



**COMMITTEE OF ADJUSTMENT  
REPORT SUMMARY  
MINOR VARIANCE APPLICATION  
A254/21**

<b>AGENDA ITEM NUMBER: 16</b>	<b>CITY WARD 1</b>
<b>APPLICANT:</b>	Marian Talaat Girgis Rizk & Gerges Tamer Mamdouh Shoukry
<b>AGENT:</b>	Sam Spagnuolo
<b>PROPERTY:</b>	<b>27 Rainbow's End, Kleinburg</b>
<b>ZONING DESIGNATION:</b>	See below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from By-law 1-88, as amended, is being requested to permit the proposed construction of a covered terrace to be located in the rear yard.

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

<b>DEPARTMENTS</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
<b>AGENCIES</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A254/21**

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<b>AGENT:</b>	Sam Spagnuolo
<b>PROPERTY:</b>	<b>27 Rainbow's End, Kleinburg</b>
<b>ZONING DESIGNATION:</b>	The subject lands are zoned R1 and subject to the provisions of Exception 9(1162) under By-law 1-88 as amended
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b> <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from By-law 1-88, as amended, is being requested to permit the proposed construction of a covered terrace to be located in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.815 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
	The proposal is in compliance with By-law 1-2021.	None

The subject lands are zoned R1, Residential Zone and subject to the provisions of Exception 9(1162) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88	Variance requested
A maximum lot coverage of 35% is permitted. [Exception 9(1162)]	To permit a maximum lot coverage of 38.94%. (29.43% dwelling; 0.84% existing covered terrace 8.67% proposed covered terrace)

**HEARING INFORMATION**

**DATE & TIME OF HEARING:** Thursday, January 20, 2022 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC PARTICIPATION**

You can watch a live stream of the hearing at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

If you wish to speak to the Committee of Adjustment on an application please complete and submit a [Public Deputation Form](#) to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) by **noon** on the last business day prior to the hearing.

Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be emailed to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

[For more information, please visit the City of Vaughan website.](#)

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

## INTRODUCTION

That the general intent and purpose of the by-law will be maintained.  
 That the general intent and purpose of the official plan will be maintained.  
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	January 5, 2022
<b>Date Applicant Confirmed Posting of Sign:</b>	January 4, 2022
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Lot is undersized
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING) COMMENTS

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.  
 The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).  
 The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.  
 Please note as of January 1, 2015 Accessible Parking Spaces are subject to the provisions of Ontario Regulation - O.Reg.413/12, Subsections 80.32 through 80.39, which supersede the current by-law requirements in By-law 1-88 as amended.  
 Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.  
 An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule C for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT ENGINEERING COMMENTS

The Development Engineering (DE) Department does not object to variance application A254/21 subject to the following condition(s):

1. As the proposed terrace in the subject property is over 10m<sup>2</sup>, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's

### DEVELOPMENT ENGINEERING COMMENTS

Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPpermits@vaughan.ca or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Agent has confirmed Via email that the municipally owned right-of-way trees will be protected during the construction utilizing hoarding detail MLA 107B (light Duty).

<b>PFH Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment no concerns

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

<b>Building Inspection Recommended Conditions of Approval:</b>	
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### FIRE DEPARTMENT COMMENTS

No comment no concerns

<b>Fire Department Recommended Conditions of Approval:</b>	None
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### SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Development Planning & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:farzana.khan@vaughan.ca">farzana.khan@vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPpermits@vaughan.ca or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.

## IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

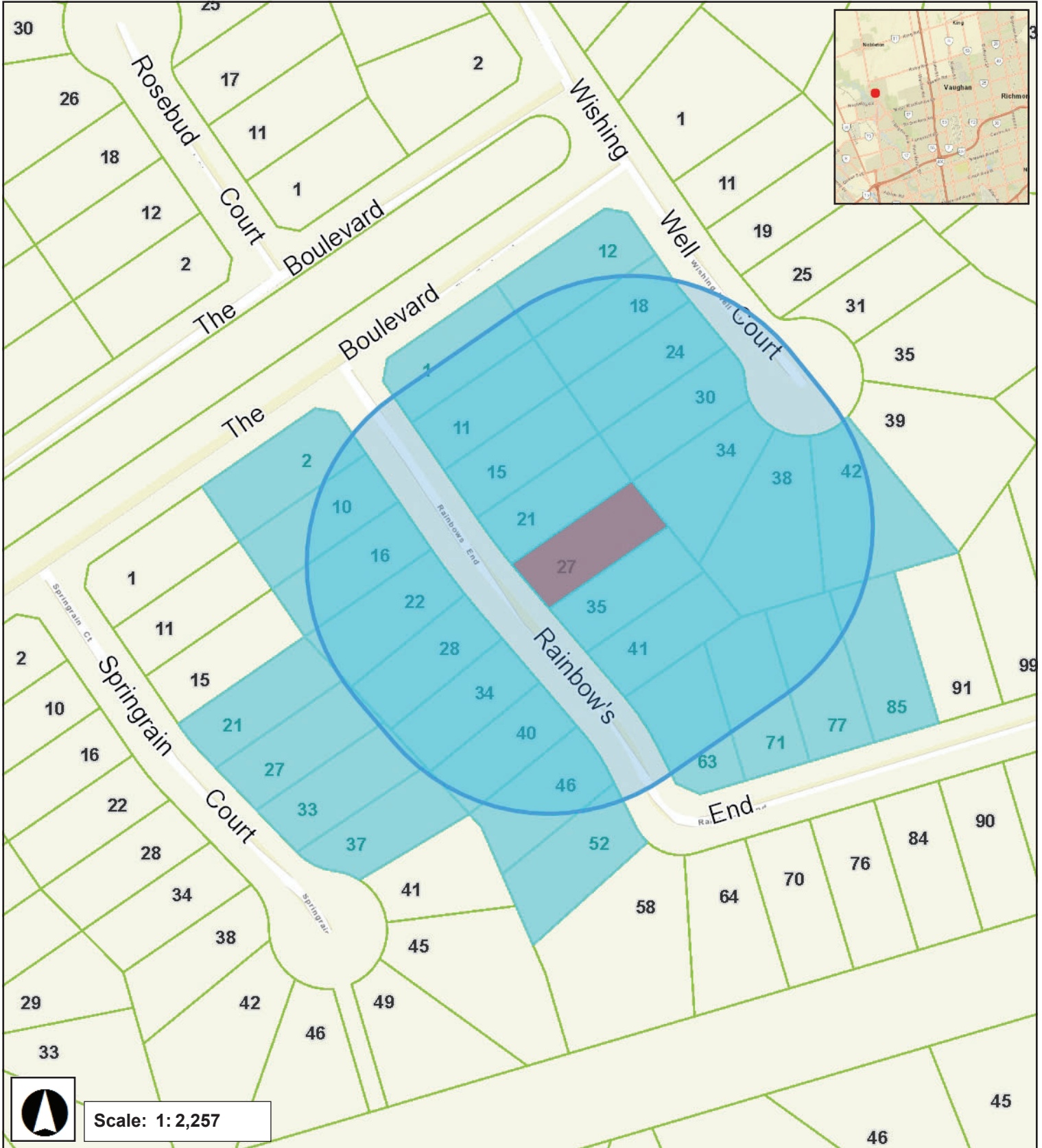




# LOCATION MAP - A254/21

27 RAINBOW'S END, KLEINBURG

**Kirby Road**



highway27

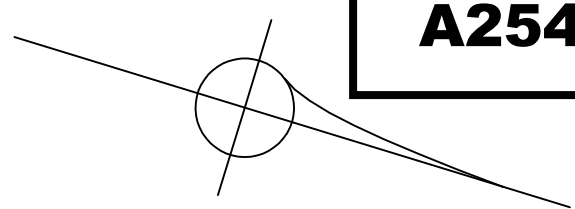
**Nashville Road**

December 20, 2021 3:34 PM

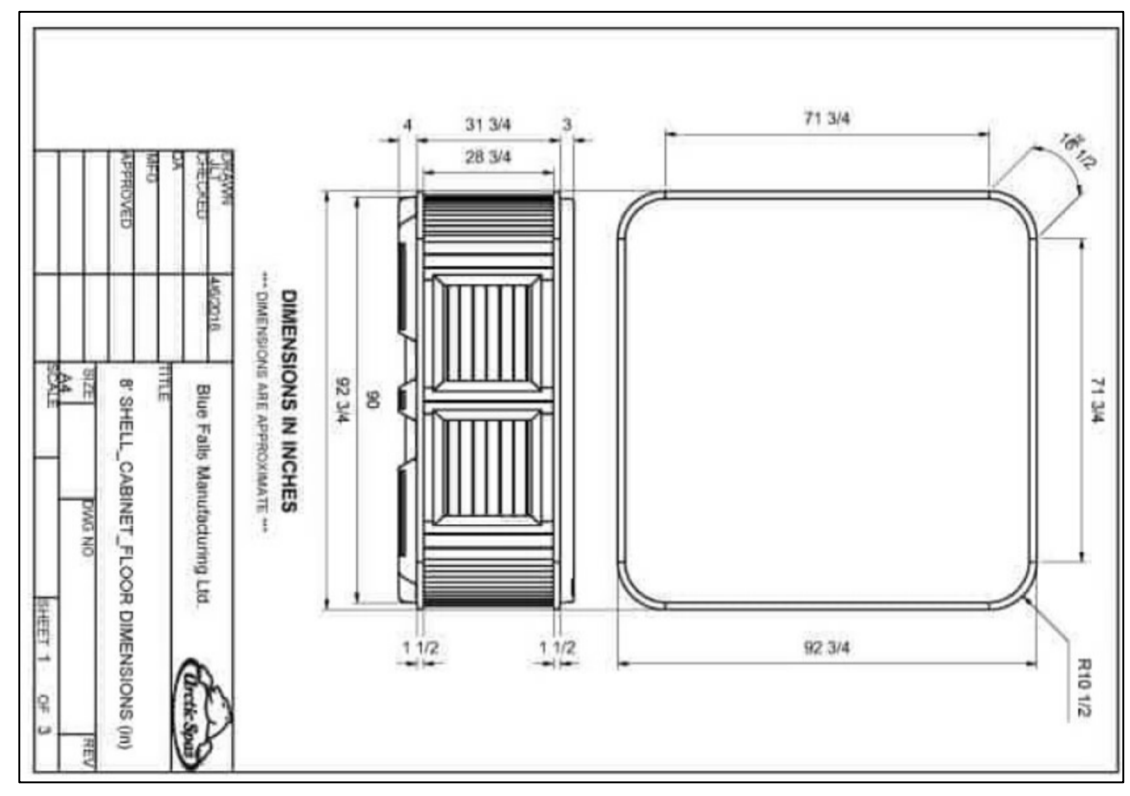
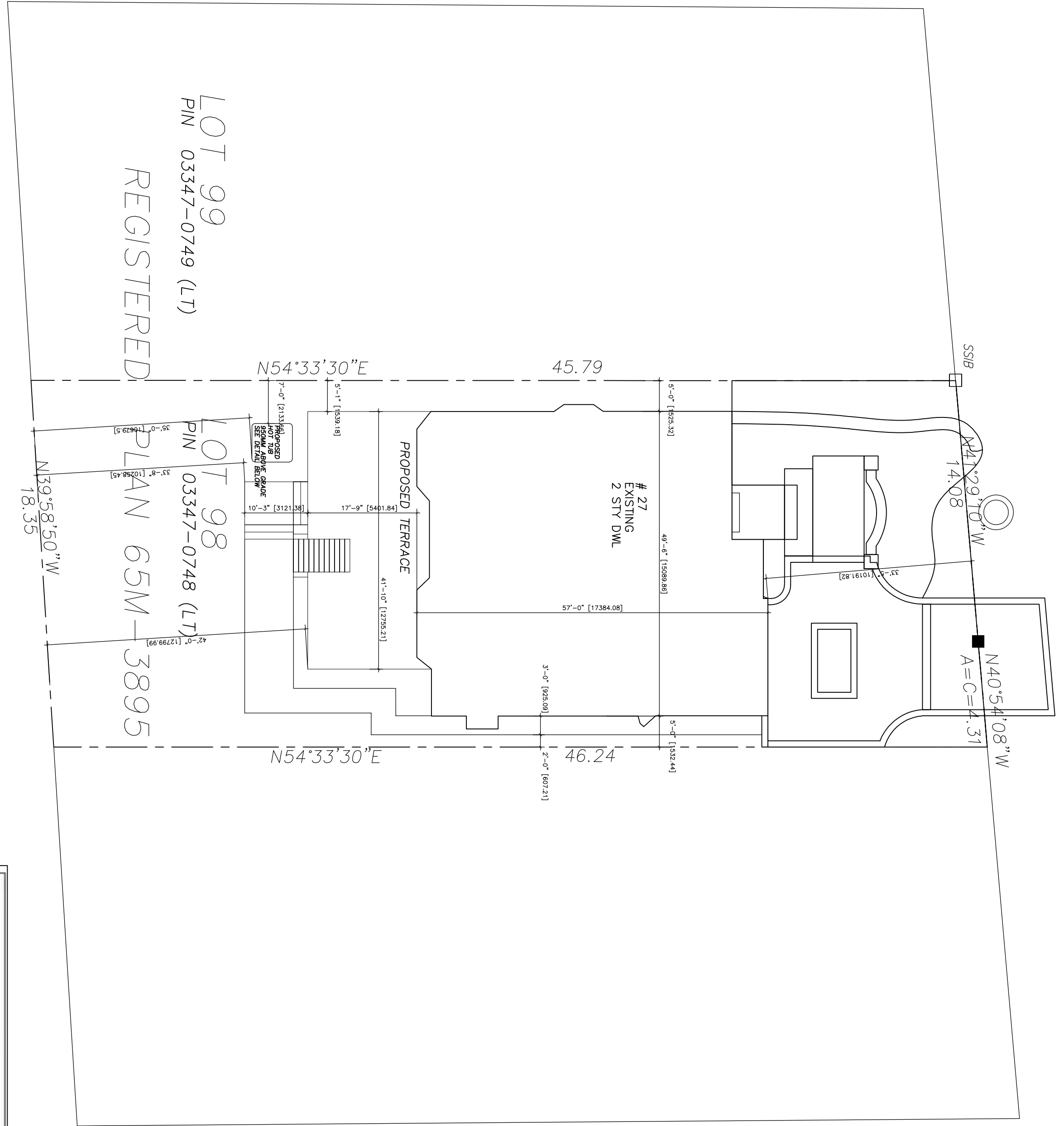


**RECEIVED**  
By RECEIVED at 10:59 am, Dec 01, 2021

**A254/21**



LONG HILL DRIVE



**LOT COVERAGE = 38.94%**  
(29.43% dwelling; 0.84% existing terrace; 8.67% proposed terrace)

**A254/21**

**Benchmark**  
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN.  
BENCHMARK : 105980018 ELEVATION = 219.673m.

**Legend**

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- WIT DENOTES IRON BAR WITNESS
- SET DENOTES SET
- N/S/E/W DENOTES NORTH/SOUTH/EAST/WEST REGISTERED PLAN 65M-4336 SURVEYOR'S REAL PROPERTY REPORT BY RUDY MAK SURVEYING, LTD., O.L.S., DATED AUGUST 30, 2015.
- RP DENOTES GUIDO PAPA SURVEYING LTD., O.L.S. CALCULATED FROM REGISTERED PLAN 65M-4336
- GP DENOTES BOARD FENCE
- CALC DENOTES CHAIN LINK FENCE
- BF DENOTES TIES TO CONCRETE FOUNDATION
- CLF DENOTES LIGHT STANDARD
- FDN DENOTES MANHOLE
- LS DENOTES WATER VALVE
- MH DENOTES DIAMETER (ROUND)
- WV DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER NOT TO SCALE
- NTS DENOTES DENOTES

**SITE STATISTICS**

ZONING **R**  
LOT AREA = 8,968.69 SQ.FT. (833,218 SQ.M)

COVERAGE  
EXIST. COVERAGE HOUSE + COVERED PORCH = 2,640.231 SQ. FT. COVERAGE 29.43%  
EXIST. COVERAGE HOUSE = 2,115.425 SQ. FT. COVERAGE 23.59%  
PROPOSED TERRACE = 771.224 SQ. FT. COVERAGE 8.67%  
EXIST. COVERAGE HOUSE + COVERED PORCH + PROPOSED TERRACE = 2,492.65 SQ. FT. COVERAGE 27.86%

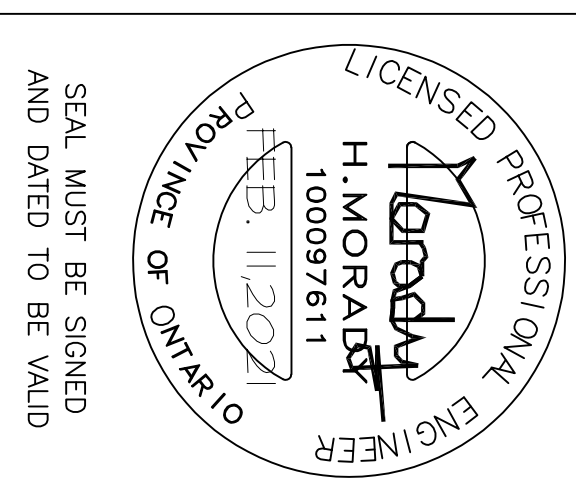
EXISTING  
FRONT YARD AREA = 2126.24 SQ. FT. (197.53 SQ. M)  
DRIVEWAY AREA = 660.27 SQ. FT. (61.34 SQ. M)  
FRONT LANDSCAPE AREA = 1465.67 SQ. FT. (136.19 SQ. M)  
SOFT LANDSCAPE AREA = 426.04 SQ. FT. (39.56 SQ. M) 63.1%  
HARD LANDSCAPE AREA = 539.63 SQ. FT. (50.13 SQ. M) 36.82 %

PROPOSED  
REAR LANDSCAPE AREA = 3701.77 SQ. FT. (343.90 SQ. M)  
SOFT LANDSCAPE AREA = 2452.01 SQ. FT. (227.80 SQ. M) 66.24 %  
HARD LANDSCAPE AREA = 1249.76 SQ. FT. (116.10 SQ. M) 33.76%

**HOT TUB DETAIL**

**SITE PLAN**

THIS SITE PLAN IS BASED ON PLAN OF SURVEY OF PART I OF LOTS 98, 99, REGISTERED PLAN 65M - 3945 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK  
SCALE : 3/32" = 1'-0"  
PREPARED BY: ROMAN - STANCIU LTD.  
DATED: NOVEMBER, 2004

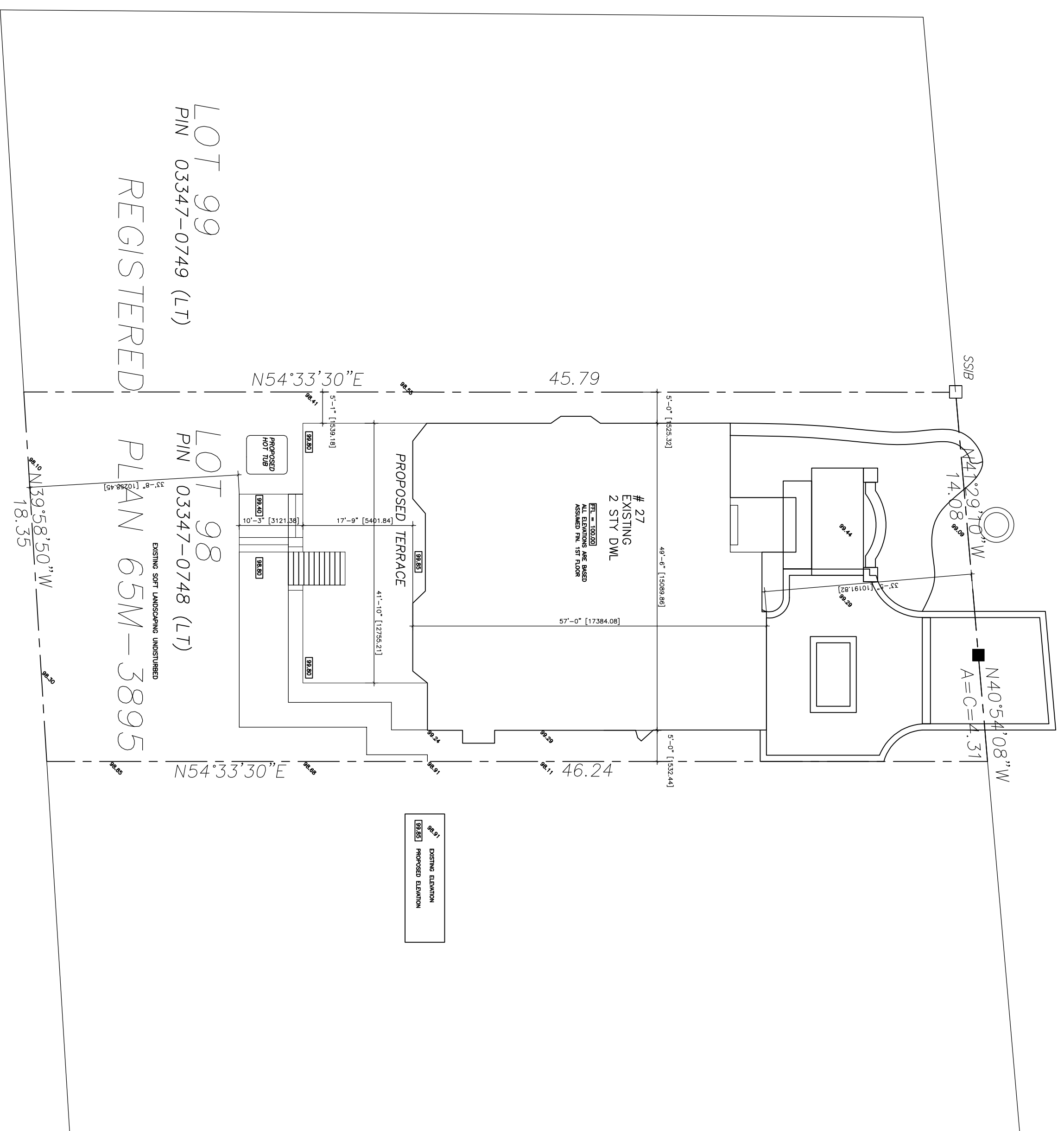
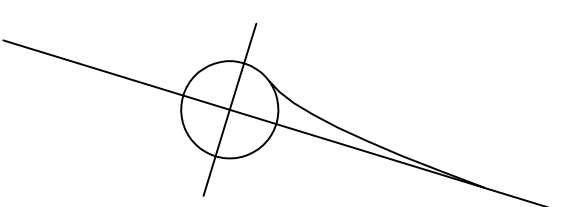


SEAL MUST BE SIGNED AND DATED TO BE VALID

CONFORMS TO SPEC. AND 1997 ALL DIMENSIONS ON THE PLAN SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED. THE DESIGNER'S RESPONSIBILITY IS TO VERIFY THE ACCURACY OF THE DATA PROVIDED BY THE CLIENT AND TO BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK.

PROJECT TITLE		SITE PLAN	
SCALE	1" = 20'-0"	PROJECT NO.	2104
DATE	FEB. 2021	DRAWN BY	RAC
DESIGNED BY		CHECKED BY	

# RAINBOWS END



## Legend

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	DENOTES
▣	DENOTES	DENOTES
SIB	DENOTES	STANDARD IRON BAR
IRON BAR	DENOTES	IRON BAR
WIT	DENOTES	WITNESS
SET	DENOTES	SET
MEASURED	DENOTES	MEASURED
NORTH/SOUTH/EAST/WEST	DENOTES	NORTH/SOUTH/EAST/WEST
REGISTERED PLAN 65M-4336	DENOTES	REGISTERED PLAN 65M-4336
SURVEYOR'S REAL PROPERTY REPORT BY RUDY MAK SURVEYING, LTD., O.L.S., DATED AUGUST 30, 2015.	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY RUDY MAK SURVEYING, LTD., O.L.S., DATED AUGUST 30, 2015.
GUIDO PAPA SURVEYING LTD., O.L.S. CALCULATED FROM REGISTERED PLAN 65M-4336	DENOTES	GUIDO PAPA SURVEYING LTD., O.L.S. CALCULATED FROM REGISTERED PLAN 65M-4336
BOARD FENCE	DENOTES	BOARD FENCE
CHAIN LINK FENCE	DENOTES	CHAIN LINK FENCE
TIES TO CONCRETE FOUNDATION	DENOTES	TIES TO CONCRETE FOUNDATION
LIGHT STANDARD	DENOTES	LIGHT STANDARD
MANHOLE	DENOTES	MANHOLE
WATER VALVE	DENOTES	WATER VALVE
DIAMETER (ROUND)	DENOTES	DIAMETER (ROUND)
DECIDUOUS TREE WITH TRUNK DIAMETER NOT TO SCALE	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER NOT TO SCALE
NTS	DENOTES	NTS

## SITE STATISTICS

ZONING R  
 LOT AREA = 8,168.64 SQ.FT. (833.218 SQ.M.)

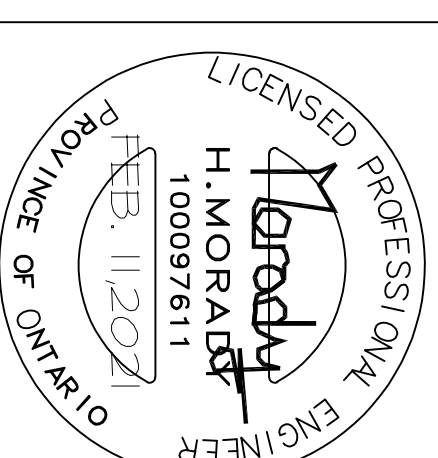
COVERAGES  
 EXIST. COVERAGE HOUSE = 2,640.237 SQ. FT. COVERAGE 29.43%  
 EXIST. COVERAGE HOUSE + COVERED PORCH = 2,715.425 SQ. FT. COVERAGE 30.21%  
 PROPOSED TERRACE = 777.224 SQ. FT.  
 EXIST. COVERAGE HOUSE + COVERED PORCH + PROPOSED TERRACE = 3,492.65 SQ. FT. COVERAGE 39.94%

## SITE PLAN

THIS SITE PLAN IS BASED ON PLAN OF SURVEY OF PART I OF LOTS 98, 99, CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

SCALE : 3/32" = 1'-0"  
 PREPARED BY: ROMAN - STANCIU LTD.  
 DATED: NOVEMBER, 2004

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
 ALL DIMENSIONS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE PROPERTY OF STANCIU SURVEYING AND MUST BE RETURNED AT THE COMPLETION OF THE PROJECT.  
 REPRODUCTION OF DRAWING AND DOCUMENTS IN PART OR IN WHOLE IS PROHIBITED WITHOUT THE DESIGNER'S WRITTEN PERMISSION.  
 DIMENSIONS MUST NOT BE CHANGED.



SEAL MUST BE SIGNED AND DATED TO BE VALID

PROJECT: PROPOSED TERRACE & WALKOUT TO EXISTING TWO STOREY SHEDDLE FARMLET DWELLING  
 FOR: MR. & MRS. TANNER GERGES  
 27 RAINBOWS END  
 KILBURN, ONTARIO

DRAWN BY: PROJECT NO. 1

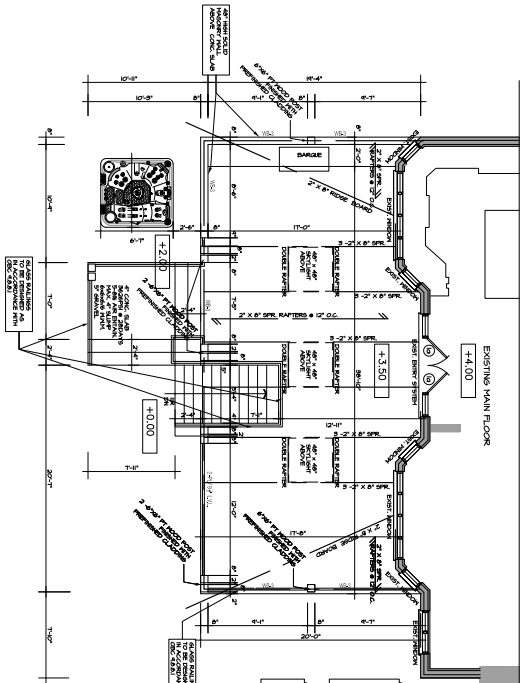
DATE: FEB. 2021  
 SCALE: 1" = 20'-0"  
 PROJECT NO. 2104

CHECKED BY: PROJECT NO. 1

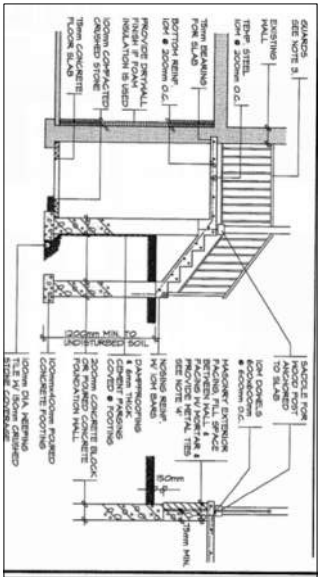
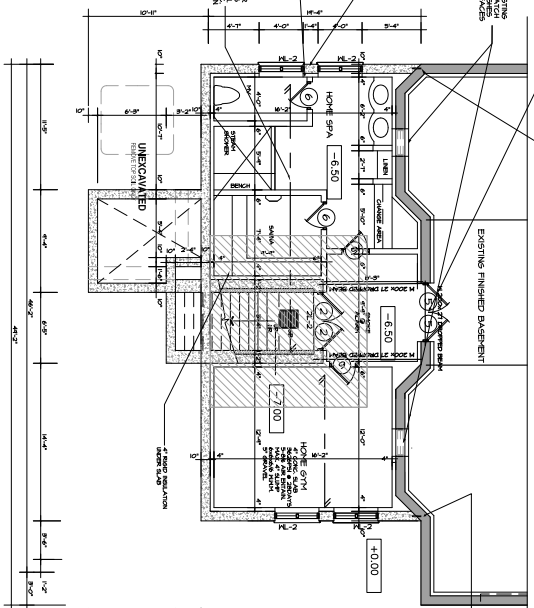


EXIST. REAR ELEVATION

MAIN FLOOR



BASEMENT FLOOR



BASEMENT PLAN NOTES:

- 1.0 ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH ALLOWABLE BEARING CAPACITY OF 2.0 KIP/SQ. YD. AND BE PLACED A MIN. OF 4" BELOW FINISHED GRADE. (Obtain soil engineer's approval on soil bearing capacity before placing concrete.)
- 2.0 CONCRETE FOOTINGS AND FOUNDATION WALLS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 30 MPa (5000 PSI) AFTER 28 DAYS.
- 3.0 STRUCTURAL STEEL MEMBERS AND INSERTS SHALL BE A36 A500 CHANNEL AND ENDERWOOD PLATES SHALL BE GENERAL PURPOSE STEEL.
- 4.0 BACKFILL SHALL BE PLACED AND COMPACTED EQUALLY ON BOTH SIDES OF FOUNDATION WALLS TO AVOID LATERAL LOADING.
- 5.0 ALL INTERIOR DOOR AND OPENING LINTELS NOT SHOWN TO BE A MIN OF 2'-2" x 6" NUMBER 1 5P.
- 6.0 ALL 4" x 4" PARTITIONS SHOWN (UNLESS OTHERWISE NOTED) TO BE 2" x 4" OR 6" x 12" O.C. FOR LOAD BEARING WALLS & 2" x 4" OR 6" x 16" O.C. FOR NON LOAD BEARING WALLS WITH 1/2" DETAIL AT BOTH SIDES.

- NOTES:
- 1.0 SEE FOOTINGS TO REST ON UNDISTURBED SOIL WITH ALLOWABLE BEARING CAPACITY OF 2.0 KIP/SQ. YD.
  - 2.0 CONCRETE FOOTINGS AND FOUNDATION WALLS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 30 MPa (5000 PSI) AFTER 28 DAYS.
  - 3.0 ALL PARTITIONS SHOWN (UNLESS OTHERWISE NOTED) TO BE 2" x 4" OR 6" x 12" O.C. FOR LOAD BEARING WALLS & 2" x 4" OR 6" x 16" O.C. FOR NON LOAD BEARING WALLS WITH 1/2" DETAIL AT BOTH SIDES.
  - 4.0 CONCRETE FOOTINGS SHALL BE PLACED A MIN. OF 4" BELOW FINISHED GRADE.
  - 5.0 ALL INTERIOR DOOR AND OPENING LINTELS NOT SHOWN TO BE A MIN OF 2'-2" x 6" NUMBER 1 5P.
  - 6.0 ALL 4" x 4" PARTITIONS SHOWN (UNLESS OTHERWISE NOTED) TO BE 2" x 4" OR 6" x 12" O.C. FOR LOAD BEARING WALLS & 2" x 4" OR 6" x 16" O.C. FOR NON LOAD BEARING WALLS WITH 1/2" DETAIL AT BOTH SIDES.

BRICK VENEER LINTELS

NO.	DESCRIPTION
1	12" x 12" x 8" BRICK VENEER LINTEL
2	12" x 12" x 6" BRICK VENEER LINTEL
3	12" x 12" x 4" BRICK VENEER LINTEL
4	12" x 12" x 2" BRICK VENEER LINTEL
5	12" x 12" x 1" BRICK VENEER LINTEL
6	12" x 12" x 0.5" BRICK VENEER LINTEL
7	12" x 12" x 0.25" BRICK VENEER LINTEL

WOOD LINTELS AND BEAMS

NO.	DESCRIPTION
1	2" x 4" S4S
2	2" x 6" S4S
3	2" x 8" S4S
4	2" x 10" S4S
5	2" x 12" S4S
6	4" x 6" S4S
7	4" x 8" S4S
8	4" x 10" S4S
9	4" x 12" S4S
10	6" x 6" S4S
11	6" x 8" S4S
12	6" x 10" S4S
13	6" x 12" S4S
14	8" x 8" S4S
15	8" x 10" S4S
16	8" x 12" S4S
17	10" x 10" S4S
18	10" x 12" S4S
19	12" x 12" S4S

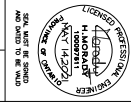
DOOR SCHEDULE

NO.	DESCRIPTION
1	48" x 80" x 1.5" 5P 50 LB/DOOR
2	36" x 60" x 1.5" 5P 50 LB/DOOR
3	30" x 60" x 1.5" 5P 50 LB/DOOR
4	36" x 80" x 1.5" 5P 50 LB/DOOR
5	36" x 80" x 1.5" 5P 50 LB/DOOR
6	36" x 80" x 1.5" 5P 50 LB/DOOR
7	36" x 80" x 1.5" 5P 50 LB/DOOR

BASEMENT PLAN

DATE	2/04
SCALE	AS SHOWN
PROJECT	A2

STUDIO  
ADESSO  
&  
ASSOCIATES  
ARCHITECTS



2017 SB-12 COMPLIANCE  
PACKAGE A-1

CONTRACTOR TO REMOVE EXISTING INTERIOR PARTITIONS TO MAKE ROOMY ALL SPACES  
CONTRACTOR TO REMOVE EXISTING INTERIOR PARTITIONS TO MAKE ROOMY ALL SPACES  
CONTRACTOR TO CORRECT UNDISTURBED SOIL TO BE PLACED A MIN. OF 4" BELOW FINISHED GRADE  
CONTRACTOR TO CORRECT UNDISTURBED SOIL TO BE PLACED A MIN. OF 4" BELOW FINISHED GRADE

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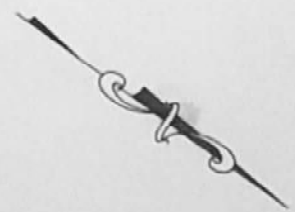
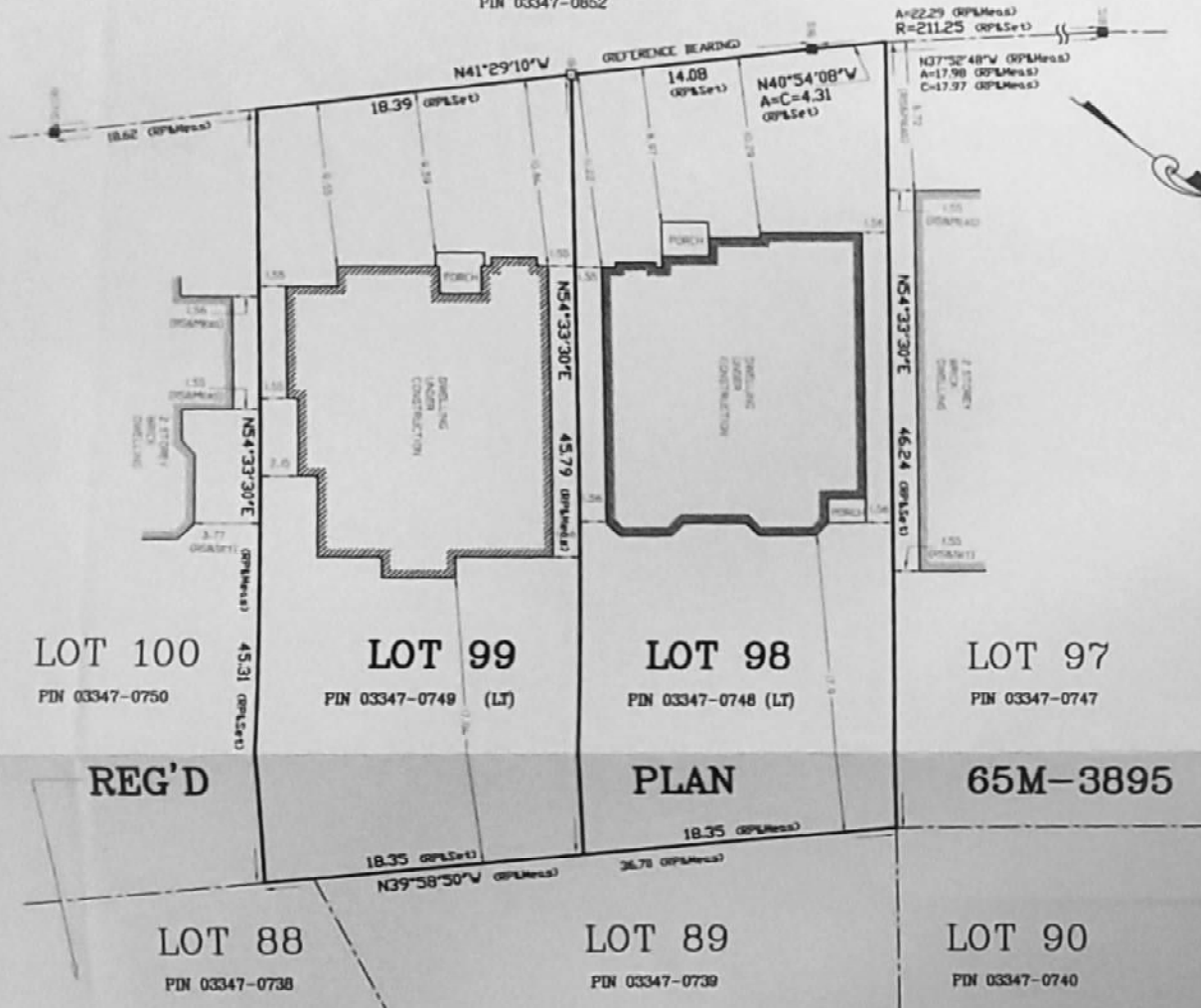




# RAINBOW'S END

(BY REG'D PLAN 65M-3895)

PIN 03347-0852



LOT 100  
PIN 03347-0750

LOT 99  
PIN 03347-0749 (LT)

LOT 98  
PIN 03347-0748 (LT)

LOT 97  
PIN 03347-0747

REG'D

PLAN

65M-3895

LOT 88  
PIN 03347-0738

LOT 89  
PIN 03347-0739

LOT 90  
PIN 03347-0740

SURVEYOR'S REAL PROPERTY REPORT

PART 1 : PLAN OF  
LOTS 98 AND 99,  
REGISTERED PLAN 65M-3895  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK



SCALE 1:300  
C. STANGIU, O.L.S.

DISTANCES SHOWN ON THIS PLAN ARE IN METERS  
METRIC AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048  
© COPYRIGHT 2009  
THE INFORMATION, KNOWLEDGE OR USE OF THIS REPORT IS SOLELY OF A PRIVATE NATURE. THE  
OWNER ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY OF THE DATA AND THE RESULTS THEREOF.

PART 2 : REPORT

THIS REPORT WAS PREPARED FOR HOMEDEVELOPERS DEVELOPMENTS LTD. AND THE  
UNDERSTANDS ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.  
BOUNDARIES  
LOTS 98 AND 99, PLAN REGISTERED PLAN 65M-3895  
TITLE SEARCH INDICATES  
NO EASEMENTS OR RIGHTS-OF-WAYS REGISTERED ON TITLE  
REMARKS  
NONE

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERN LIMIT  
OF RAINBOW'S END SHOWN ON PLAN 65M-3895 AS HAVING A BEARING  
OF N172°10'W

LEGEND

- DENOTES SURVEY MONUMENT SET
- DENOTES SURVEY MONUMENT FOUND
- SB STANDARD IRON BAR
- IB IRON BAR
- RP REGISTERED PLAN 65M-3895
- D/C DWELLING UNDER CONSTRUCTION
- CP CONCRETE PORCH
- MEAS MEASURING
- N.E.S.W. NORTH, EAST, SOUTH, WEST
- R.S. ROWAN-STANGIU LTD., O.L.S.

SURVEYOR'S CERTIFICATE

1. I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM
2. THE SURVEY WAS COMPLETED ON THE 3rd DAY OF NOVEMBER, 2009.

DATE : NOVEMBER 11, 2009  
M. STANGIU  
ONTRARIO LAND SURVEYOR



ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN 1726752

ROWAN-STANGIU LTD  
ONTRARIO LAND SURVEYORS

**SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS**

<b>AGENCIES</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Recommend Approval/No Conditions

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** January 20, 2022  
**Name of Owner:** Marian Talaat Girgis Rizk and Gerges Tamer Momdough Shoukry  
**Location:** 27 Rainbow's End  
**File No.(s):** A254/21

---

**Proposed Variance(s) (By-law 001-2021):**

None.

**By-Law Requirement(s) (By-law 001-2021):**

The proposal is in compliance with By-law 001-2021.

**Proposed Variance(s) (By-law 1-88):**

1. To permit a maximum lot coverage of 38.94%.

**By-Law Requirement(s) (By-law 1-88):**

1. A maximum lot coverage of 35% is permitted. [Exception 9(1162)]

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is proposing to construct a covered terrace in the rear yard with the above-noted variance.

The proposed total lot coverage includes 30.27% for the existing dwelling and covered porch, and 8.67% for the proposed terrace. The terrace, which includes livable space beneath it, is not enclosed and meets all required setbacks to the lot lines, thus maintaining adequate open space and amenity area in the rear yard. As such, the Development Planning Department has no concern with the above-noted variance. The requested lot coverage also complies with Zoning By-law 001-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Michael Torres, Planner I  
Chris Cosentino, Senior Planner

**Date:** December 7<sup>th</sup> , 2021

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A254-21**

**Related Files:**

**Applicant** Marian Talaat Girgis Rizk, Gerges Tamer Momdough Shoukry

**Location** 27 Rainbow's End



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)



## Pravina Attwala

---

**Subject:** FW: Revised TRCA Comment - A254/21 (27 RAINBOW'S END) - REQUEST FOR COMMENTS

---

**From:** Mark Howard <Mark.Howard@trca.ca>  
**Sent:** December-07-21 4:01 PM  
**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>  
**Cc:** Hamedeh Razavi <Hamedeh.Razavi@trca.ca>  
**Subject:** [External] Revised TRCA Comment - A254/21 (27 RAINBOW'S END) - REQUEST FOR COMMENTS

Based on a review of our available screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. Thus, any site alteration or development on the site would not require a permit from TRCA.

Additionally, although the lands are located within the Well Head Protection Area of the Source Protection Plan, it is presumed that any associated requirements were addressed at the subdivision stage and no further study is required.

Thus, TRCA has no concerns related to the subject application.

**Mark Howard, BES, MLA, MCIP, RPP**  
Senior Planner – Vaughan Review Area  
Development Planning and Permits | Development and Engineering Services  
Toronto and Region Conservation Authority (TRCA)

T:  [\(416\) 661-6600](tel:(416)661-6600) ext 5269  
E: [mark.howard@trca.ca](mailto:mark.howard@trca.ca)  
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



## Pravina Attwala

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**Subject:** FW: [External] RE: A254/21 (27 RAINBOW'S END) - REQUEST FOR COMMENTS

---

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** December-14-21 8:09 AM

**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A254/21 (27 RAINBOW'S END) - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst mcip rpp** | Community Planning and Development Services | The Regional Municipality of York | 1-877  
464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received</b> (mm/dd/yyyy)	<b>Summary</b>
None				