

	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A258/21
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AGENDA ITEM NUMBER: 18	CITY WARD #: 2
APPLICANT:	Anna Commisso
AGENT:	Ross Defina
PROPERTY:	7 Firglen Ridge, Woodbridge
ZONING DESIGNATION:	See below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by VOP 2010, Volume 2, Section 11.11 - Woodbridge Centre Secondary Plan.
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the City's Zoning By-law is being requested to permit the construction of an addition to the existing single family dwelling and to permit the existing shed (accessory structure).

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<div><div>PUBLIC & APPLICANT CORRESPONDENCE</div><div><div>*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.</div><div>The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.</div><div>Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.</div><div>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</div></div></div>				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

<div><div>PREVIOUS COA DECISIONS ON THE SUBJECT LAND</div><div><div>*Please see Schedule D for a copy of the Decisions listed below</div></div></div>		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

<div><div>ADJOURNMENT HISTORY</div><div><div>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</div></div></div>
None



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A258/21**

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PROPERTY:	7 Firglen Ridge, Woodbridge
ZONING DESIGNATION:	See below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by VOP 2010, Volume 2, Section 11.11 - Woodbridge Centre Secondary Plan.
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the City's Zoning By-law is being requested to permit the construction of an addition to the existing single family dwelling and to permit the existing shed (accessory structure).

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) –First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.67 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	A minimum 3.5 metre interior side yard setback is required where the interior side yard setback abuts a walkway, greenway, or stormwater management facility. [7.2.2 note 5]	To permit an existing interior side yard setback of 1.59 metres abutting a walkway.
2	A maximum lot coverage of 20% is permitted. [Exception 14.67]	To permit a maximum lot coverage of 30.8%.

The subject lands are zoned R1 Residential Zone and subject to the provisions of Exception 9(145) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A maximum lot coverage of 20% is permitted. [exception 9(145)]	To permit a maximum lot coverage of 29.75% (existing dwelling 26.42%, addition 3.33%)
4	An Accessory Building or Structure shall be located in the rear yard. [4.1.1 c]	To permit an accessory Building or Structure not to be located completely in the rear yard.
5	A minimum interior side yard setback of 1.5 metres is required for an accessory building or structure. [4.1.1 c)]	To permit an accessory Building or structure at a minimum of 0.6 metres.

HEARING INFORMATION

DATE & TIME OF HEARING: Thursday, January 20, 2022 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC PARTICIPATION

You can watch a live stream of the hearing at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

If you wish to speak to the Committee of Adjustment on an application please complete and submit a [Public Deputation Form](#) to cofa@vaughan.ca by **noon** on the last business day prior to the hearing.

Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca

[For more information, please visit the City of Vaughan website.](#)

INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	January 6, 2022	
Date Applicant Confirmed Posting of Sign:	January 6, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Multiple existing conditions that do not meet zoning requirements. Existing Storage Shed located in a side yard and not the rear yard as well exceeds the maximum height allowable. Existing Front Yard Soft Landscape is 25% where the by-law requires minimum 60%. Existing Driveway is 10.89 meters wide and the by-law maximum allowable is 9 meters. Lot Coverage exceeds the 20% as required by Section 9 (145). The existing building has a coverage of 26.42% and the Proposed Addition will add 3.33% for a total of 29.75%.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	No	
<small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>		
<small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>		
<small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
<p>The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.</p> <p>The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).</p> <p>The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.</p> <p>Please note as of January 1, 2015 Accessible Parking Spaces are subject to the provisions of Ontario Regulation - O.Reg.413/12, Subsections 80.32 through 80.39, which supersede the current by-law requirements in By-law 1-88 as amended.</p> <p>Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.</p>	

BUILDING STANDARDS (ZONING) COMMENTS	
An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
The proposed work by the owner is increasing the lot coverage in the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff requires the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Please provide DE with a LID brief explaining the measures taken prior to clearing the condition.	
Development Engineering Recommended Conditions of Approval:	The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20% to 30.8% in order to mitigate potential impacts on the municipal storm water system.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
Ensure application/Permits submitted for review comply with applicable Ontario Building code requirements and all other referenced standards.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering farzana.khan@vaughan.ca	The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20% to 30.8% in order to mitigate potential impacts on the municipal storm water system.

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

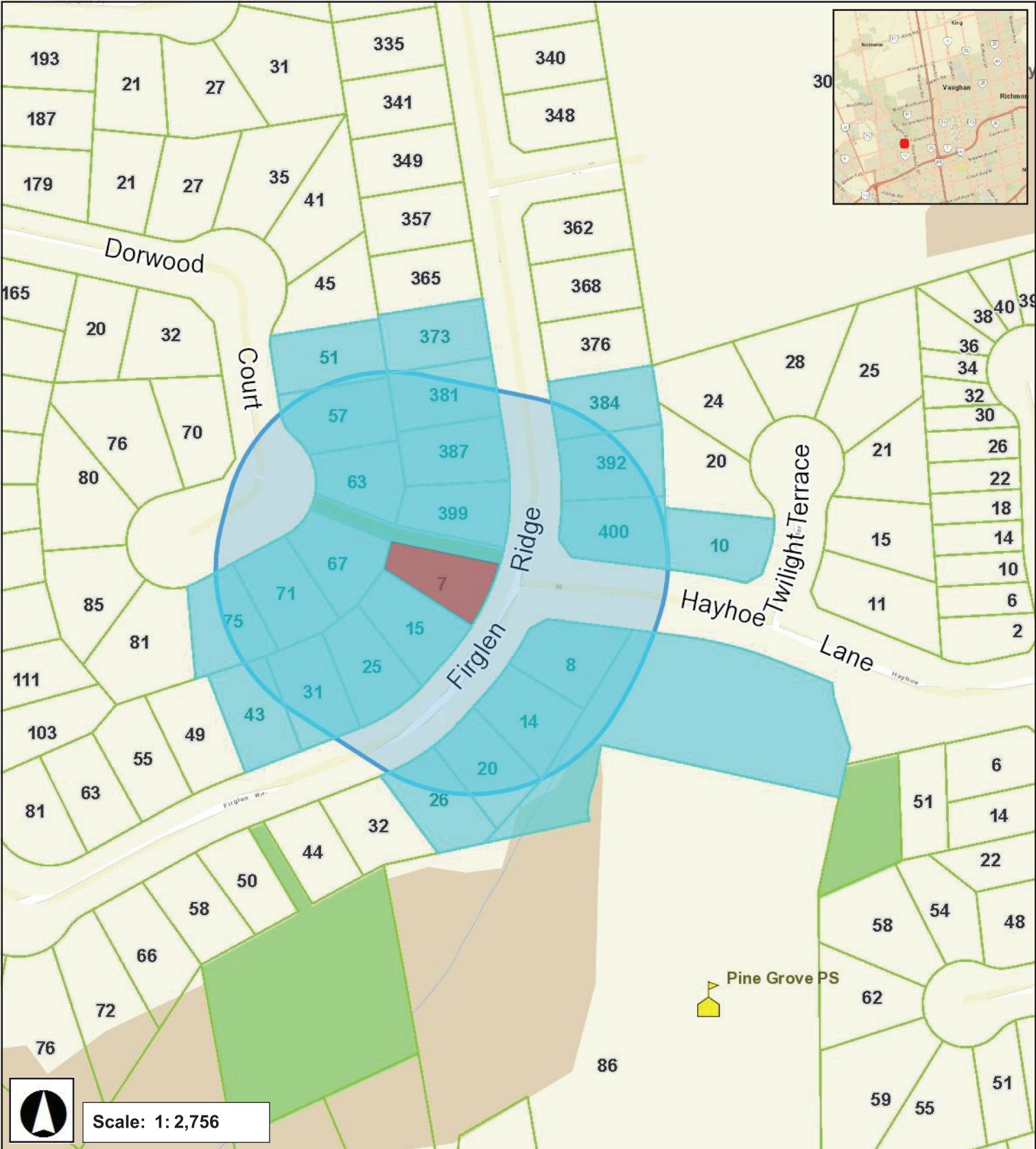
SCHEDULE A: DRAWINGS & PLANS



A258/21 - Notification Map

7 Firglen Ridge, Woodbridge

Langstaff Road



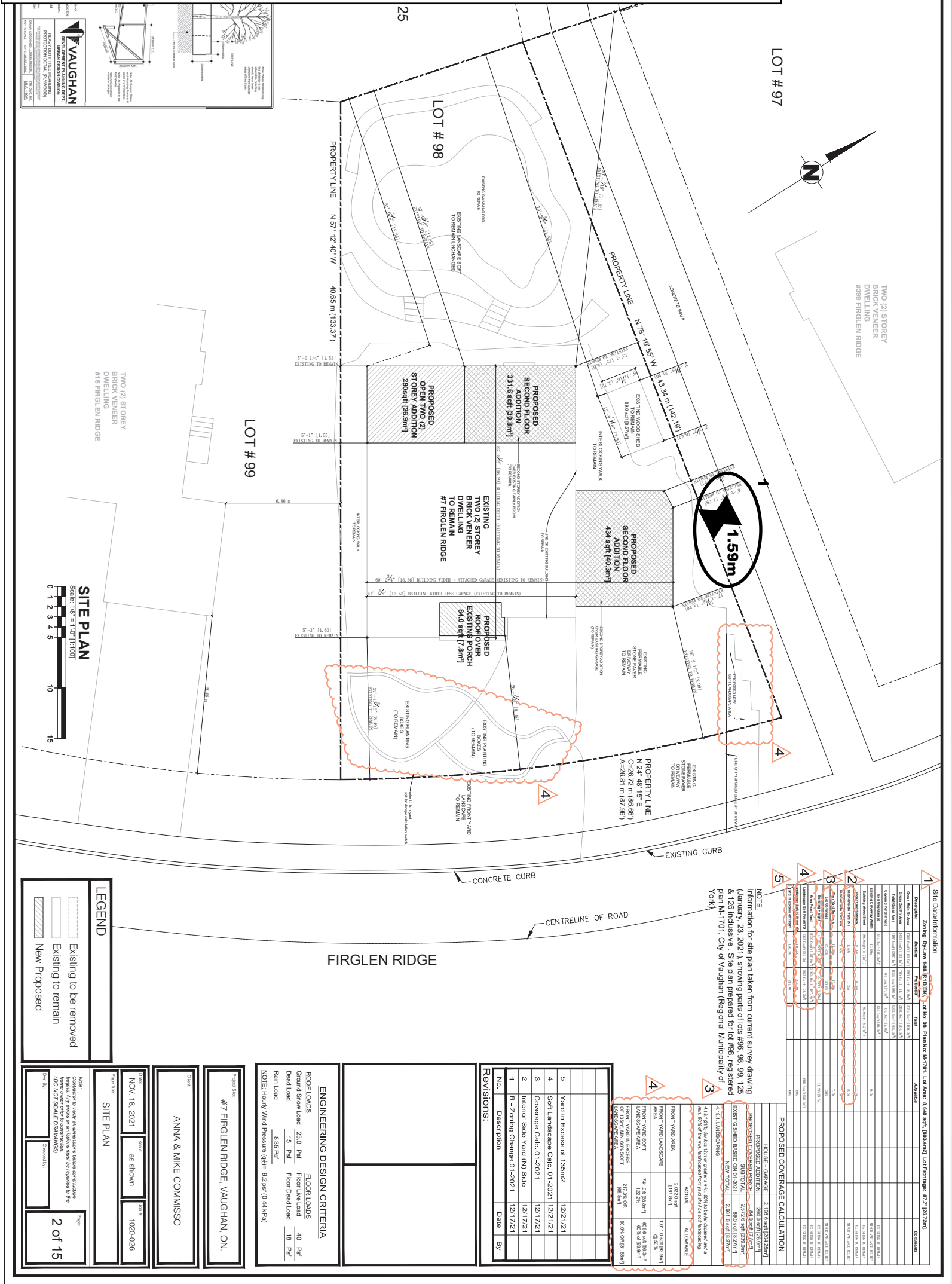
Zoning By-law 01-2021

1. To permit an existing interior side yard setback of 1.59 metres abutting a walkway.
2. To permit a maximum lot coverage of 30.8%.

Zoning By-law 1-88

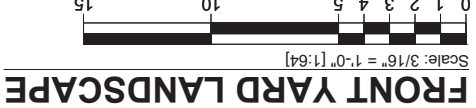
3. To permit a maximum lot coverage of 29.75%.
4. To permit an accessory Bldg or Structure not to be located completely in the rear yard
5. To permit an accessory Building or structure at a minimum Of 0.6 metres.

A258/21



Project Site:

7 FIRGLEN RIDGE, VAUGHAN, ON.



4.19.1. LANDSCAPING			
4.19.1(2)(b) for lots 12m or greater a min. 50% to be landscaped and a min. 60% of the min. landscaped front yard shall be soft landscaping.			
ALLOWABLE	ACTUAL		
	2,022.0 sqft [187.8m ²]	FRONT YARD AREA	
		FRONT YARD LANDSCAPE AREA	
1,011.0 sqft [93.9m ²] @ 50%		FRONT YARD SOFT LANDSCAPE AREA	
606.6 sqft [56.3m ²] 60% of [93.9m ²]	741.0 ft [68.8m ²] 122.2%	FRONT YARD SOFT LANDSCAPE AREA	
217.0% OR [68.8m ²]		FRONT YARD IN EXCESS OF 135m ² , MIN. 60% SOFT LANDSCAPE AREA	
60.0% OR [31.68m ²]			

- EXISTING HARD LANDSCAPE

EXISTING SOFT LANDSCAPE

PROPOSED NEW SOFT LANDSCAPE

EXISTING PERMIABLE STONE PAVEMENT WALK (TO REMAIN)

PROPERTY LINE
N 24° 48' 15" E
C=26.72 m (86.66')
A=26.81 m (87.96')

8.94' @ STREET CURB

LINE OF REMOVED EDGE OF DRIVEWAY (TO BE REMOVED)
PROPOSED NEW SOFT LANDSCAPE AREA (SECTION 4.19.1)
PROPOSED EXTENT OF SOFT LANDSCAPE AREA
LINE OF PROPOSED EDGE OF DRIVEWAY

43.34 m (142.19')

N 78° 10' 55" W

PROPERTY LINE

EXISTING PERMIABLE STONE PAVEMENT DRIVEWAY (TO REMAIN)

EXISTING SOFT LANDSCAPE

EXISTING HARD LANDSCAPE

PROPOSED NEW SOFT LANDSCAPE

PROPOSED EXTENT OF SOFT LANDSCAPE AREA

LINE OF REMOVED EDGE OF DRIVEWAY (TO BE REMOVED)

LINE OF PROPOSED EDGE OF DRIVEWAY

43.34 m (142.19')

N 78° 10' 55" W

PROPERTY LINE

EXISTING PERMIABLE STONE PAVEMENT DRIVEWAY (TO REMAIN)

EXISTING SOFT LANDSCAPE

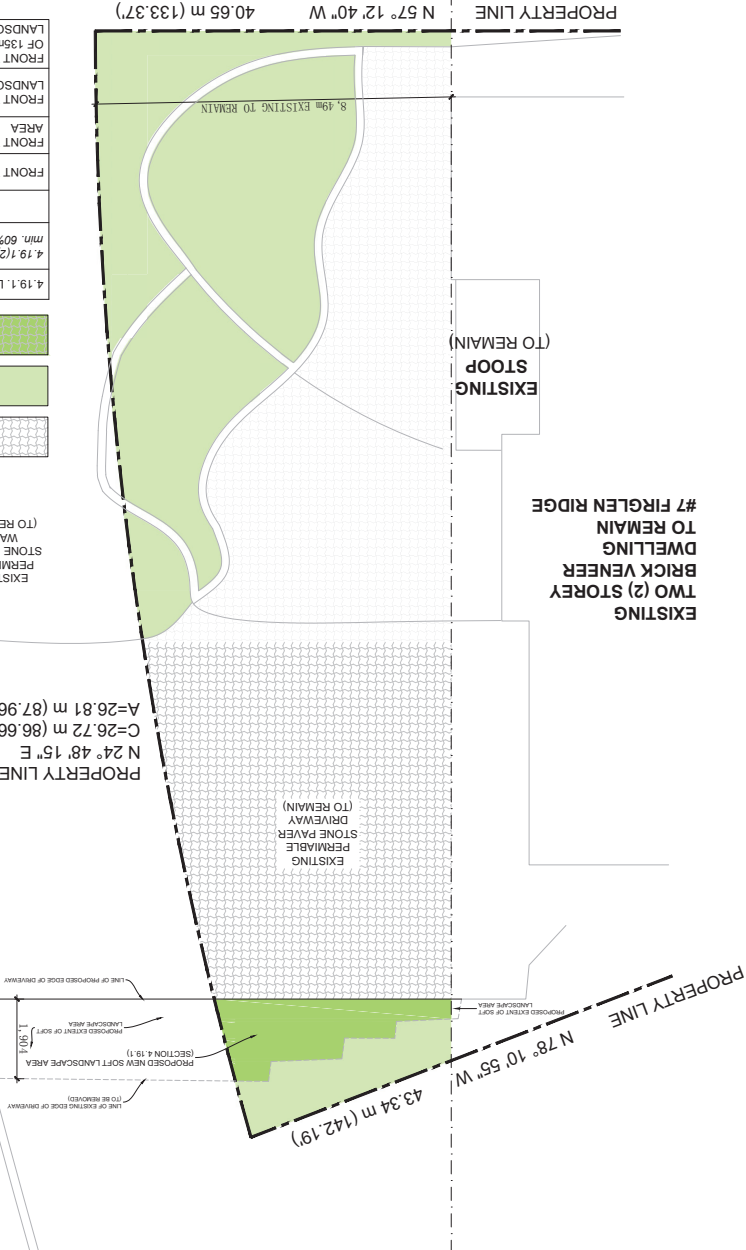
EXISTING HARD LANDSCAPE

PROPOSED NEW SOFT LANDSCAPE

PROPOSED EXTENT OF SOFT LANDSCAPE AREA

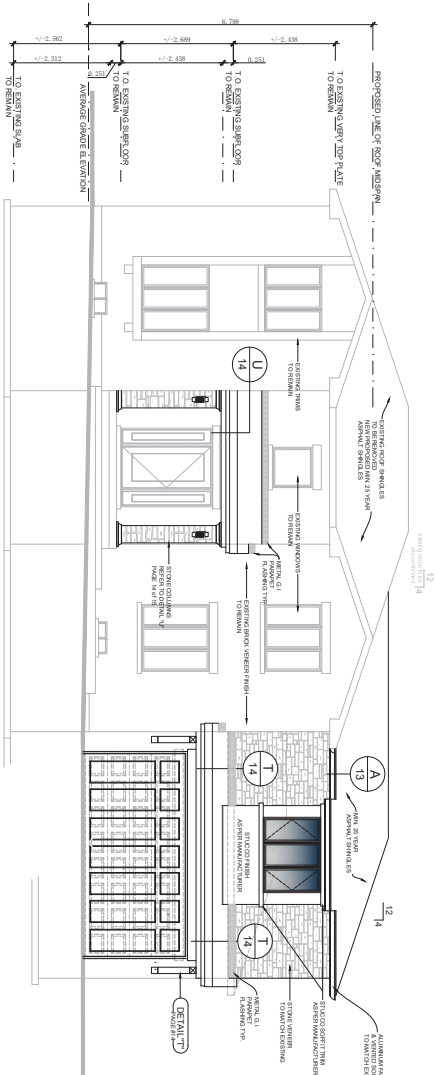
LINE OF REMOVED EDGE OF DRIVEWAY (TO BE REMOVED)

LINE OF PROPOSED EDGE OF DRIVEWAY



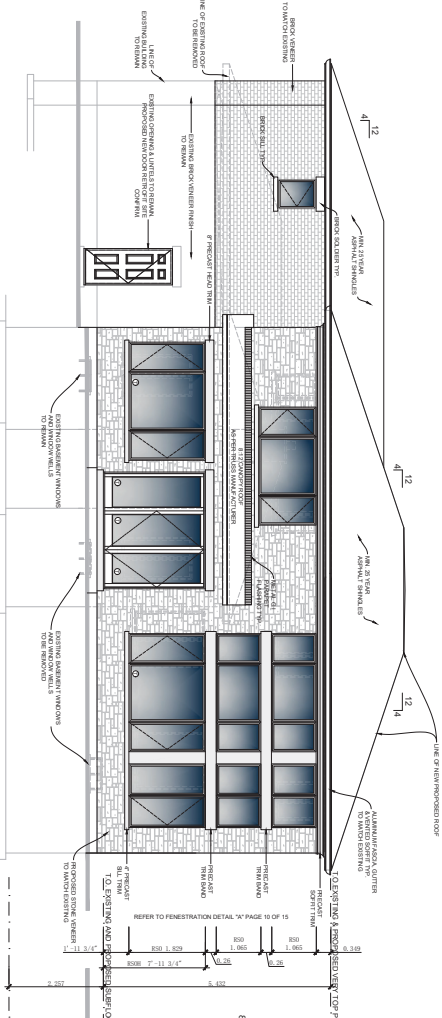
EXISTING STOOP (TO REMAIN)

EXISTING TWO (2) STOREY BRICK VENEER DWELLING TO REMAIN #7 FIRGLEN RIDGE



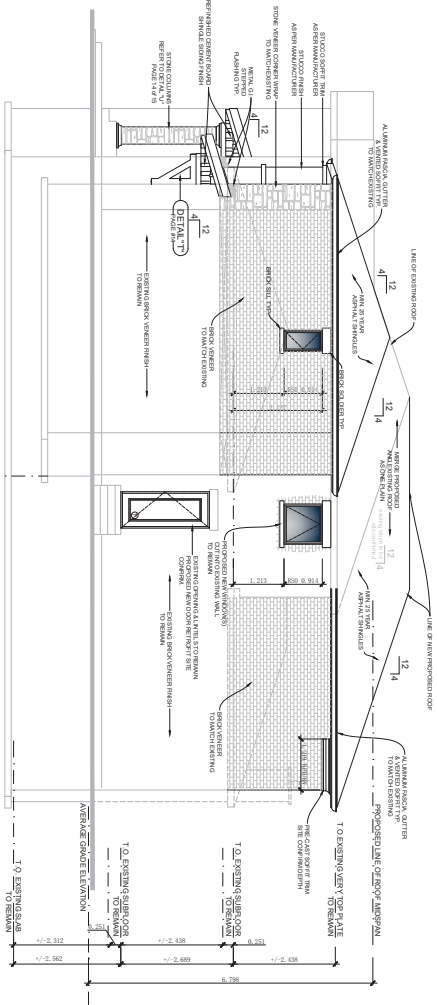
PROPOSED EXISTING EAST ELEVATION

Scale: 1/64 (3/16" = 1'-0")



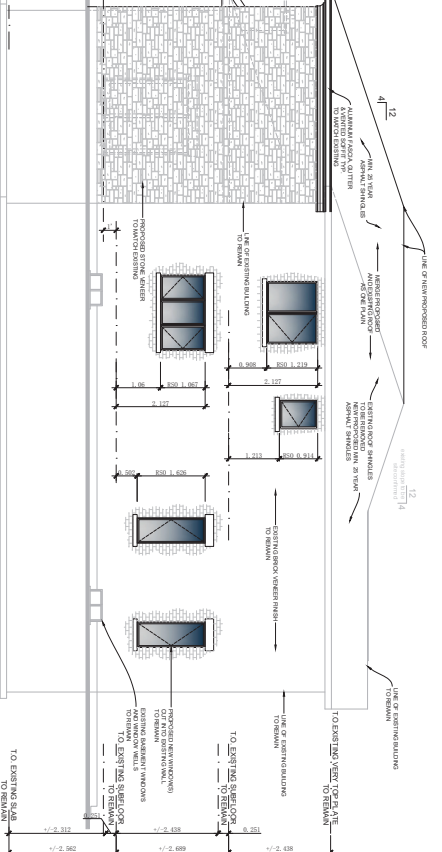
PROPOSED EXISTING WEST ELEVATION

Scale: 1/64 (3/16" = 1'-0")



PROPOSED EXISTING NORTH ELEVATION

Scale: 1/64 (3/16" = 1'-0")



PROPOSED EXISTING SOUTH ELEVATION

Scale: 1/64 (3/16" = 1'-0")

EXISTING ROOF OPENINGS	
NO. 1	1.0
NO. 2	1.0
NO. 3	1.0
NO. 4	1.0
NO. 5	1.0
NO. 6	1.0
NO. 7	1.0
NO. 8	1.0
NO. 9	1.0
NO. 10	1.0

EXISTING ROOF OPENINGS	
NO. 1	1.0
NO. 2	1.0
NO. 3	1.0
NO. 4	1.0
NO. 5	1.0
NO. 6	1.0
NO. 7	1.0
NO. 8	1.0
NO. 9	1.0
NO. 10	1.0

EXISTING ROOF OPENINGS	
NO. 1	1.0
NO. 2	1.0
NO. 3	1.0
NO. 4	1.0
NO. 5	1.0
NO. 6	1.0
NO. 7	1.0
NO. 8	1.0
NO. 9	1.0
NO. 10	1.0

LEGEND

- Existing to be removed
- Existing to remain
- New Proposed

NOTE:
INFORMATION FOR EXISTING BUILDING TAKEN FROM SITE MEASURE AND ASSESSMENT.
EXISTING CONDITIONS ARE ASSUMED AND SITE OBSERVED WITH LIMITED ACCESS.
CONTRACTOR/BUILDER/PROJECT MANAGER/OWNER MUST SITE VERIFY ALL EXISTING
CONDITIONS AND FORWARD ALL DISCREPANCIES FOR ENGINEERING REVIEW AND APPROVAL.
IT IS THE CONTRACTOR/BUILDER/PROJECT MANAGER/OWNER'S RESPONSIBILITY TO TAKE ALL
NECESSARY PRECAUTIONS TO PROTECT THE EXISTING STRUCTURE FROM DAMAGE DURING
CONSTRUCTION.
CONTRACTOR/BUILDER/PROJECT MANAGER/OWNER IS RESPONSIBLE FOR THE SAFETY OF
WORKERS AND THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION. ADEQUATELY
SHORE EXISTING WALLS UNTIL THE NEW STRUCTURE CAN SAFELY SUPPORT THE NEW LOADS.

Revisions:

Description	Date	By

ENGINEERING DESIGN CRITERIA

<u>ROOF LOADS</u>		<u>FLOOR LOADS</u>	
Ground Snow Load	23.0 Psf	Floor Live Load	40 Psf
Dead Load	15 Psf	Floor Dead Load	18 Psf
Rain Load	8.35 Psf		
NOTE: Hourly Wind Pressure (q_h)= 9.2 psf (0.44 kPa)			

#7 FIRELENE RIDGE, VAUGHAN, ON

ANNA & MIKE COMMISSO

NOV. 18, 2021
8:30 AM
1020-026

EXISTING/PROPOSED ELEVATIONS

4 of 15

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Recommend Approval/No Conditions

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

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Email: tony.donofrio@alectrautilities.com

Pravina Attwala

Subject: FW: [External] RE: A258/21 (7 FIRGLEN RIDGE) - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: December-16-21 3:16 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A258/21 (7 FIRGLEN RIDGE) - REQUEST FOR COMMENTS

Good afternoon Pravina,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Pravina Attwala

Subject: FW: [External] RE: A258/21 (7 FIRGLEN RIDGE) - REQUEST FOR COMMENTS

From: York Plan <yorkplan@trca.ca>

Sent: December-16-21 7:21 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: A258/21 (7 FIRGLEN RIDGE) - REQUEST FOR COMMENTS

Based on a review of our available screening mapping, I can confirm that the subject property is not located within TRCA's Regulated nor Well Head Protection areas . Thus, any site alteration or development on the site would not require a permit from TRCA.

Thus, TRCA has no concerns related to the subject application.

Mark Howard, BES, MLA, MCIP, RPP

Senior Planner – Vaughan Review Area

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:4166616600) ext 5269

E: mark.howard@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: January 20, 2022

Name of Owner: Mike and Anna Commisso

Location: 7 Firglen Ridge

File No.(s): A258/21

Proposed Variance(s) (By-law 001-2021):

1. To permit an existing interior side yard setback of 1.59 m abutting a walkway.
2. To permit a maximum lot coverage of 30.8%.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum 3.5 m interior side yard setback is required where the interior side yard setback abuts a walkway, greenway, or stormwater management facility. [7.2.2 note 5]
2. A maximum lot coverage of 20% is permitted. [Exception 14.67]

Proposed Variance(s) (By-law 1-88):

3. To permit a maximum lot coverage of 29.75%.
4. To permit an accessory building or structure not to be located completely in the rear yard.
5. To permit an accessory building or structure at a minimum of 0.6 m.

By-Law Requirement(s) (By-law 1-88):

3. A maximum lot coverage of 20% is permitted. [Exception 9(145)]
4. An accessory building or structure shall be located in the rear yard. [4.1.1 c)]
5. A minimum interior side yard setback of 1.5 m is required for an accessory building or structure. [4.1.1 c)]

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by VOP 2010, Volume 2, Section 11.11 - Woodbridge Centre Secondary Plan.

Comments:

The Owner is proposing to construct second-storey additions to the front and rear of the existing single-detached dwelling, and to maintain an existing shed with the above-noted variances.

The existing dwelling and shed have lot coverages of 25.42% and 1.03% respectively. The proposed additions and covered front porch account for the additional 4.32% in lot coverage (3.35% and 0.97% respectively). The building footprint will only expand from the rear addition as the front addition is over the existing 1-storey garage and does not expand into either the required front or rear yard setbacks. The dwelling coverage will also remain consistent with previous approvals in the neighbourhood. As such, the Development Planning Department has no concern with the requested increase in lot coverage.

The existing dwelling has an interior side yard setback of 1.59 m to the 1-storey garage portion which complies with By-law 1-88, and the proposed front addition will sit atop the same footprint without encroaching into the required interior side yard any further.

The Development Planning Department has no concern with the variances associated with the existing shed as it is located in what is effectively the rear yard of the subject lands and is not visible from the street.

In support of the application, the Owner has submitted an Arborist Report and Tree Inventory and Preservation Plan prepared by Noica Consulting Inc., dated September 01, 2021. The report identified 16 trees which require protection with none requiring removal. Urban Design staff have reviewed the Arborist Report and concur with its recommendations.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michael Torres, Planner I

Chris Cosentino, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None