

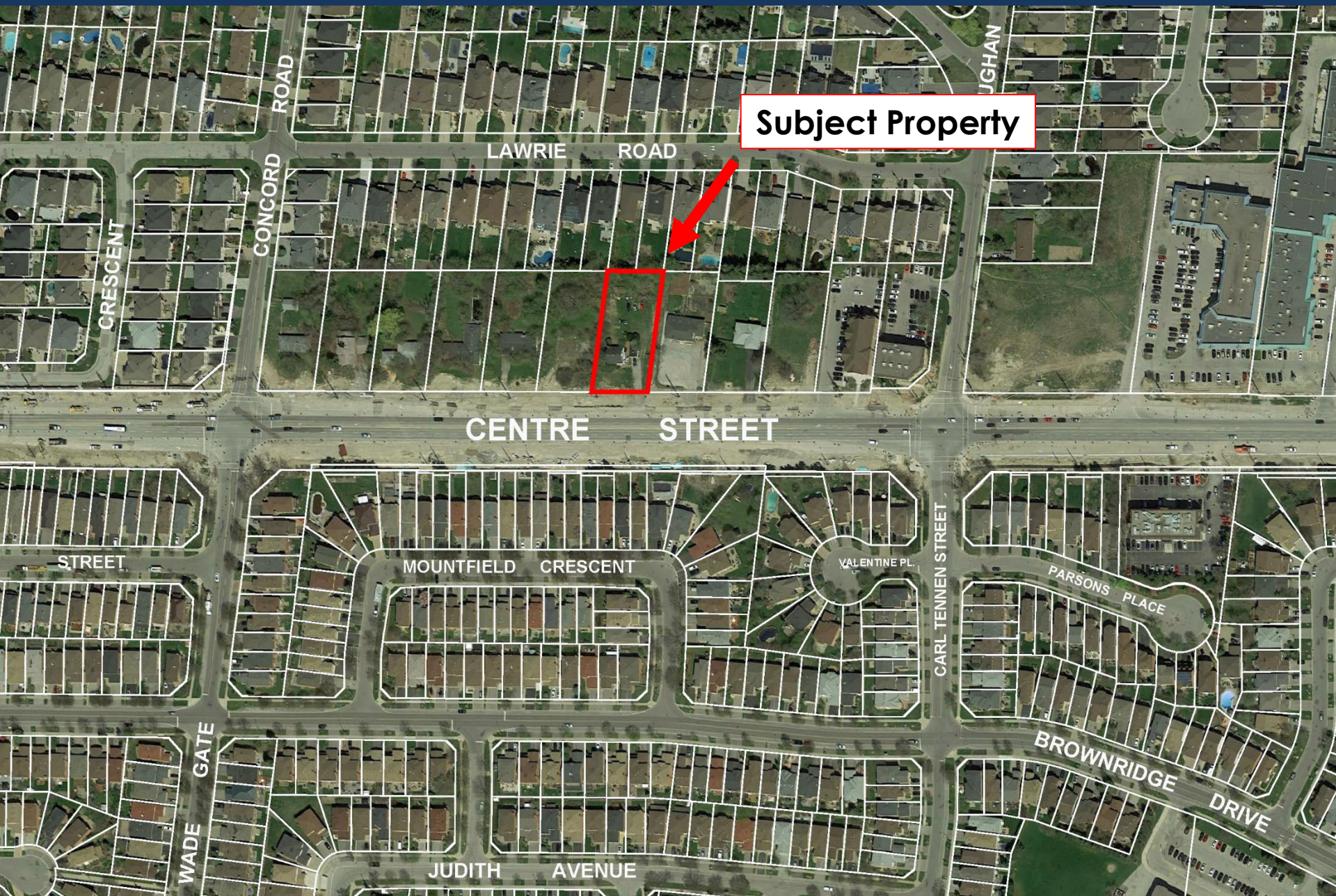
# 1252 Centre Street

A251/21

February 10, 2022



# Site Context





Zoning Provisions (001-21)		
Standard	R3(EN) Zone	Compliance
Permitted Use	Place of Worship is Not a Permitted Use	To Permit Place of Worship
Minimum Lot Area	315 sqm.	Complies
Maximum Building Height (Metric)	9.5m	<del>9.5m</del> 13.9m
Minimum Parking Spots	57	<del>57</del> 26
Minimum Front Yard Setback	4.5m	Complies
Minimum Side Yard Setback	1.2m	Complies
Interior Rear Yard Setback	6m	Complies
Minimum Landscape of Front Yard	33%	Complies
Maximum Lot Coverage	50%	Complies

Zoning Provisions (1-88)		
Standard	R3 Zone Exception 9 (776) Institutional Use	Compliance
Minimum Lot Frontage	20m	Complies
Minimum Landscape Strip	6m	<del>6m</del> 3.84m
Maximum Building Height (Metric)	11m	<del>11m</del> 13.90m
Minimum Front Yard Setback to Uncovered Stairway	13.2m	<del>13.2m</del> 4.73m
Minimum Front Yard Setback	15m	<del>15m</del> 6.06m
Minimum Side Yard Setback	15m	<del>15m</del> 4.93m West, <del>15m</del> 3.0m East
Interior Rear Yard Setback	15m	Complies
Minimum Parking Spots	112 Parking	<del>112</del> 26 Parking
Maximum Lot Coverage	20%	<del>20%</del> 32.28%

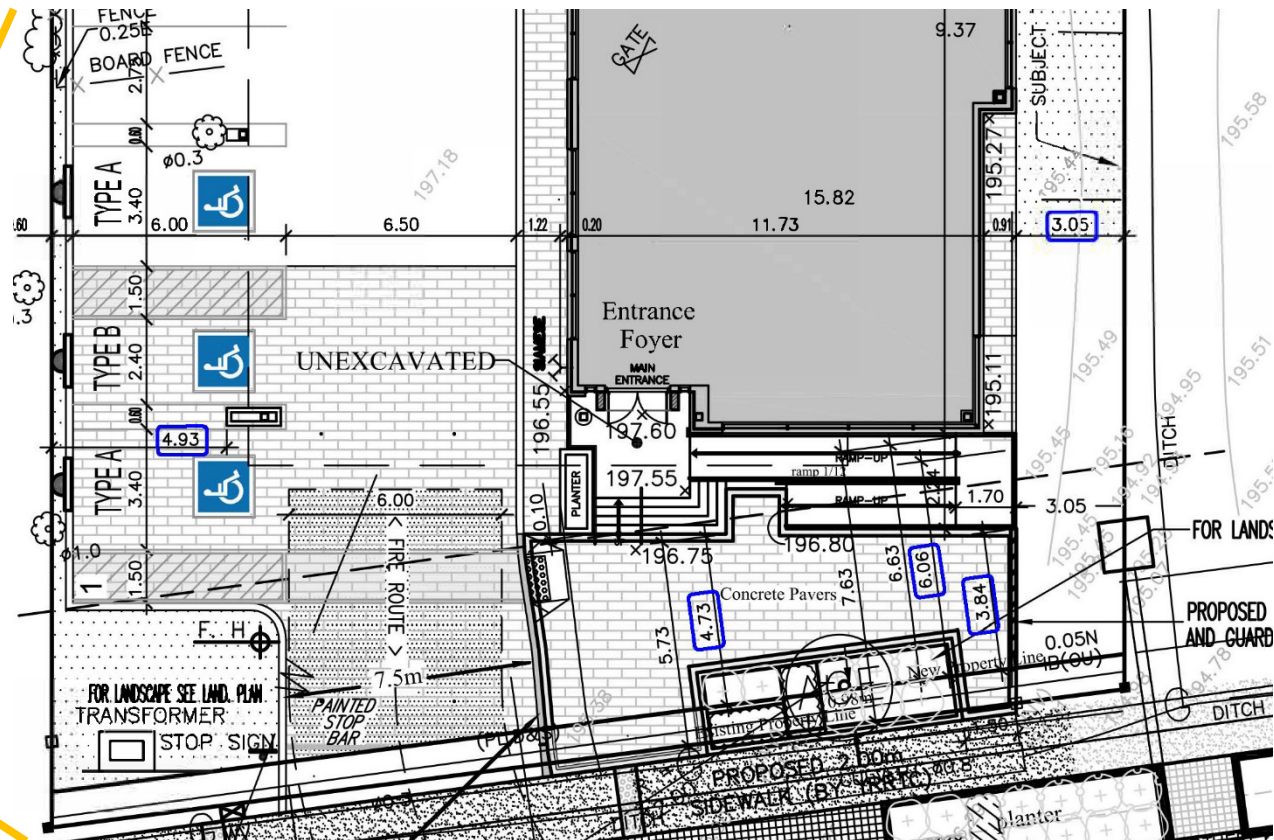
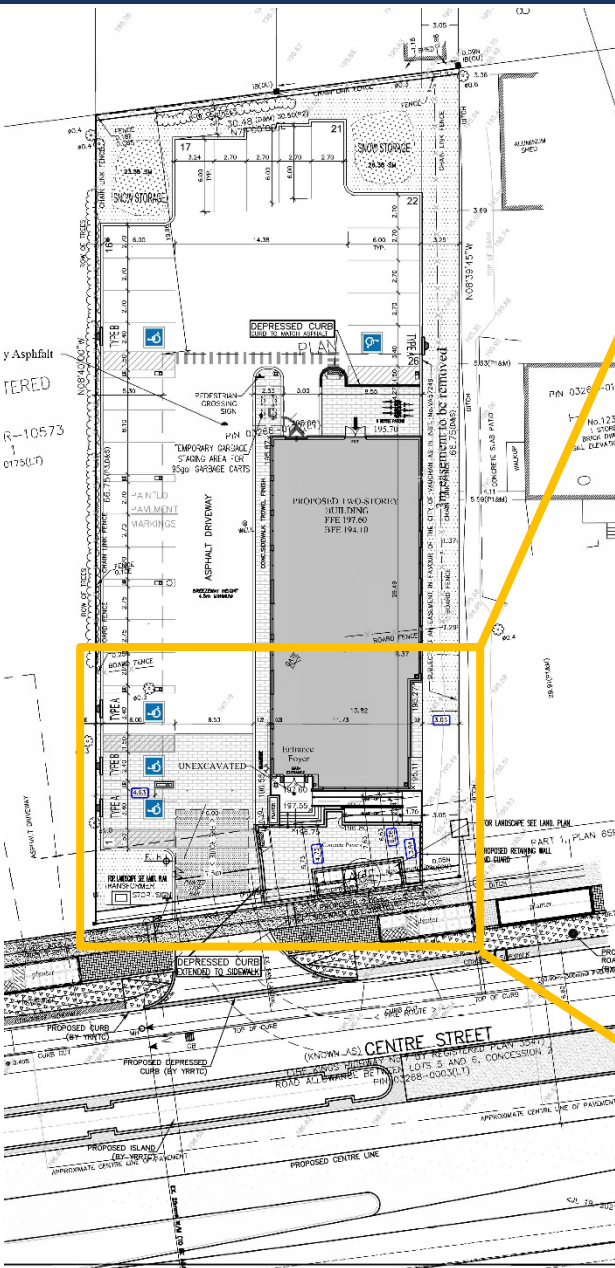
# Conditional Site Plan Approval

Conditional Site Plan Approval was granted by the Council on Nov 2, 2021:

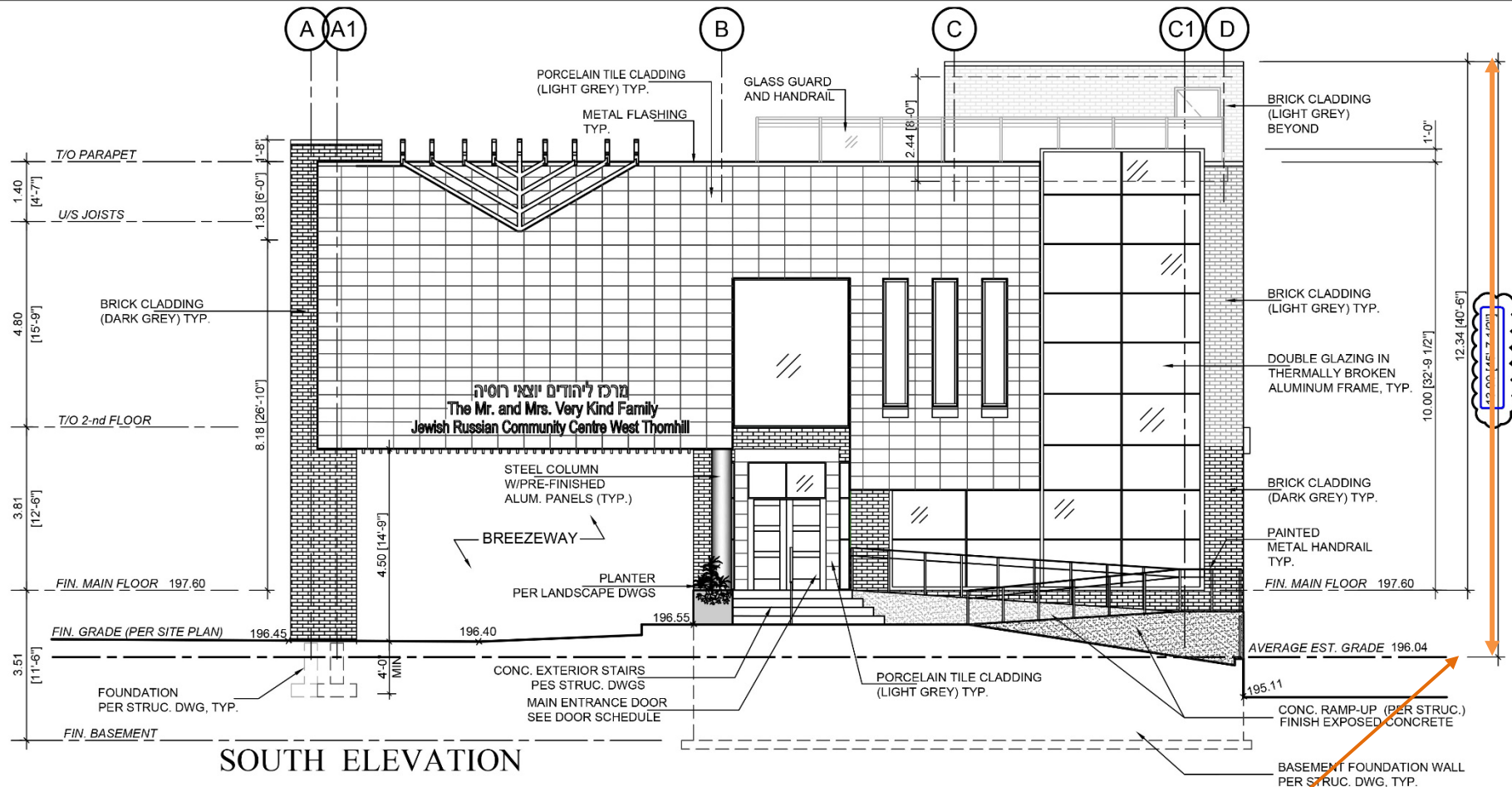
1) THAT prior to the execution of the Site Plan Agreement:

b) The Owner shall successfully obtain approval of a Minor Variance Application from the Committee of Adjustment (the 'Committee') for the site-specific exceptions to Zoning By-law 1-88 identified in Table 1 of this report, to permit the Development. The Committee's decision shall be final and binding, and the Owner shall satisfy any conditions of approval imposed by the Committee.

# Conditional Site Plan Approval



# Requested Relief – Building Height



**Building Height Relief**  
13.9m, where 11m is permitted.