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December 5, 2021

Committee of Adjustment

December 4, 2021

To the Committee of Adjustment – City of Vaughan

Regarding Application for subdividing lots at 167 National Drive

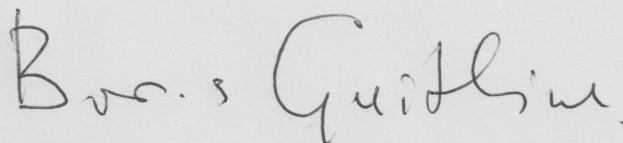
Files: B006/21- B-009/21 and A-117/21-A121/21

The undersigned are owners of 136 and 121 National Drive.

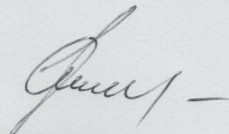
We do not support the application submitted to the committee for the following reasons:

1. The proposed lot sizes and frontages are much less than the bylaw allows and are much smaller than all the other properties on the street. The existing properties have 150 to 250 foot frontages and our homes have been built to suit these large lots. This proposal would negatively affect the character of the neighbourhood
2. We were told by the previous owner he had permit for 2 lots not 5
3. There are no architectural or other details submitted regarding what these properties might end up looking like and this should be a condition of any severance. To approve a severance without a proper review of the end result would constitute negligence by the city
4. The mature tree cover on the property is extensive. There is no proposal to protect this. Much of the land is protected by the Conservation Authority and this has not been considered in the proposal
5. We have been in contact with all 8 homeowners on the street and all are opposed to this application

Sincerely



Boris Guitline 136 National Drive



Oksana Filipenko 121 National Drive