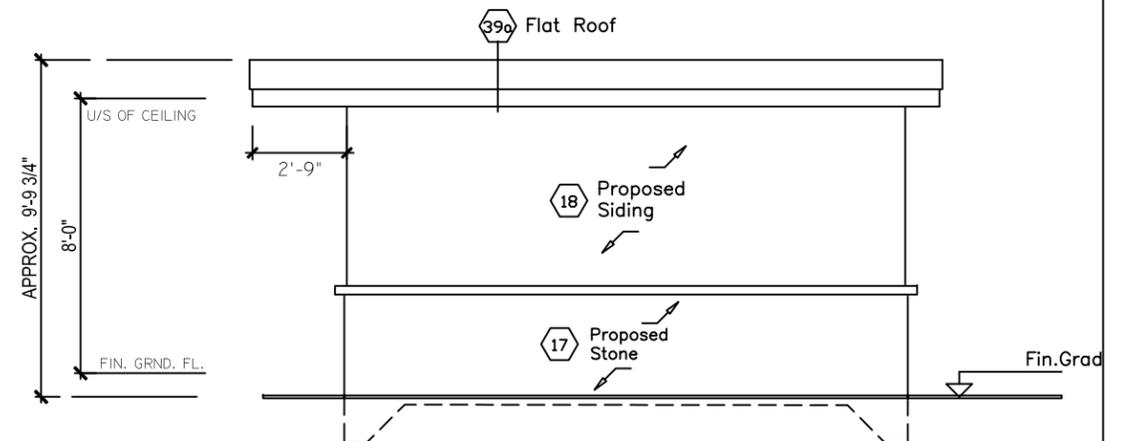
1
A5
NORTH ELEVATION
3/16" = 1'-0"



1
A5
FRONT ELEVATION
3/16" = 1'-0"



1
A5
SOUTH ELEVATION
3/16" = 1'-0"



1
A5
REAR ELEVATION
3/16" = 1'-0"

5	
4	
3	
2	ISSUED FOR PERMIT JAN. 02, 2024
1	SITE MEASUREMENTS NOV. 30, 2023
No Revisions	Ch'd Date

NOTE: This drawing is the property of the Architect and may not be reproduced or used without expressed consent of the architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

Scale 3/16" = 1'-0"
 Date NOV., 2023
 Drawn DG
 Checked PP

SET NUMBER

THESE DOCUMENTS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW, WHEN SO NOTED AND INITIALED BY THE ARCHITECT:

<input type="checkbox"/>	PRELIMINARY	<input type="checkbox"/>	TENDER
<input type="checkbox"/>	SITE PLAN CONTROL	<input type="checkbox"/>	CONTRACT
<input checked="" type="checkbox"/>	PERMIT	<input type="checkbox"/>	CONSTRUCTION

PROJECT
 PROP. UNHEATED CABANA AT EX. ONE FAMILY DWELLING

105 KILMUIR GATE
 VAUGHAN, ONTARIO

Project No./Drawing No
 202336

PEDRO PIMENTEL ARCHITECT INC.

111 FLORDALE DRIVE MISSISSAUGA ONT. L5B 1G1
 TEL: (905) 277 9054 CELL: (416) 464 3975

A5

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: April 2nd 2024

Attention: **Christine Vigneault**

RE:

File No.: **A047-24**

Related Files:

Applicant Sol-Arch

Location 105 Kilmuir Gate



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

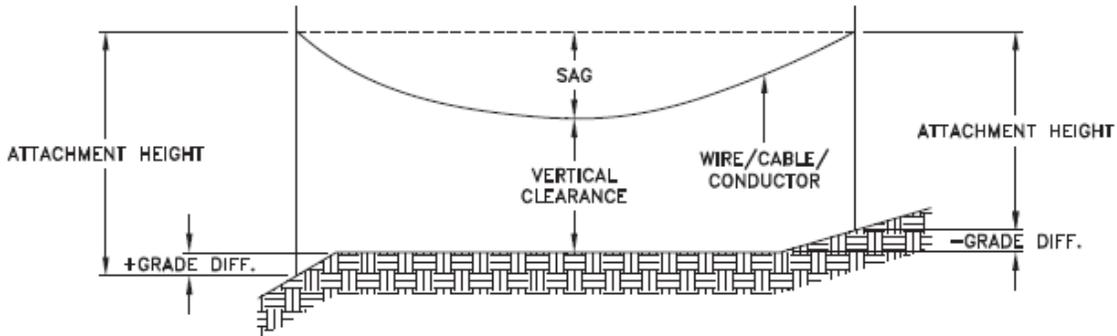
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

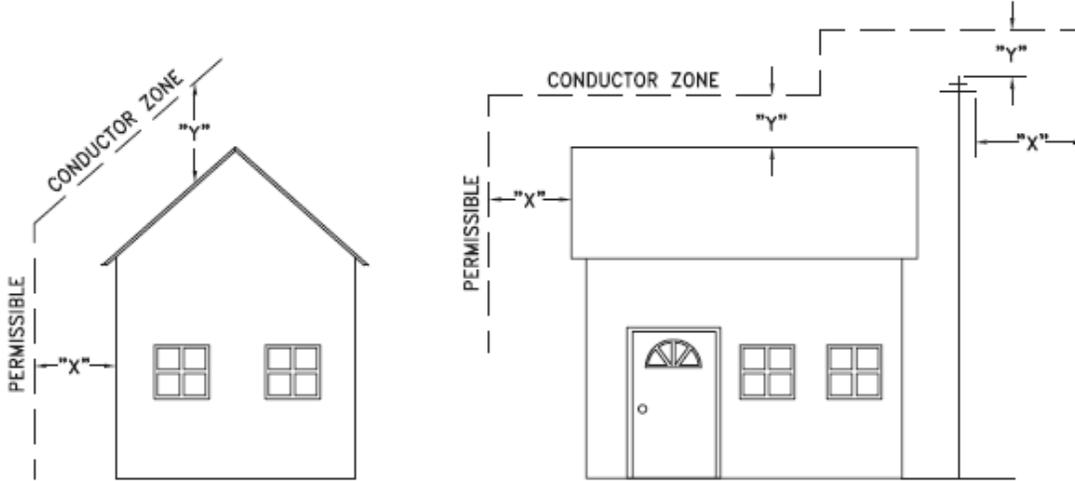
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: March 20, 2024
Applicant: Sol-Arch
Location: 105 Kilmuir Gate
PLAN M2021 Lot 82
File No.(s): A047/24

Zoning Classification:

The subject lands are zoned R1B(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.134 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [4.1.2 b.]	To permit a minimum rear yard of 2.36 metres to an accessory building (cabana).
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [4.1.2 b.]	To permit a minimum interior side yard of 0.62 metres to an accessory building (cabana).
3	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line. [4.13, 3.]	To permit a minimum distance of 0.31 metres of encroaching eaves and gutter overhangs to the nearest lot line.
4	Any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [4.19.1]	To permit a minimum of 55.74% (84.79 m ²) of the rear yard in excess of 135.0 m ² to be comprised of soft landscaping.

Staff Comments:

Building Permit(s) Issued:

Building Permit No. 24-100531 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)
Building Permit No. 24-101455 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: April 12, 2024
Name of Owner: Marcello Quintieri
Location: 105 Kilmuir Gate
File No.(s): A047/24

Proposed Variances (By-law 001-2021):

1. To permit a minimum rear yard of **2.36 metres** to an accessory building (cabana).
2. To permit a minimum interior side yard of **0.62 metres** to an accessory building (cabana).
3. To permit a minimum distance of **0.31 metres** of encroaching eaves and gutter overhangs to the nearest lot line.
4. To permit a minimum of **55.74% (84.79 m²)** of the rear yard in excess of **135.0 m²** to be comprised of soft landscaping.

By-Law Requirements (By-law 001-2021):

1. A residential accessory structure with a height greater than **2.8 metres** shall not be located closer than **2.4 metres** to any lot line.
2. A residential accessory structure with a height greater than **2.8 metres** shall not be located closer than **2.4 metres** to any lot line.
3. A minimum distance of **0.6 metres** shall be required from any permitted encroachment to the nearest lot line.
4. Any portion of a yard in excess of **135.0 m²** shall be comprised of a minimum **60%** soft landscape.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit an existing Cabana in the rear yard with the above-noted variances.

Development Planning Staff have no objection to Variances 1 through 3 to permit a reduced rear yard setback (Variance 1), as well as a reduced interior side yard setback measured to the Cabana wall (Variance 2) and Cabana eave/gutter projections (Variance 3). The Cabana is proposed in the north-east corner of the rear yard and is relatively modest in size with a flat roof to assist in addressing any potential concerns with massing on the neighbouring properties to the north (185 & 179 Wycliffe Avenue) and to the east (113 Kilmuir Gate). There is some existing vegetation (mature trees) at the rear of the Cabana on the subject property as well as on the property to the east. The proposed Cabana complies with the maximum height requirements and maximum lot coverage requirements of the Zoning By-law for accessory structures. Therefore, the proposed accessory structure is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring properties to the north (185 & 179 Wycliffe Avenue) or the property to the east (113 Kilmuir Gate) and the 0.62 metre minimum side yard setback from the Cabana provides sufficient space for maintenance and access purposes.

Development Planning Staff have no objection to Variance 4 to permit a reduction in the required minimum soft landscaping in the rear yard. The proposed 4.26% reduction is modest from a visual perspective and there is a fair amount of soft landscaping around the entire majority of the rear yard's perimeter. Development Engineering Staff have also reviewed the application and do not have any concerns regarding drainage. As such, Development Planning Staff are of the opinion that the proposed reduction in rear yard soft landscaping is desirable and appropriate for the development of the land and does

not adversely impact the surrounding neighbours or existing character of the existing neighbourhood.

Accordingly, Development Planning Department Staff can support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner 1
David Harding, Senior Planner

From: [Development Services](#)
To: [Lenore Providence](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A047/24 (105 Kilmuir Gate) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, March 27, 2024 8:42:12 AM
Attachments: [image002.png](#)
[image004.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A047/24 (105 Kilmuir Gate) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

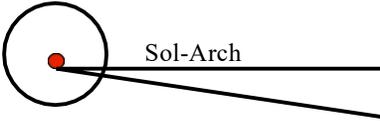
The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter



April 5, 2024

RECEIVED

By Prabhdeep Kaur at 12:16 pm, Apr 05, 2024

Re: A047/24 (105 Kilmuir Gate)

The proposal for the above addresses proposes to maintain an existing cabana in the rear yard to service the pool. The pool was installed with a building permit and was approved. Upon inspection of the pool the inspector indicated that a permit would also be required for the cabana.

In total 4, variances will be requested in order to maintain the existing Cabana:

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [4.1.2 b.]	To permit a minimum rear yard of 2.36 metres to an accessory building (cabana).
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [4.1.2 b.]	To permit a minimum interior side yard of 0.62 metres to an accessory building (cabana).
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4	Any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [4.19.1]	To permit a minimum of 55.74% (84.79 m ²) of the rear yard in excess of 135.0 m ² to be comprised of soft landscaping.

Please do not hesitate to call with any questions.

Jonathan Benczkowski RPP, MCIP

SCHEDULE D: BACKGROUND

None