



**COMMITTEE OF ADJUSTMENT  
REPORT SUMMARY  
MINOR VARIANCE APPLICATION  
FILE NUMBER A248/21**

<b>AGENDA ITEM NUMBER: 14</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	John and Tina Scalzo
<b>AGENT:</b>	David Bradstreet
<b>PROPERTY:</b>	50 Endless Circle, Kleinburg
<b>ZONING DESIGNATION:</b>	See below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", subject to Site Specific Policy 13.21: North Humber Extension Area 1.
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the City's Zoning By-law is being requested to permit the construction of a proposed cabana to be located in the rear yard.

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

<b>DEPARTMENTS</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
<b>AGENCIES</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

## PUBLIC & APPLICANT CORRESPONDENCE

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Mosiak Homes	8800 Jane Street	08/16/2021	Letter of Support

## PREVIOUS COA DECISIONS ON THE SUBJECT LAND

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

## ADJOURNMENT HISTORY

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None



**COMMITTEE OF ADJUSTMENT REPORT  
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A248/21**

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<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", subject to Site Specific Policy 13.21: North Humber Extension Area 1.
<b>RELATED DEVELOPMENT APPLICATIONS:</b> <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the City's Zoning By-law is being requested to permit the construction of a proposed cabana to be located in the rear yard.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned OS1 –Public Open Space Zone and subject to the provisions of Exception 14.890 under Zoning By-law 01-2021.**

#	Zoning By-law 01-2021	Variance requested
1	A maximum building height of 3.0 metres is permitted for the accessory structure. (Section 4.1.4)	To permit a maximum building height of 3.17 metres for the accessory structure.
2	A minimum setback from the interior side lot line of 2.4 metres is required for the accessory structure. (Section 4.1.4)	To permit a minimum setback from the interior side lot line of 1.44 metres for the accessory structure.

**The subject lands are zoned R1 Residential Zone One and subject to the provisions of Exception 9(1378) and 9(1379) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
3	A minimum setback from the rear lot line of 7.5 metres is required for the accessory structure. (Schedule A & Exceptions 9(1378) and 9(1379)	To permit minimum setback from the rear lot line of 2.88 metres for the accessory structure.

**HEARING INFORMATION**

**DATE & TIME OF HEARING:** Thursday, January 20, 2022 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC PARTICIPATION**

You can watch a live stream of the hearing at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

If you wish to speak to the Committee of Adjustment on an application please complete and submit a [Public Deputation Form](#) to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) by **noon** on the last business day prior to the hearing.

Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be emailed to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

[For more information, please visit the City of Vaughan website.](#)

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	January 5, 2022	
<b>Date Applicant Confirmed Posting of Sign:</b>	December 23, 2021	
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Required rear lot line setback of cabana of 7.5m would locate the cabana too close to the existing house.	
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
<b>Committee of Adjustment Comments:</b>	None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None	

## BUILDING STANDARDS (ZONING) COMMENTS

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001. Please note as of January 1, 2015 Accessible Parking Spaces are subject to the provisions of Ontario Regulation - O.Reg.413/12, Subsections 80.32 through 80.39, which supersede the current by-law requirements in By-law 1-88 as amended.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.

An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

<b>Building Standards Recommended Conditions of Approval:</b>	None	
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## DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule C for Development Planning Comments.

### DEVELOPMENT PLANNING COMMENTS

Development Planning Recommended Conditions of Approval:	None
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### DEVELOPMENT ENGINEERING COMMENTS

The Development Engineering (DE) Department does not object to variance application A248/21.

Development Engineering Recommended Conditions of Approval:	None
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments, no concerns

PFH Recommended Conditions of Approval:	None
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment no concerns

BCLPS Recommended Conditions of Approval:	None
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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### FIRE DEPARTMENT COMMENTS

No comments received to date

Fire Department Recommended Conditions of Approval:	None
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### SCHEDULES TO STAFF REPORT

*\*See Schedule for list of correspondence*

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended: None

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION – PLEASE READ

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

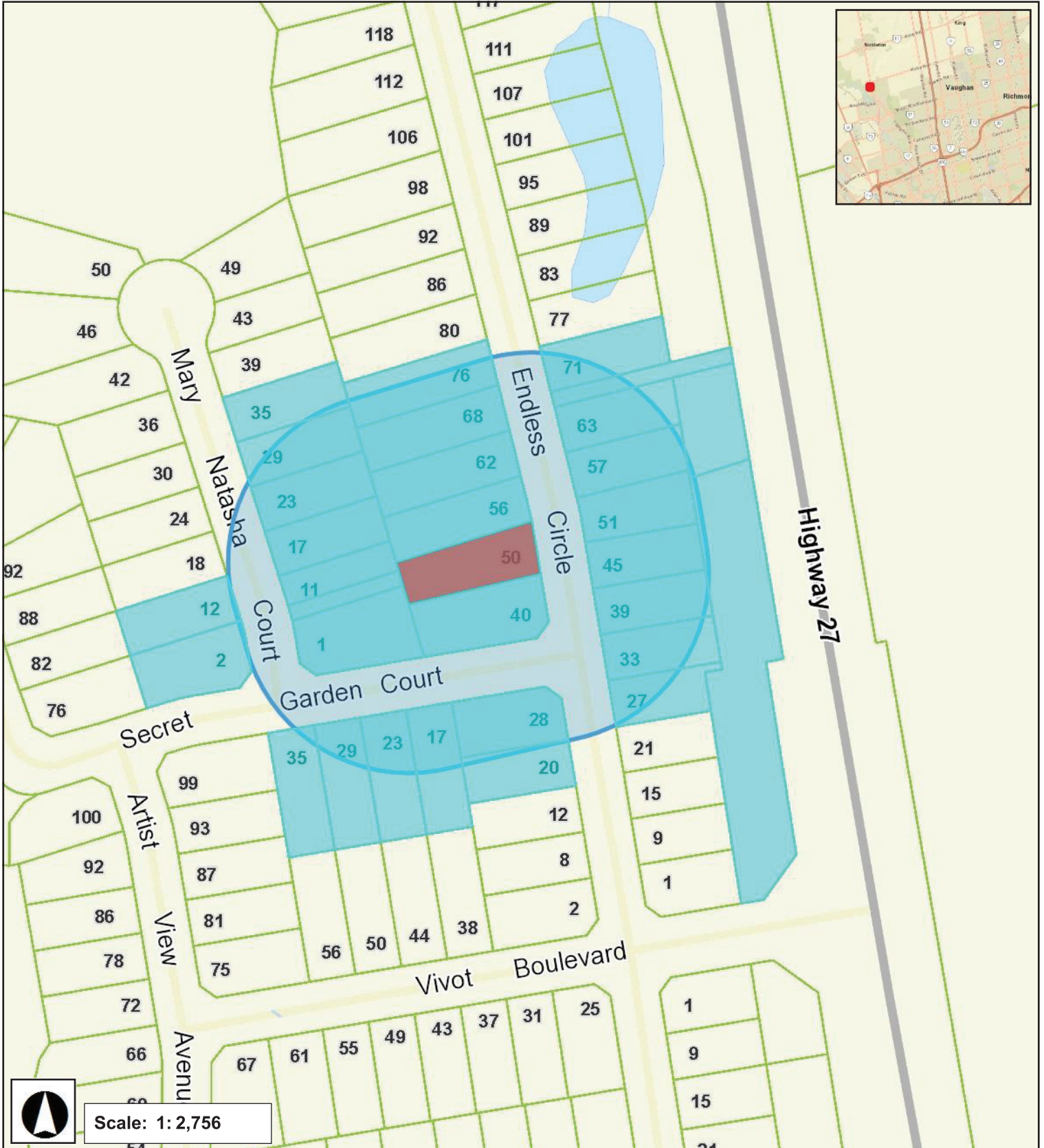




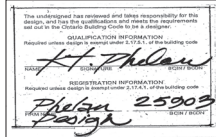
# A248/21 - Notification Map

50 Endless Circle, Kleinburg

## Kirby Road

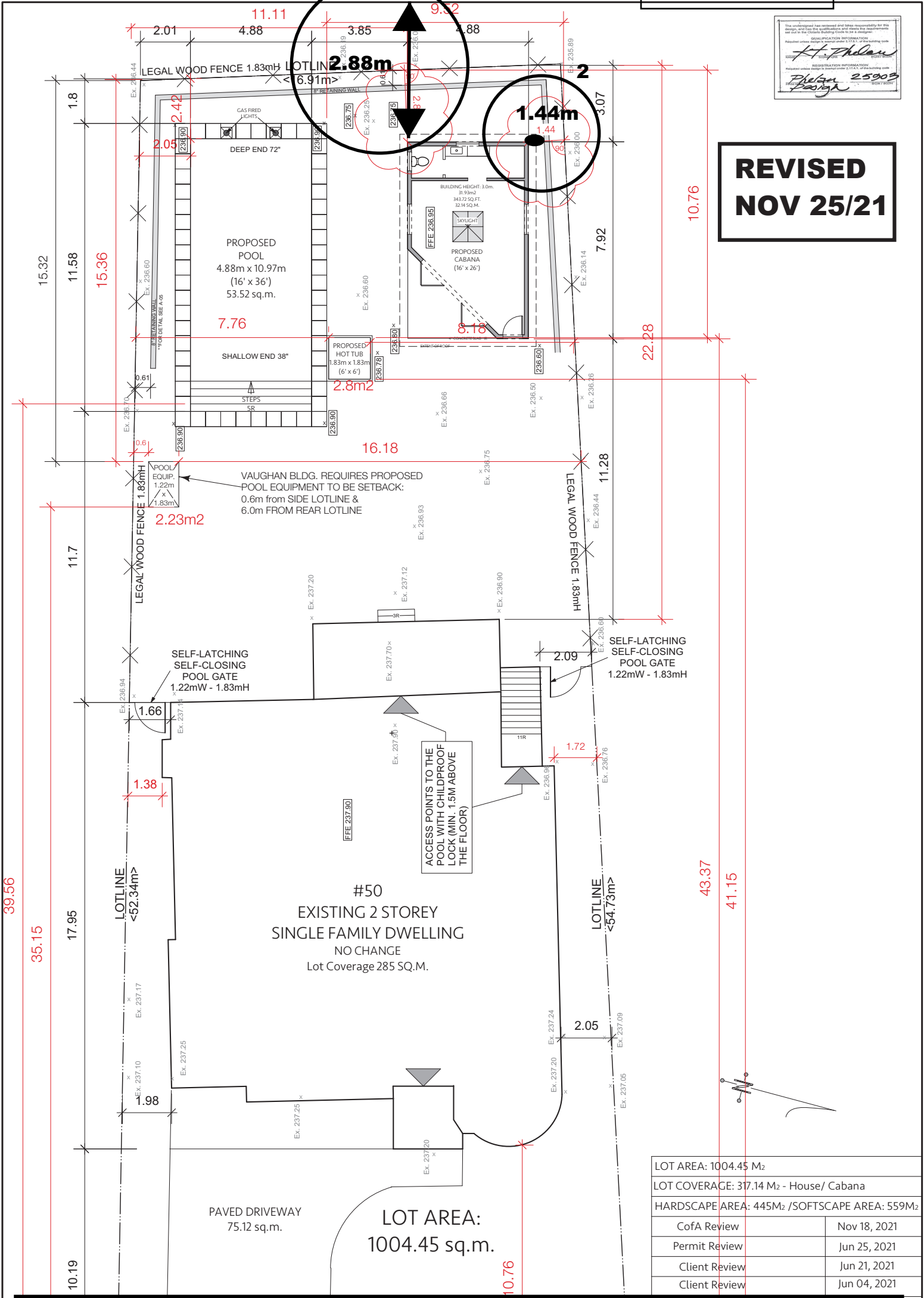






## REVISED

## NOV 25/21



LOT AREA: 1004.45 M <sup>2</sup>	
LOT COVERAGE: 377.14 M <sup>2</sup> - House/ Cabana	
HARDSCAPE AREA: 445M <sup>2</sup> /SOFTSCAPE AREA: 559M <sup>2</sup>	
CofA Review	Nov 18, 2021
Permit Review	Jun 25, 2021
Client Review	Jun 21, 2021
Client Review	Jun 04, 2021

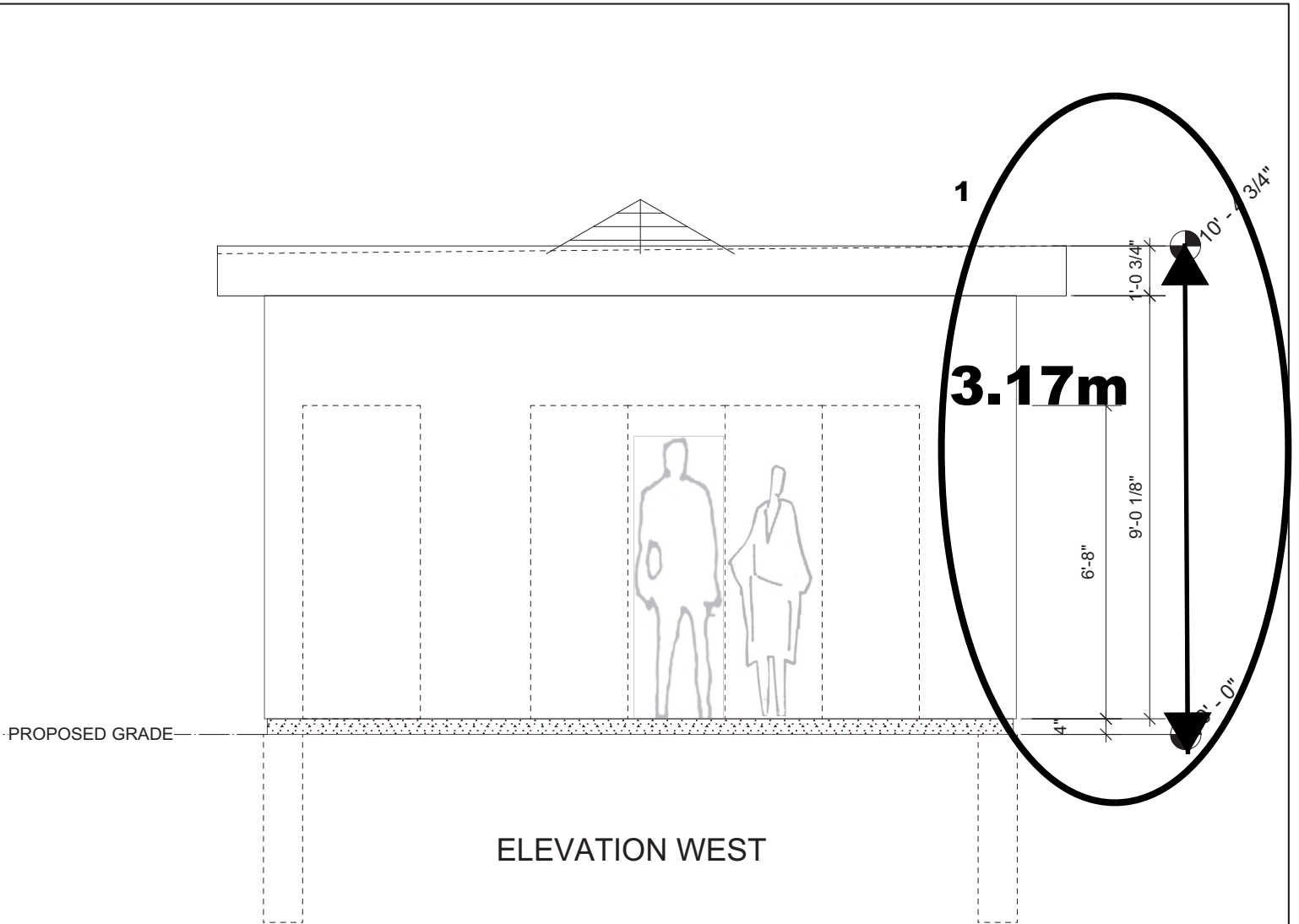
**PROPOSAL:**

**Zoning By-law 01-2021**

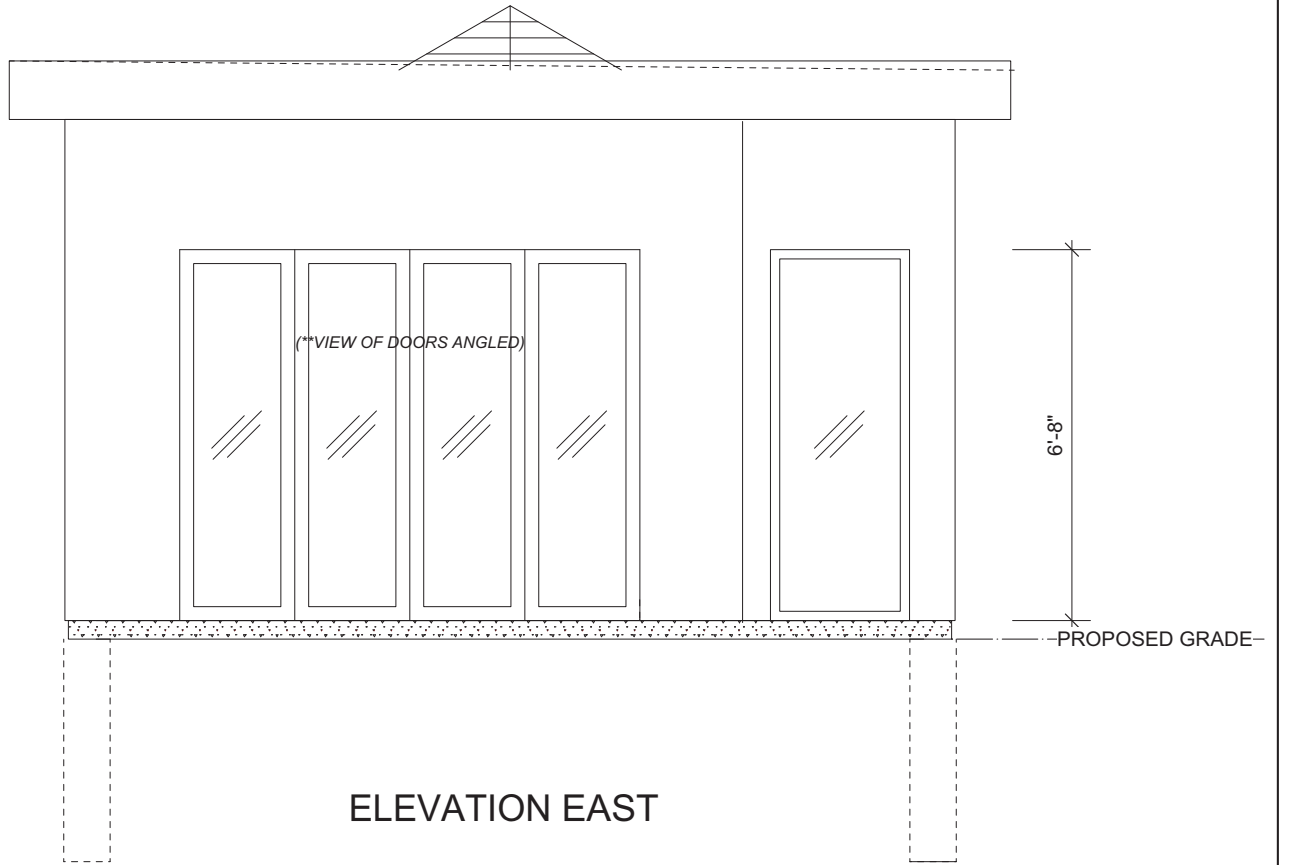
1. To permit a maximum building height of 3.17 metres for the accessory structure.
2. To permit a minimum setback from the interior side lot line of 1.44 metres for the accessory structure.

**Zoning By-law 1-88**

3. To permit minimum setback from the rear lot line of 2.88 metres for the accessory structure.



ELEVATION WEST



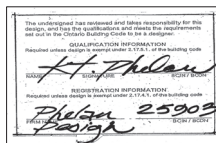
ELEVATION EAST

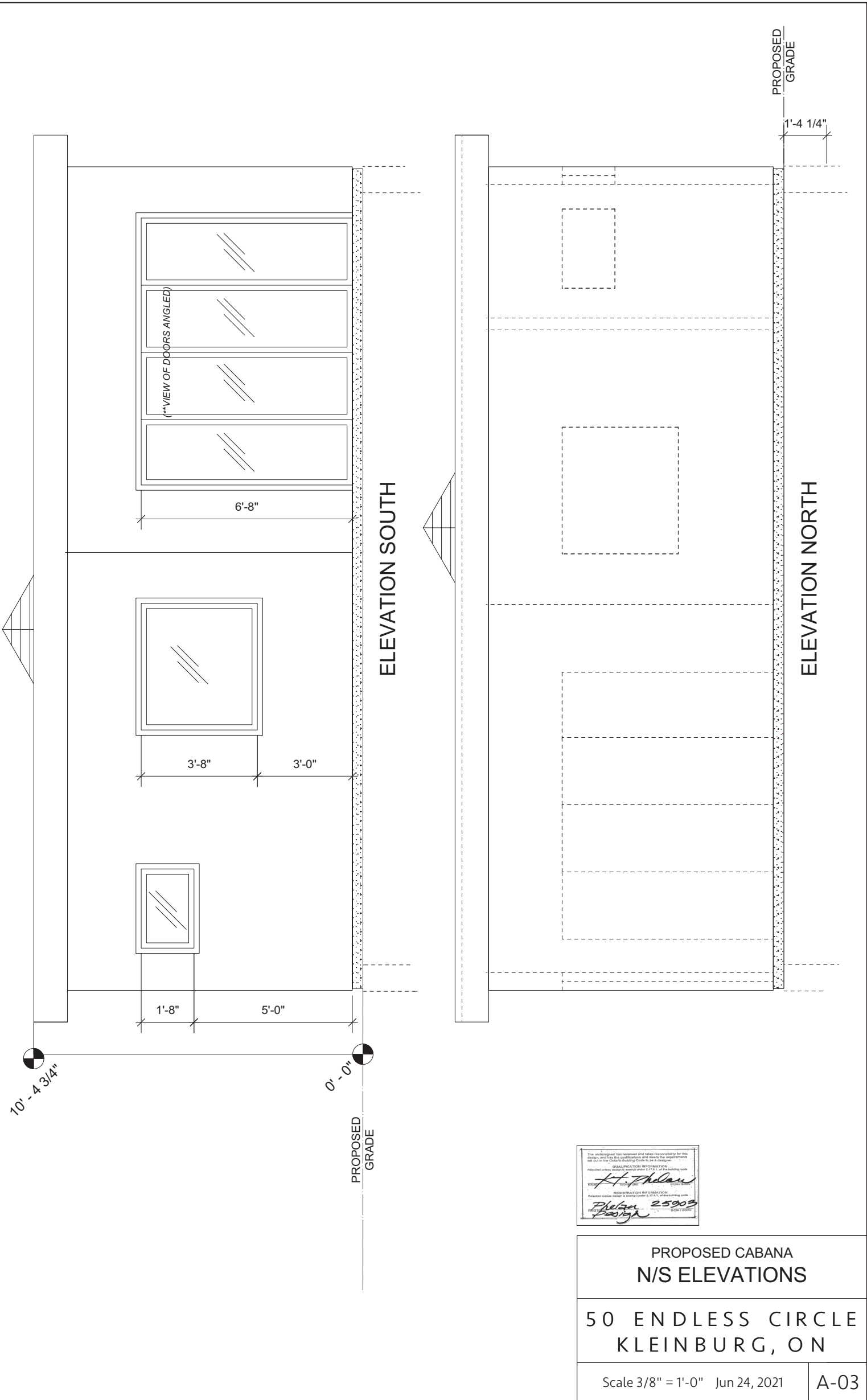
PROPOSED CABANA  
E/W ELEVATIONS

50 ENDLESS CIRCLE  
KLEINBURG, ON

Scale 3/8" = 1'-0" Jun 24, 2021

A-02





ELEVATION SOUTH

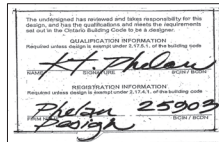
ELEVATION NORTH

10' - 4 3/4"

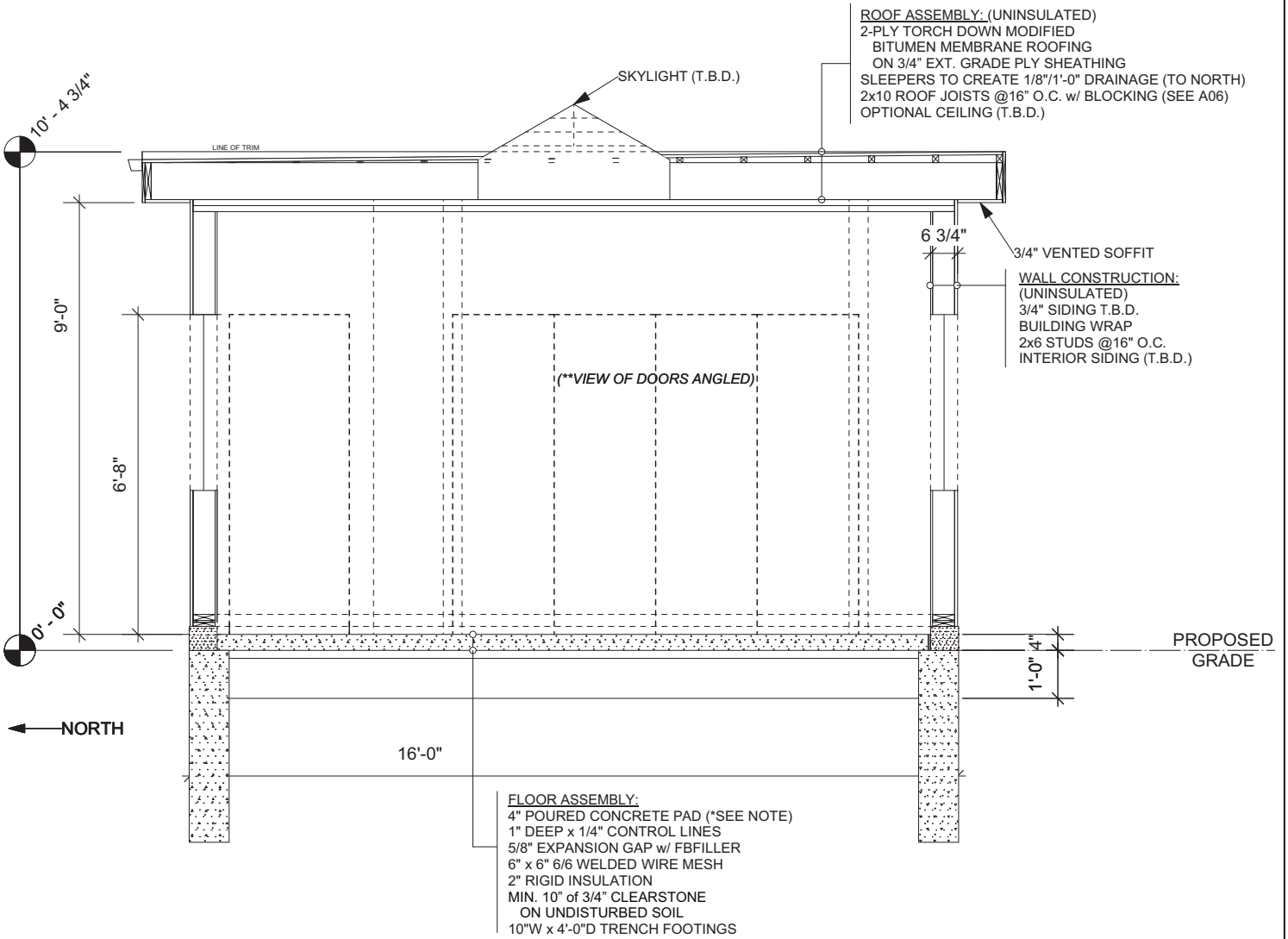
0' - 0"

PROPOSED GRADE

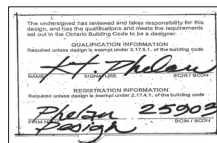
PROPOSED GRADE



<p>PROPOSED CABANA N/S ELEVATIONS</p>	
<p>50 ENDLESS CIRCLE KLEINBURG, ON</p>	
<p>Scale 3/8" = 1'-0" Jun 24, 2021</p>	<p>A-03</p>



SECTION N/S  
 LOOKING EAST



PROPOSED CABANA BUILDING SECTION N/S	
50 ENDLESS CIRCLE KLEINBURG, ON	
Scale 3/8" = 1'-0" Jun 24, 2021	A-04

WEST LOT LINE

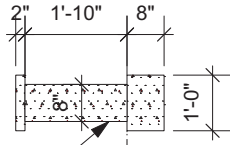
ROOF ASSEMBLY: (UNINSULATED)  
 2-PLY TORCH DOWN MODIFIED  
 BITUMEN MEMBRANE ROOFING  
 ON 3/4" EXT. GRADE PLY SHEATHING  
 SLEEPERS TO CREATE 1/8" x 1'-0" DRAINAGE (TO NORTH)  
 2x10 ROOF JOISTS @16" O.C. w/ BLOCKING (SEE A06)  
 OPTIONAL CEILING (T.B.D.)

SKYLIGHT (T.B.D.)

3/4" VENTED SOFFIT

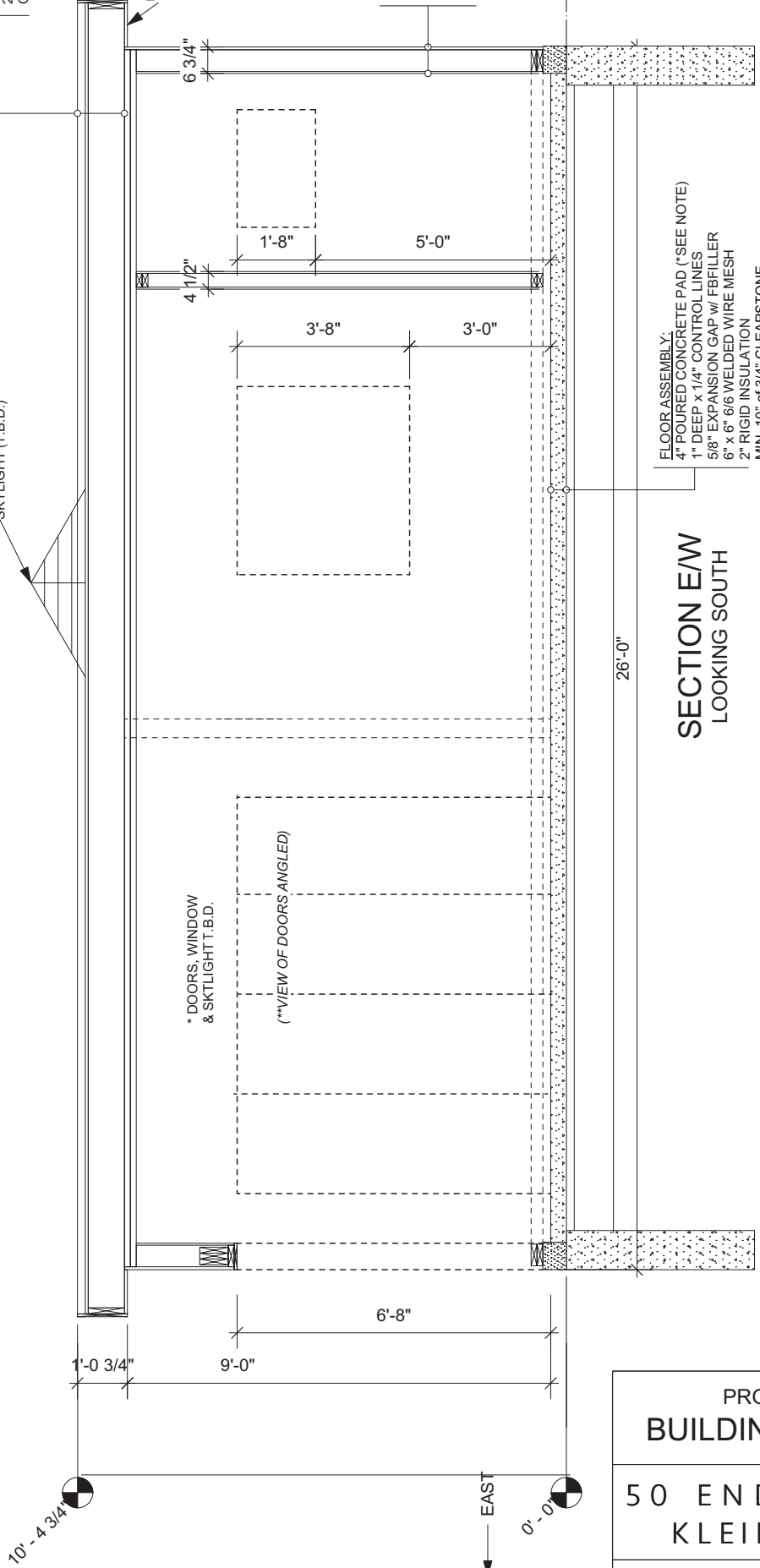
WALL CONSTRUCTION:  
 (UNINSULATED)  
 3/4" SIDING T.B.D.  
 BUILDING WRAP  
 2x6 STUDS @16" O.C.  
 INTERIOR SIDING (T.B.D.)

RETAINING WALL  
 PROPOSED GRADE



FLOOR ASSEMBLY:  
 4" POURED CONCRETE PAD (\*SEE NOTE)  
 1" DEEP x 1/4" CONTROL LINES  
 5/8" EXPANSION GAP w/ FB FILLER  
 6" x 6" 6/6 WELDED WIRE MESH  
 2" RIGID INSULATION  
 MIN. 10" OF 3/4" CLEARSTONE  
 ON UNDISTURBED SOIL  
 10"W x 4'-0"D TRENCH FOOTINGS

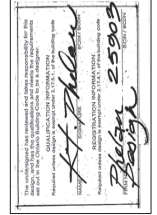
**SECTION E/W**  
 LOOKING SOUTH



\* DOORS, WINDOW  
 & SKYLIGHT T.B.D.

(\*\*VIEW OF DOORS ANGLED)

PROPOSED CABANA <b>BUILDING SECTION E/W</b>	
50 ENDLESS CIRCLE KLEINBURG, ON	
Scale 3/8" = 1'-0" Jun 24, 2021	A-05



LINTEL  
3 - 2x8

16'-0"  
H=20"  
S=60"  
W=36"

ROOF  
SOFFIT 12"

LINTEL  
3 - 2x8

H=20"  
S=60"  
W=30"

15'-9 1/2"  
TO FRAMING

DOORS,  
WINDOWS  
& SKYLIGHT  
T.B.D.

LINTEL  
3 - 2x8

H=48"  
S=36"  
W=48"

SKYLIGHT  
4' x 4'

H=44"  
S=36"  
W=48"

3-2x6 POSTS  
CONNECTED  
TO BEAM  
FOR UPLIFT

BEAM  
3 - 2x10

26'-0"

25'-10 1/2"  
TO FRAMING

JOISTS ARE  
ON  
REVERSED  
HANGERS

LINTEL  
3 - 2x12

H=80"  
W=144"  
1/2"

16'-8 3/8"  
TO FRAMING

SLEEPERS  
(DOTTED)

SOLID  
BLOCKING

WALLS ARE  
2x6 CONSTR.

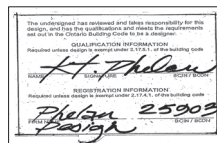
4'-0 7/8"  
TO FRAMING

6 3/4"

LINTEL  
3 - 2x8

H=80"  
W=30"

D,L = 0.6 kpa  
SNOW = 1.1 kpa  
ROOF JOISTS  
2x10@16 O.C.



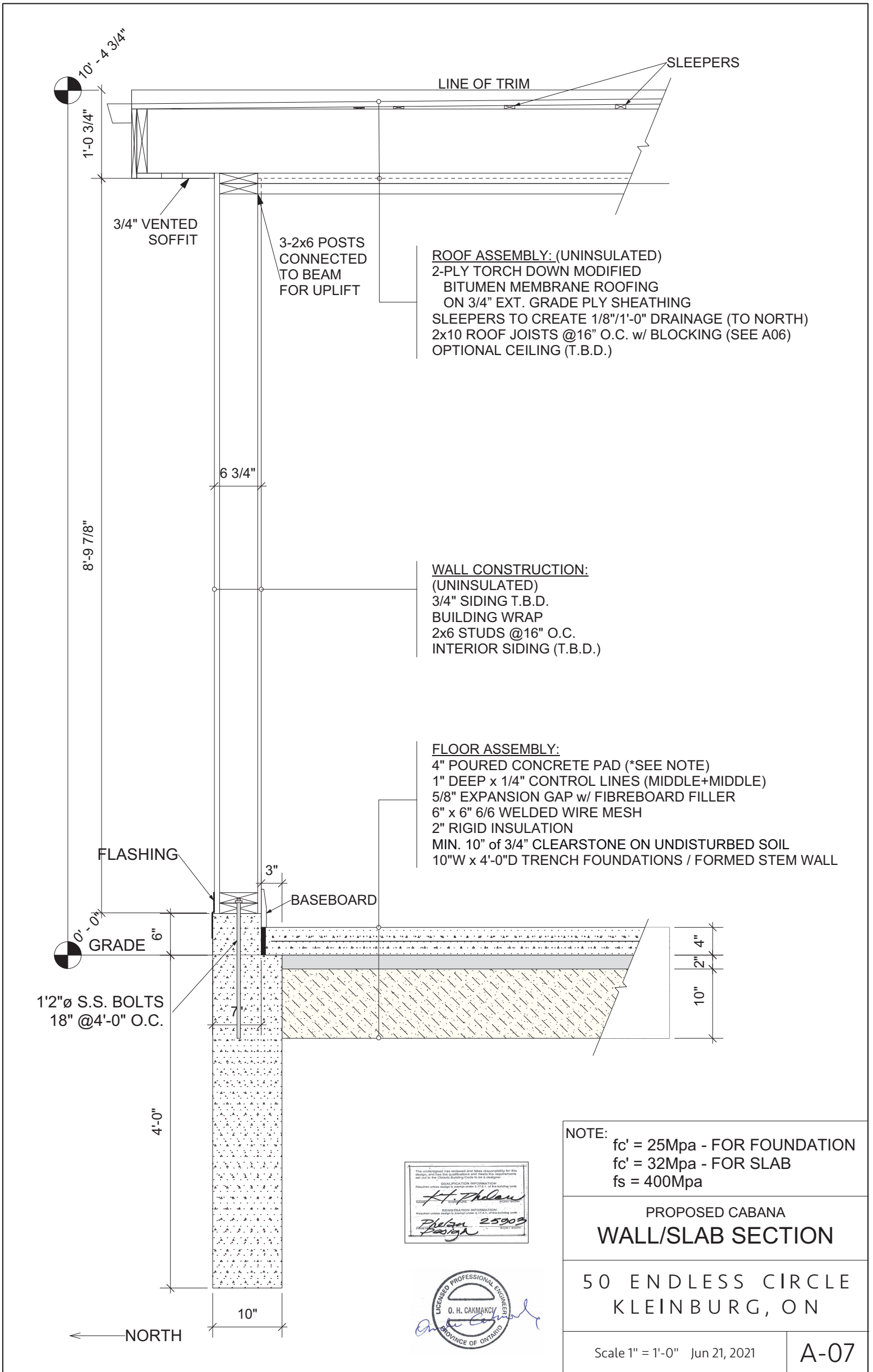
PROPOSED CABANA  
ROOF FRAMING PLAN

50 ENDLESS CIRCLE  
KLEINBURG, ON

Scale 3/8" = 1'-0" Jun 24, 2021

A-06





**ROOF ASSEMBLY: (UNINSULATED)**  
 2-PLY TORCH DOWN MODIFIED  
 BITUMEN MEMBRANE ROOFING  
 ON 3/4" EXT. GRADE PLY SHEATHING  
 SLEEPERS TO CREATE 1/8"/1'-0" DRAINAGE (TO NORTH)  
 2x10 ROOF JOISTS @16" O.C. w/ BLOCKING (SEE A06)  
 OPTIONAL CEILING (T.B.D.)

**WALL CONSTRUCTION:**  
 (UNINSULATED)  
 3/4" SIDING T.B.D.  
 BUILDING WRAP  
 2x6 STUDS @16" O.C.  
 INTERIOR SIDING (T.B.D.)

**FLOOR ASSEMBLY:**  
 4" POURED CONCRETE PAD (\*SEE NOTE)  
 1" DEEP x 1/4" CONTROL LINES (MIDDLE+MIDDLE)  
 5/8" EXPANSION GAP w/ FIBREBOARD FILLER  
 6" x 6" 6/6 WELDED WIRE MESH  
 2" RIGID INSULATION  
 MIN. 10" of 3/4" CLEARSTONE ON UNDISTURBED SOIL  
 10"W x 4'-0"D TRENCH FOUNDATIONS / FORMED STEM WALL

NOTE:  
 fc' = 25Mpa - FOR FOUNDATION  
 fc' = 32Mpa - FOR SLAB  
 fs = 400mpa

PROPOSED CABANA  
**WALL/SLAB SECTION**

50 ENDLESS CIRCLE  
 KLEINBURG, ON

Scale 1" = 1'-0" Jun 21, 2021

**A-07**



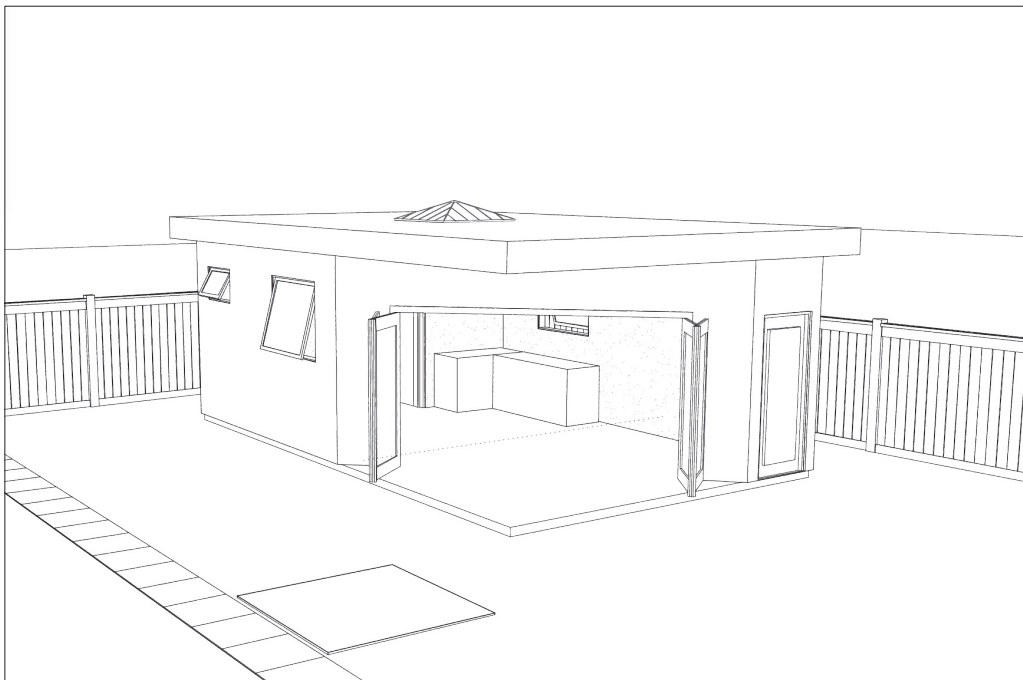
DRAWING LIST:

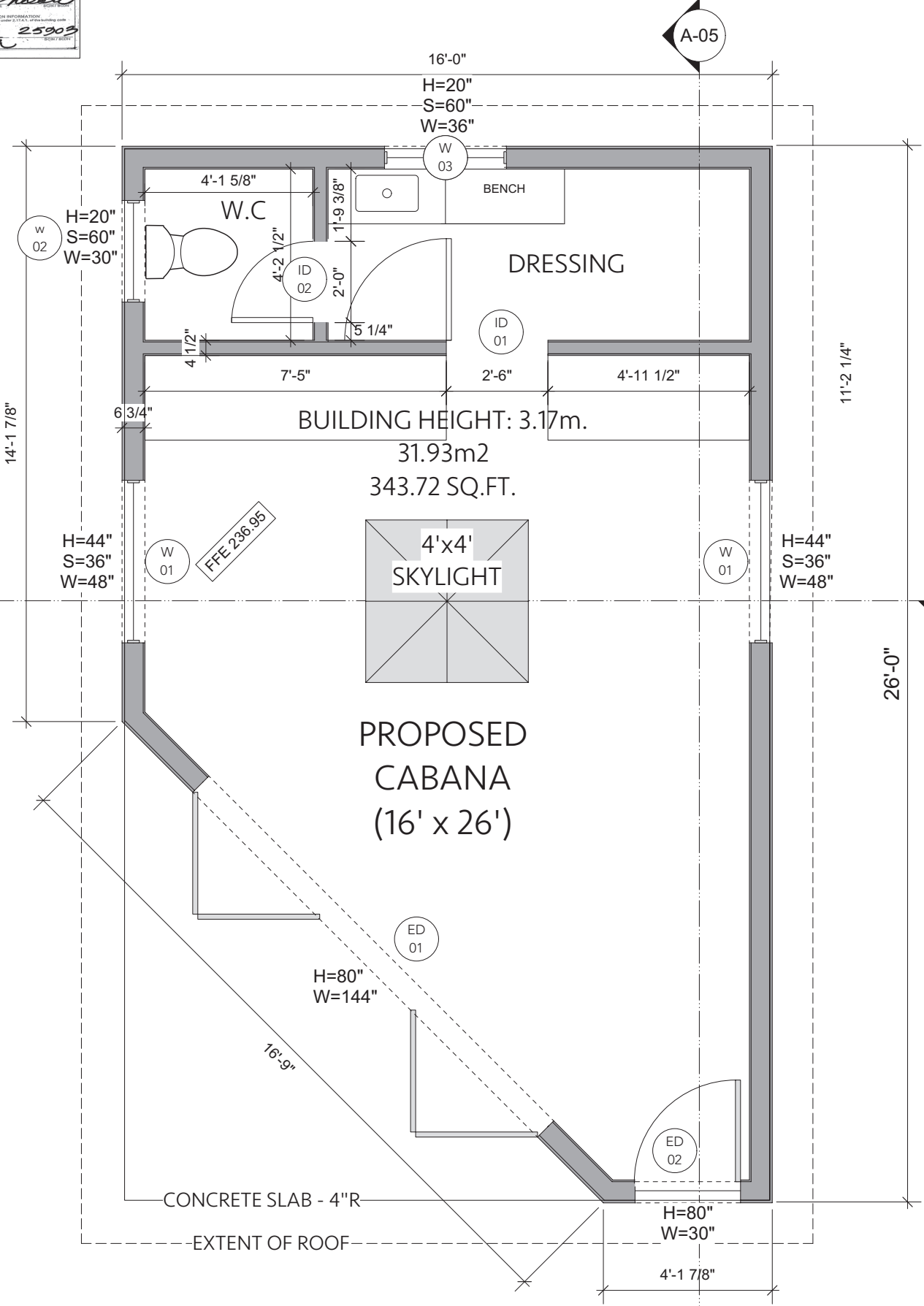
- A-00 SITE PLAN
- A-01 FLOOR PLAN
- A-02 ELEVATIONS E/W
- A-03 ELEVATIONS N/S
- A-04 BUILDING SECTION N/S
- A-05 BUILDING SECTION E/W
- A-06 ROOF FRAMING PLAN
- A-07 WALL/SLAB SECTIONS
- GN-1 GENERAL NOTES 1
- GN-2 GENERAL NOTES 2

# 50 ENDLESS CIRCLE KLEINBURG, ON

PROPOSED CABANA & SWIMMING POOL

JUNE 24, 2021





\*\* ALL MEASUREMENTS TO BE CONFIRMED BY BUILDER

**WINDOW & DOOR SCHEDULE**

Name	Dimensions H/W	Type	Quantity	Location
ED-01	80" x 144"	4-Panel Bi-Fold / Glass	1 exterior	South
ED-02	80" x 30"	Swing Single / Glass	1 exterior	East
ID-01	80" x 30"	Swing Single	1 interior	Entrance Washroom
ID-02	80" x 24"	Swing Single	1 interior	W.C.
ID-03	80" x 24"	Full 1/2" Glass	1 interior	Shower
W-01	44" x 48"	Awning	2 exterior	North / South
W-02	20" x 30"	Awning	1 exterior	W.C. South
W-03	20" x 38"	Awning	1 exterior	W.C. West

**PROPOSED CABANA  
FLOOR PLAN**

50 ENDLESS CIRCLE  
KLEINBURG, ON

Scale 3/8" = 1'-0" Jun 24, 2021

A-01

# BCY Structural Engineers and Consultants

2351 Eighth Line, Oakville-Ontario L6H 7L7 Tel: 905 257 96 41 ondercalkmakci@gmail.com

- all work carried out shall conform to the Ontario Building Code 2012 and the Occupational Health and Safety Act of the latest edition
- see general notes enclosed
- the Engineer must be notified of any deviation from drawings
- temporary bracing and shoring are the contractor's responsibility
- contractor shall provide shop drawings stamped by a prof. engineer for approval
- subflooring shall be ¾" sheeving glued and nailed to joists
- Provide double joists under partition walls that are parallel to supporting joists
- all stud and masonry walls shall be continuous from floor to floor
- end bearing for joists can be no less than 1.75"
- all steel beams on masonry or concrete walls shall have 150 mm (6") deep bearing and timber beams have a min of 90 mm (3.5" bearing
- timber beams shall have 0.5" air space all around
- concrete block walls immediately below the beams shall be 100% solid 8" in height
- Provide 2-15M vertical reinforcement in masonry under the point loads
- The load which can have uplift forces.
- Provide dowels 15M @ 16" vertically for between existing and new masonry
- All multiple plies parallel and LVL beams shall be connected together according to the manufacturer's instructions.
- Provide hurricane anchors for rafters, roof joists and beams for the uplift.
- Qualified welders shall do all the welding and certify. Do all Welding. W47.1 and in accordance with CSA W59-1984.
- submit shop drawings of erections for review for fabrication
- verify all the dimensions before fabrication
- all connections are welded unless shown otherwise
- all hardware and steel shall be corrosion resistant. All structural steel and hardware shall have either one coat epoxy based primer and one coat paint or hot dip galvanized. Contractor to provide alternate pricing.
- all LVL and parallel beams shall be min 2.0 e-grade
- provide shop drawings for roof trusses and truss joists and structural steel members sealed by P. Eng. for review
- soil bearing 100 kPa, (assumed)
- All structural steel shall conform to CSA standard G40. 21M grade 350W. Anchor bolts 260W.
- Fabrication and erections shall conform to CSA STANDARD CAN S16.1
- Bolts shall conform to ASTM A325M & A490M.
- The concrete strength at 28 days shall be 32 Mpa with 6 % air entraining agent for outside concrete and 25 Mpa for inside concrete. The reinforcing steel strength shall be 400 Mpa
- Provide solid blocking at 3 feet where floor joists parallel to the wall and provide also solid blocking at mid-span of the joists with a clear span of 12 feet or more

# BCY Structural Engineers and Consultants

2351 Eighth Line, Oakville-Ontario L6H 7L7 Tel: 905 257 96 41 ondercalkmakci@gmail.com

## GENERAL

All work to be carried out shall comply with the Ontario Building Code 2012 and the Occupational Health and Safety Act of the latest edition.

All dimensions, levels and details shall be checked by the Contractor against the drawings. Any discrepancies must be reported to the Architect before commencing work.

Submit erection and detail drawings for review before fabrication.

All wall studs and/or masonry-concrete walls shall be continuous from floor to floor or from floor to roof rafters, or joists for lateral support.

## INSPECTION AND TESTING

The engineers must be notified of any deviation from the drawings.

The Contractor shall be responsible to request inspection by the Engineer at the following stages of construction:

- Completion of excavation
- Following the placing of reinforcement in all structural concrete members
- The framing of each floor and roof

The Contractor shall arrange and pay for the following Tests and inspections carried out by an independent inspection company.

- The soil under footings at time of excavation
- Concrete strength in specified members
- Compaction of fill below slab on grade and backfill around the building.

## FOUNDATIONS

All Footings shall be founded on natural undisturbed soil with an allowable bearing capacity of 100 kPa "2000 psf".

The soil must be inspected by a Soils Engineer before footings are constructed.

Footings shall not be placed on the frozen ground or in standing water or on soil softened by water.

The line of the slope along stepped footings shall not exceed a rise of 7 in a run of 10. Maximum Footing Step shall be 24" ht.

Any over-excavations shall be filled with 15 MPa concrete.

## CONCRETE

Concrete construction shall conform to CSA standard CAN 3- A23.1-14.

Compression strength at 28 days shall be in footings and walls 3,000 psi (20 MPa) in slabs and in the exterior concrete subject to freezing 4650 psi (32 MPa). Concrete exposed to freezing shall contain 6% ± 1% entrained air. The reinforcing steel strength shall be 400 MPa.

All exposed corners to have 3/4" chamfers.





## CONCRETE REINFORCEMENT

Concrete Reinforcement shall be deformed bars conforming to CSA G.30.18 -92 grade 400.  
Welded wire fabric shall conform to CSA G30.5-83 or G30.15-83  
Reinforcing bar supports and placing of reinforcement shall be in accordance with the RSIC Manual of Standard Practice.

Concrete cover to reinforcing bars:

Slab 3/4"  
Walls: Against Earth 2"  
Elsewhere 1 1/2"  
Beams, Columns 1 1/2"

## CONCRETE SLAB ON GRADE

Slab on Grade shall be 4" thick and have a concrete strength of 32 MPa (4650 p.s.i.)  
Exterior Slab on Grade shall be 4" thick and have a concrete strength of 28 MPa (4,000 p.s.i.) and 6% ± 1% entrained air.

Provide a Wire Mesh of 6 x 6 x W2.1 in all slabs on grade 1-1/2" below the top of the slab.

Make 1 1/2" deep Saw-Cuts where shown on the drawings or as directed by the engineer, within 16 hours of placing concrete.  
All re-entrant corners to have 15m x 3 ft. long Diagonal Bars placed 1-1/2" below the top of the slab.  
Provide 1/2" wide Bond Breaker where slabs about masonry or concrete walls.

## MASONRY

All Masonry work shall conform to CSA S 304.1.04 Masonry Design for Building and A371 Masonry Construction of Buildings.

Concrete masonry units shall conform to CSA A 165.1.

Compression strength shall be min. 15 MPa.

Brick units shall conform to CSA A82.1.

Mortar shall be type S conforming to CSA A 179.

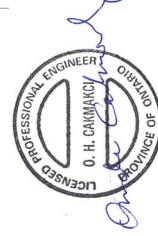
Bearing Plates of beams and columns shall be placed on 100% Solid Units or provide an 8" deep x 24" long Concrete Pad, as directed by the Engineer.  
Where hollow concrete block walls contain reinforcement or anchors, fill the void-containing the reinforcement with 3,000 psi. Grout containing 3/8" aggregate.

All steel beams on masonry or concrete walls shall have 150mm (6 inches) deep bearing, and timber beams have min. 90mm (4 inches) bearing and 13mm (1/2 inch) air space all around the timber beam.  
The concrete block wall directly below the beam shall be 100% solid and 8 inches deep, unless shown otherwise on drawings.

Brick or block veneer shall be tied to the back-up structure, as specified in CSA A 370-94 Connectors for Masonry. The size of the Connectors used is a function of the width of the gap between backup and masonry.

All masonry walls to have Continuous Horizontal Reinforcement, such as Blok-Lok at 16" vertically.

Control Joints shall be provided where indicated on the drawings.



## STRUCTURAL STEEL

All Structural Steel shall conform to CSA G40.21.92 Grade 350W. HSS sections shall be Class H and to have a min. the yield strength of 350 MPa. Anchor bolts 260W  
Fabrication and erection shall conform to CAN CSA. S16.09.  
Welding shall be done by qualified welders in compliance with CSA - W47.1.1. and in accordance with CSA W59-1984. All connections are welded unless shown otherwise.  
Verify all dimensions on site before commencing fabrication of steelwork.

Bolts shall be 3/4" in diameter conforming to ASTM A325M and A490M.  
Anchor Bolts shall conform to ASTM A 307.

Apply one shop coat of Primer to all structural steel complying with CISC/CPMA Standard 1.  
Angle lintels to receive two coats of Zinc-Rich Paint to CGSB 1-GP -181.  
Hot Dip Galvanizing shall be done to CSA G164-92.

Weld all beams to bearing plates or supporting members.

## ROUGH CARPENTRY

Lumber shall conform to:

CSA 0141 for softwood lumber  
CSA 0151 for softwood plywood  
CSA 0121 for Douglas Fir plywood.

All joists and rafters to be SPF #1 and #2.

Studs, plates and bridging: SPF stud grade.

All lumber shall be identified by grade stamp and kiln dried. The maximum moisture content at the time of installation shall not exceed 12%.

Subflooring shall be 3/4" plywood, glued and screwed to joists.

Sills under floor joists or walls shall be set on a bed of type S mortar and bolted to the foundation walls using 5/8" in diameter bolts @ 4' c/c (but max. 8" from ends of pieces.) Bolts shall be 12" long with 2" long hook at the embedded end.

Bridging, blocking and nailing shall conform to the requirements of Part 9 of the Ontario Building Code.  
Notching of structural members not allowed without prior approval of the Engineer. All wall studs shall be continuous from floor to floor, roof rafters, and joists for lateral support. Before starting work the carpenter shall review his proposed method of framing with the Engineer.

## LAMINATED VENEER LUMBER, RAFTERS, ENGINEERED TRUSSES, JOISTS AND PREFABRICATED I-JOISTS

Only materials listed in CCMC Registry of Product Evaluation may be used. Beams and joists shall be sized and detailed to meet the dimensions and loads indicated on the plans with a live load deflection of L/480.

Shop Drawings shall be prepared and submitted for review, stamped by an Engineer registered in the Province of Ontario. Information on the drawing shall include all hangers and connectors to be used.

Delivery, storage and erection shall meet the supplier's specification.

All material shall be kept dry until it is installed in the building.

Roof rafters and ceiling joists or engineered trusses shall be connected to the supporting walls or beams for uplift or lateral forces. Use Simpson connectors A-35 or equivalent, except where noted on drawings.

End bearing for floor joists can be no less than 1.75".

**SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS**

<b>AGENCIES</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Planning Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions



**COMMENTS:**

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Adriana MacPherson

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**Subject:** FW: A248/21 - Request for Comments (50 Endless Circle, Vaughan)

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** December-09-21 9:07 AM

**To:** Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A248/21 - Request for Comments (50 Endless Circle, Vaughan)

Good morning Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst mcip rpp** | Community Planning and Development Services | The Regional Municipality of York | 1-877  
464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

## Adriana MacPherson

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**Subject:** FW: A248/21 - Request for Comments (50 Endless Circle, Vaughan)

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**From:** York Plan <yorkplan@trca.ca>  
**Sent:** November-29-21 7:39 AM  
**To:** Adriana MacPherson <Adriana.MacPherson@vaughan.ca>  
**Cc:** Hamedeh Razavi <Hamedeh.Razavi@trca.ca>  
**Subject:** [External] RE: A248/21 - Request for Comments (50 Endless Circle, Vaughan)

Based on a review of our available screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. Thus, any site alteration or development on the site would not require a permit from TRCA.

Additionally, although the lands are located within the Well Head Protection Area of the Source Protection Plan, it is presumed that any associated requirements were addressed at the subdivision stage and no further study is required.

**Mark Howard, BES, MLA, MCIP, RPP**  
Senior Planner – Vaughan Review Area  
Development Planning and Permits | Development and Engineering Services  
Toronto and Region Conservation Authority (TRCA)

T: [416\) 661-6600](tel:4166616600) ext 5269  
E: [mark.howard@trca.ca](mailto:mark.howard@trca.ca)  
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



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**From:** [Adriana.macpherson@vaughan.ca](mailto:Adriana.macpherson@vaughan.ca) <[Adriana.macpherson@vaughan.ca](mailto:Adriana.macpherson@vaughan.ca)>  
**Sent:** November 29, 2021 7:33 AM  
**To:** [rowcentre@bell.ca](mailto:rowcentre@bell.ca); [carrie.gordon@bell.ca](mailto:carrie.gordon@bell.ca); [developmentservices@york.ca](mailto:developmentservices@york.ca); York Plan <[yorkplan@trca.ca](mailto:yorkplan@trca.ca)>; Hamedeh Razavi <[Hamedeh.Razavi@trca.ca](mailto:Hamedeh.Razavi@trca.ca)>; [engineeringadmin@powerstream.ca](mailto:engineeringadmin@powerstream.ca)  
**Subject:** A248/21 - Request for Comments (50 Endless Circle, Vaughan)

Hello,

Please email comments and recommendations on the above noted application to [cofa@vaughan.ca](mailto:cofa@vaughan.ca). If you wish to be notified of the decision, please advise.

The deadline to submit comments on this application is January 13, 2022.

Should you have any questions or require additional information, please contact Adriana MacPherson, Administrative Coordinator, Committee of Adjustment at [CofA@vaughan.ca](mailto:CofA@vaughan.ca)  
This e-mail, including any attachment(s), may be confidential and is intended solely for the attention and information of the named addressee(s). If you are not the intended recipient or have received this message in error, please notify me immediately by return e-mail and permanently delete the original transmission from your computer, including any attachment(s). Any unauthorized distribution, disclosure or copying of this message and attachment(s) by anyone other than the recipient is strictly prohibited.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** January 20, 2022  
**Name of Owner:** John and Tina Scalzo  
**Location:** 50 Endless Circle  
**File No.(s):** A248/21

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum building height of 3.17 m for the accessory structure.
2. To permit a minimum setback from the interior side lot line of 1.44 m for the accessory structure.

**By-Law Requirement(s) (By-law 001-2021):**

1. A maximum building height of 3 m is permitted for the accessory structure. (Section 4.1.4)
2. A minimum setback from the interior side lot line of 2.4 m is required for the accessory structure. (Section 4.1.4)

**Proposed Variance(s) (By-law 1-88):**

3. To permit minimum setback from the rear lot line of 2.88 m for the accessory structure.

**By-Law Requirement(s) (By-law 1-88):**

3. A minimum setback from the rear lot line of 7.5 m is required for the accessory structure. (Schedule A & Exceptions 9(1378) and 9(1379))

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", subject to Site Specific Policy 13.21: North Humber Extension Area 1.

**Comments:**

The Owner is proposing to construct a cabana in the rear yard with the above-noted variances.

The Development Planning Department has no concern with the requested variances for the proposed cabana. The proposed cabana is appropriately scaled for the subject lands with setbacks that are consistent with accessory structures previously approved in the neighbourhood.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Michael Torres, Planner I  
Chris Cosentino, Senior Planner

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
Public	Mosiak Homes	8800 Jane Street	08/16/2021	Letter of Support

**RECEIVED**

**10/26/2021**



August 16, 2021

Giovanni Scalzo  
50 Endless Circle  
Kleinburg, ON L4H 4N6  
Blk 55

**Re: Pool Installation and Rear Yard Landscaping**

Dear Giovanni Scalzo,

This letter is to confirm that Kleinvit Estates Inc. has no objection to the installation of a pool and landscaping works at your rear yard.

Kleinvit Estates Inc. will require a grading security deposit in the amount of \$5000.00. This can be provided to us by Certified Cheque "Payable to Kleinvit Estates Inc."

The purpose of the grading security deposit is to ensure that when your landscaping works are completed, the grading meets the criteria required by the City of Vaughan for water drainage. Once you have completed the works at your rear yard, please notify Mosaik Homes so that we may arrange an inspection with our engineer and the City of Vaughan to ensure that the grading has been completed to their satisfaction and can be certified.

Once your rear yard has been certified, we will release the grading security deposit to you.

Should you have any questions or concerns, please do not hesitate to reach out to me via phone at 905-738-6444 ext. 118 or via email at [alexa@mosaikhomes.com](mailto:alexa@mosaikhomes.com)

Sincerely,

A handwritten signature in blue ink, appearing to read "Alexa Rossini".

Alexa Rossini  
Customer Care  
Mosaik Homes

8800 Jane St. Concord, ON L4K 2M9

Tel: 905-734-6444 Fax: 905-738-6443

8800 Jane St, Vaughan, Ontario L4K 2M9

Tel: 905-738-6444 • Fax: 905-738-6443



**SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

None