



File: A213/21

Applicant: Akram Nadim

Address: 118 Casabel Dr. Maple

Agent: Apex Technical Ltd.
(Kashif Siddiqui / Bhoomi Rana)

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: None.

Background History: None.

Staff Report Prepared By: Lenore Providence
Hearing Date: December 8, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance Application

Agenda Item: 12

A213/21

Ward: 1

Staff Report Prepared By: Lenore Providence Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: **Wednesday, December 8, 2021 at 6:00 p.m.**

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

- Applicant:** Akram Nadim
- Agent:** Apex Technical Ltd. (Kashif Siddiqui)
- Property:** **118 Casabel Dr. Maple**
- Zoning:** The subject lands are zoned RV4 under By-law 1-88 as amended.
- OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
- Related Files:** None.
- Purpose:** Relief from By-law 1-88, as amended, is being requested to permit a one-storey addition to the rear of the existing dwelling.

The subject lands are zoned R5A(EN) – Fifth Density Residential Zone (Established Neighbourhood) under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 7.5 metres is required. (Table 7-5).	To permit a minimum rear yard setback of 6.0 metres.

The subject lands are zoned RV4 – Residential Urban Village Zone Three under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
2	A minimum rear yard setback of 7.5 metres is required. (Schedule 'A1').	To permit a minimum rear yard setback of 6.0 metres.

Background (previous applications approved by the Committee on the subject land): None.

Adjournment History: None.

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on November 23, 2021

Applicant confirmed posting of signage on November 18, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2003

Applicant has advised that they cannot comply with By-law for the following reason(s): The proposal is made for a bedroom for the Owner’s son as his medical condition is not stable, the proposed bedroom cannot be shrunk. Thus we need to seek relief from the zoning by-laws.

Committee of Adjustment recommended conditions of approval:

Adjournment Request / File Review History:

The applicant submitted a revised application and Zoning Waiver Form (to address Development Planning comments) to proceed to the December 8, 2021 Committee of Adjustment hearing.

Zoning confirming requested variances on November 25, 2021.

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply:
There are no outstanding Orders on file.

Building Permit No. 20-111882 for Semi-Detached Dwelling - Addition, Issue Date: (Not Yet Issued).

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Building Inspections (Septic):

No comments received to date.

Development Planning:

Please see Schedule C for Development Planning comments.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A213/21.

Parks Development – Forestry:

Comments:

- 1) Resident/agent has confirmed Via email that the municipally owned right-of-way tree will be protected during the pool/cabana construction utilizing hoarding detail MLA 107B (light Duty) with a minimum distance of 1.8 Meters in all directions.
- 2) Please note that Forestry comments do not supersede the requirements of other commenting departments/agencies, including Development Planning with respect to the requirement of an Arborist Report and other tree protection requirements. Arborist Reports and other tree protection requirements may be required by other commenting departments to facilitate the review process of your application for the purpose of finalizing recommendations to the Committee of Adjustment.

Parks Development – Horticulture:

No comment no concerns

By-Law and Compliance, Licensing and Permit Services:

No comments received to date

Development Finance:

No comment no concerns

Fire Department:

No comment no concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

Applicant Correspondence – Justification Letter

Schedule C - Development Planning & Agency Comments

Development Planning Comments – Recommend approval with conditions
 Alectra (Formerly PowerStream) – No concerns or objections
 Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision) None**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: None

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended: None.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

Schedule A: Plans & Sketches

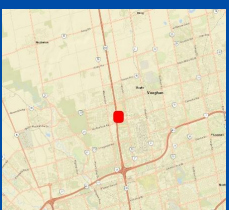
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Site Plan & Sketches



RUTHERFORD ROAD

Map Information:



Title:

118 CASABEL DRIVE, MAPLE

NOTIFICATION MAP - A213/21

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



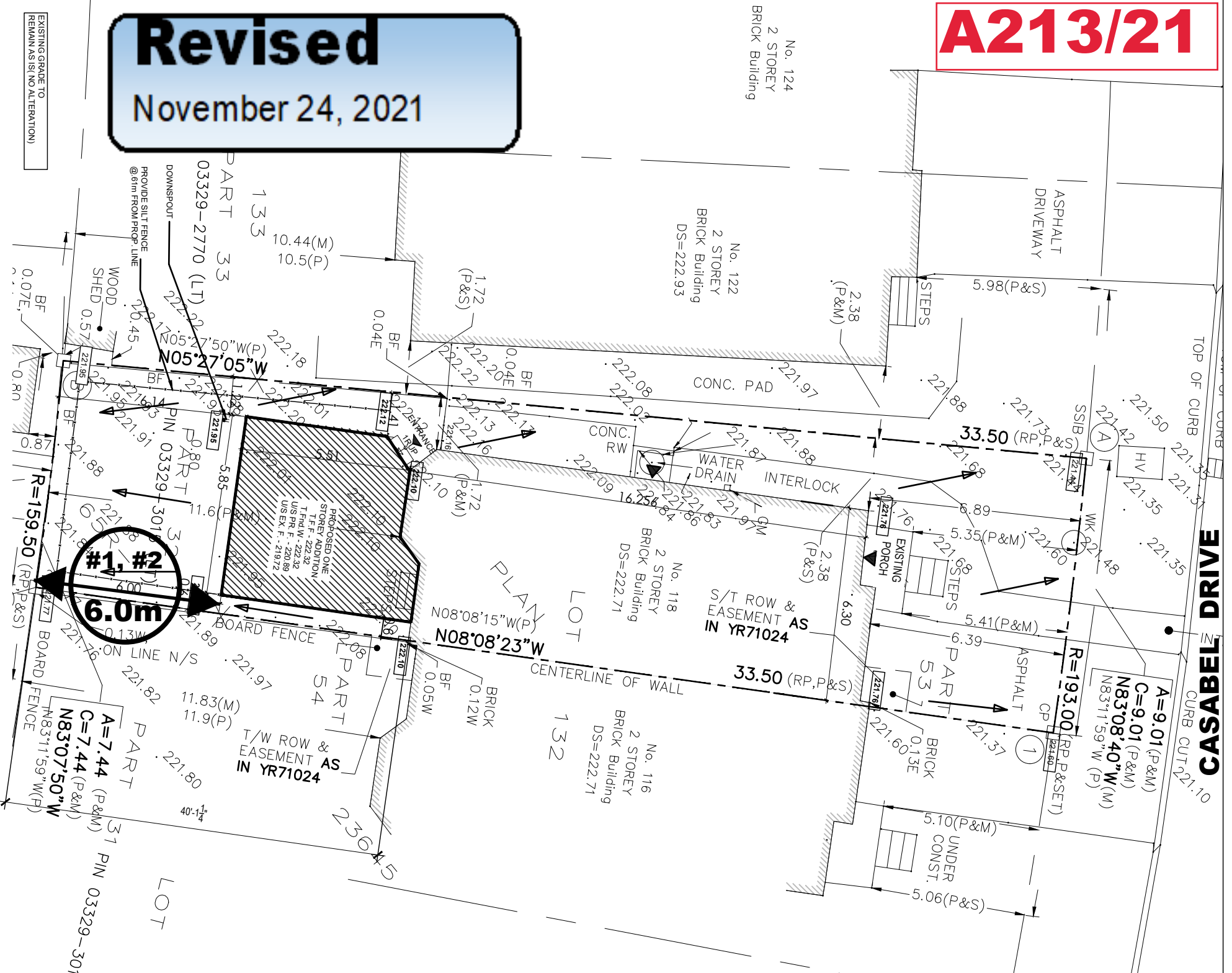
Created By:

Infrastructure Delivery
Department
September 30, 2021 12:08 PM

Projection:
NAD 83
UTM Zone
17N

A213/21

Revised November 24, 2021



#1, #2 - To permit a minimum rear yard setback of 6.0m

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- SIBB DENOTES SQUAR STANDARD IRON BAR
- CC DENOTES CUT CROSS
- CP DENOTES CONCRETE PIN
- P DENOTES PLAN 65R-23645
- RP DENOTES REGISTERED PLAN 65M-3445
- HV DENOTES HYDRO VAULT
- BF DENOTES BOARD FENCE
- (M) DENOTES MEASURED
- (S) DENOTES SET
- WK DENOTES WATER KEY
- DS DENOTES DOOR SILL ELEVATION
- FH DENOTES FIRE HYDRATE
- CB DENOTES CATCH BASIN
- MH DENOTES MANHOLE
- CONST. DENOTES CONSTRUCTION
- CONC DENOTES CONCRETE
- RW DENOTES RETAINING WALL
- + DENOTES EXISTING GRADE ELEVATION
- 143.45 DENOTES NORTH/SOUTH/EAST/WEST
- N/S/E/W DENOTES NORTH/SOUTH/EAST/WEST
- MANHOLE AND CATCH BASIN ELEVATIONS ARE CONSIDERED MANHOLE AND CATCH BASIN ELEVATIONS.
- ROW DENOTES RIGHT OF WAY
- S/T, T/W DENOTES SUBJECT TO, TOGETHER WITH

THIS SITE PLAN IS CREATED WITH THE SURVEY PROVIDED BY TOPOTEC, INC. ONTARIO LAND SURVEYOR.

PROJECT STATISTICS				
ADDRESS:	118 CASABEL DRIVE, MAPLE ON			
ZONING:	RESIDENTIAL			
LOT AREA:	2947.9448 FT ² / 273.873 W ²			
BUILDING HEIGHT				
EXISTING TO REMAIN				
GROSS FLOOR AREA		EXISTING	PROPOSED	TOTAL
GROUND FLOOR	81.512 M ² / 877.387866 FT ²	37.911 M ² / 408.0750 FT ²	119.423 M ² / 1285.45 FT ²	
SECOND FLOOR	97.17 M ² / 1046 FT ²	NOT APPLICABLE	97.17 M ² / 1046 FT ²	
TOTAL G.F.A.	178.688 M ² / 1923.83 FT ²	37.911 M ² / 408.0750 FT ²	216.593 M ² / 2331.38 FT ²	(79.08% OF LOT AREA)
LOT COVERAGE		EXISTING	PROPOSED	TOTAL
DWELLING FOOTPRINT AREA	94.44 M ² / 1016.5437 FT ²	37.911 M ² / 408.0750 FT ²	135.627 M ² / 1459.8769 FT ²	
TOTAL LOT COVERAGE	34.48%	13.84.0%	48.32%	
SETBACK		REQUIRED	EXISTING	PROPOSED
REAR YARD	7.50m	11.6M	6.0M	
FRONT YARD	EXISTING	5.4M	--	
EAST SIDE	NA	NA	--	
WEST SIDE	1.2m	1.72M	1.22M	



NOTES:

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCY TO ENGINEER BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE PRINTS.

NO.	DATE	REVISION / DESCRIPTION
2	11/22/2021	REVISION FOR COA
1	04/16/2021	REVISION AS PER CITY COMMENTS
0	03/10/2020	ISSUED FOR CLIENT REVIEW

CLIENT: **MR. AKRAM**

ENGINEER: **APEX TECHNICAL Ltd.**
 400 CREDITSTONE RD. UNIT # 6-A
 CONCORD, ON, L4K 3Z3

PROJECT: **HOUSE ADDITION**
 118 CASABEL DRIVE, MAPLE ON

ARCH. ENGINEER STAMP: **K.H. SIDDIQUI**
 LICENSED PROFESSIONAL ENGINEER
 10109878
 22/11/2021

DRAWING TITLE: **SITE PLAN**

DRAWN BY: NSA
 SCALE: AS NOTED
 APPROVED BY: KS & HR
 DATE: Nov. 22. 21

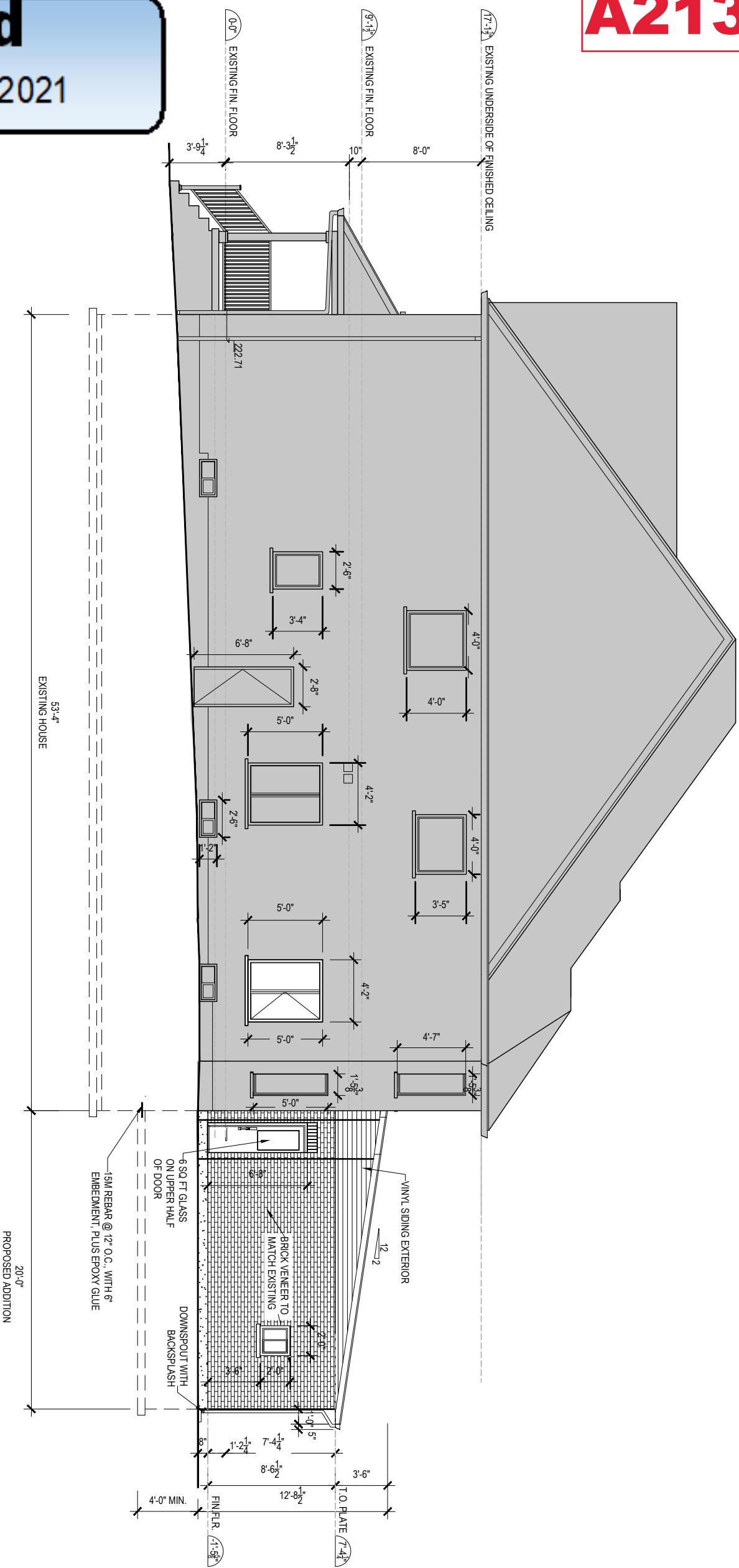
DRAWING NO.: **A-002**

APEX JOB NUMBER: 20 FAC047

A213/21

Revised

November 24, 2021



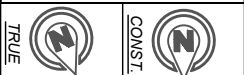
EXPOSED BUILDING FACE CALCULATIONS:

EXTERIOR WALL AREA: 1220.1 SQ FT (WITH ALL DOORS AND WINDOWS)	TOTAL WINDOW AREA: 106,293 SQ FT
EXISTING WINDOW AREAS: 81,46 SQ FT	TOTAL WINDOW GLAZING: 79,12 SQ FT, 6.48% GLAZING, OK
PROPOSED WINDOW AREA: 24,833 SQ FT	TOTAL GLAZING ON DOOR AREAS: 6 SQ FT, 0.5% GLAZING, OK
PROPOSED DOOR GLAZING: 6 SQ FT	TOTAL GLAZING: 79,12 + 6 SQ FT, 6.98% GLAZING, OK

1 WEST ELEVATION

Scale: 1/8"=1'-0"

KEY PLAN



NOTES:
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NO.	DATE	DESCRIPTION
2	11/22/2021	REVISED FOR COA
1	04/16/2021	REVISED AS PER CITY COMMENTS
0	03/10/2020	ISSUED FOR CLIENT REVIEW

CLIENT
MR. AKRAM

ENGINEER



PROJECT

HOUSE ADDITION
118 CASABEL DRIVE, MAPLE ON

DRAWING TITLE

WEST ELEVATION

ARCH. ENGINEER STAMP	DRAWN BY: NSA
SCALE: AS NOTED	APPROVED BY: KS & HR
DATE: Nov. 22, 21	

DRAWING NO.
A-201

APEX JOB NUMBER: 20 FAC047

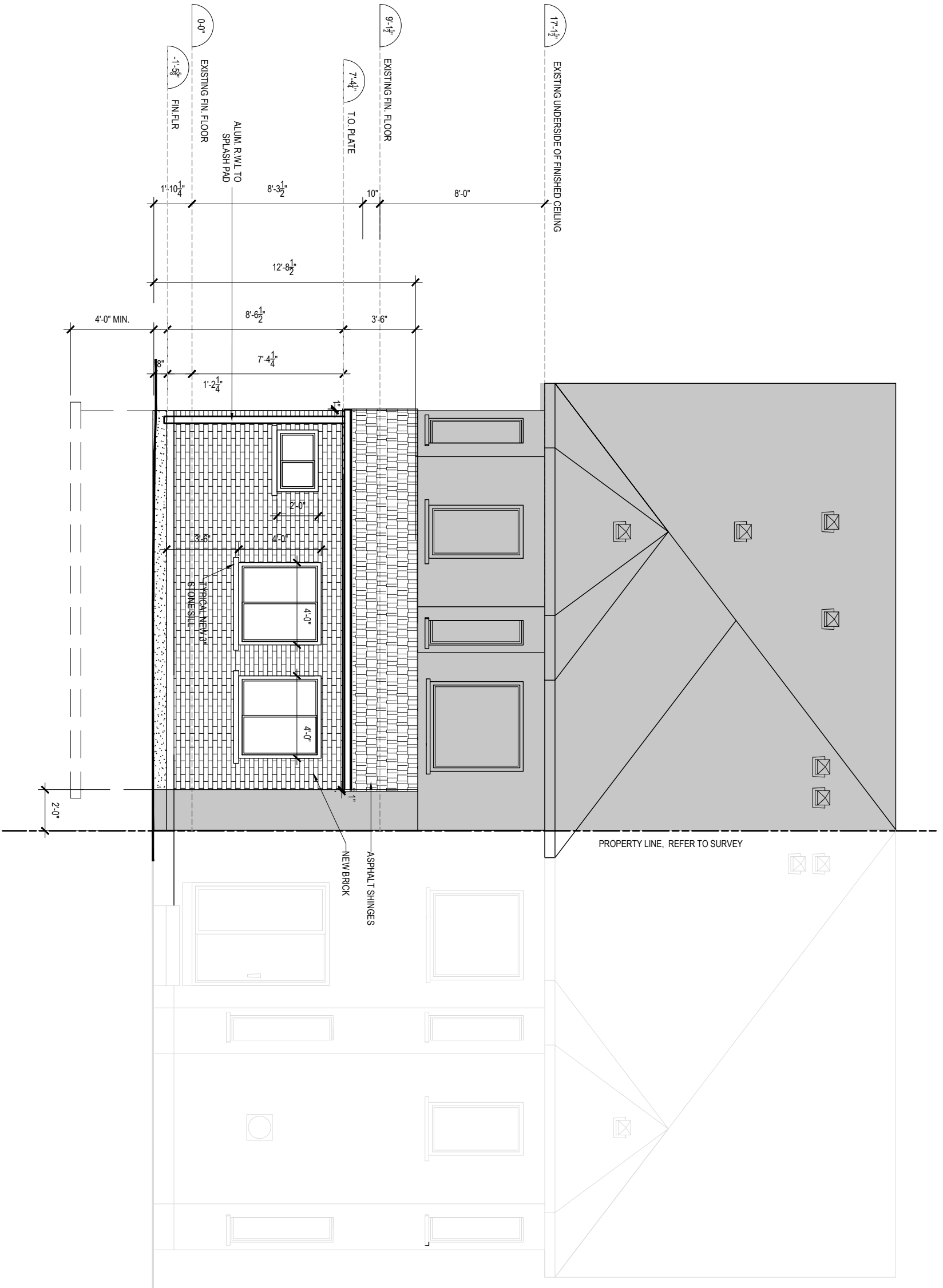
A213/21

Revised

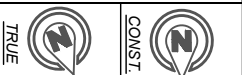
November 24, 2021

1 SOUTH ELEVATION

Scale: 3/16"=1'-0"



KEY PLAN



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REV/ISSUE	DATE	DESCRIPTION
2	11/22/2021	REVISED FOR COA
1	04/16/2021	REVISED AS PER CITY COMMENTS
0	03/10/2020	ISSUED FOR CLIENT REVIEW

CLIENT
MR. AKRAM

ENGINEER
APEX TECHNICAL Ltd.
400 CROFTSTONE RD, UNIT # 6-A
CONCORD, ON, L4K 3Z3

PROJECT
HOUSE ADDITION
118 CASABEL DRIVE, MAPLE ON

DRAWING TITLE
SOUTH ELEVATION

ARCH. ENGINEER STAMP	DRAWN BY: NSA
	SCALE: AS NOTED
APPROVED BY: KS & HR	DATE: Nov. 22, 21

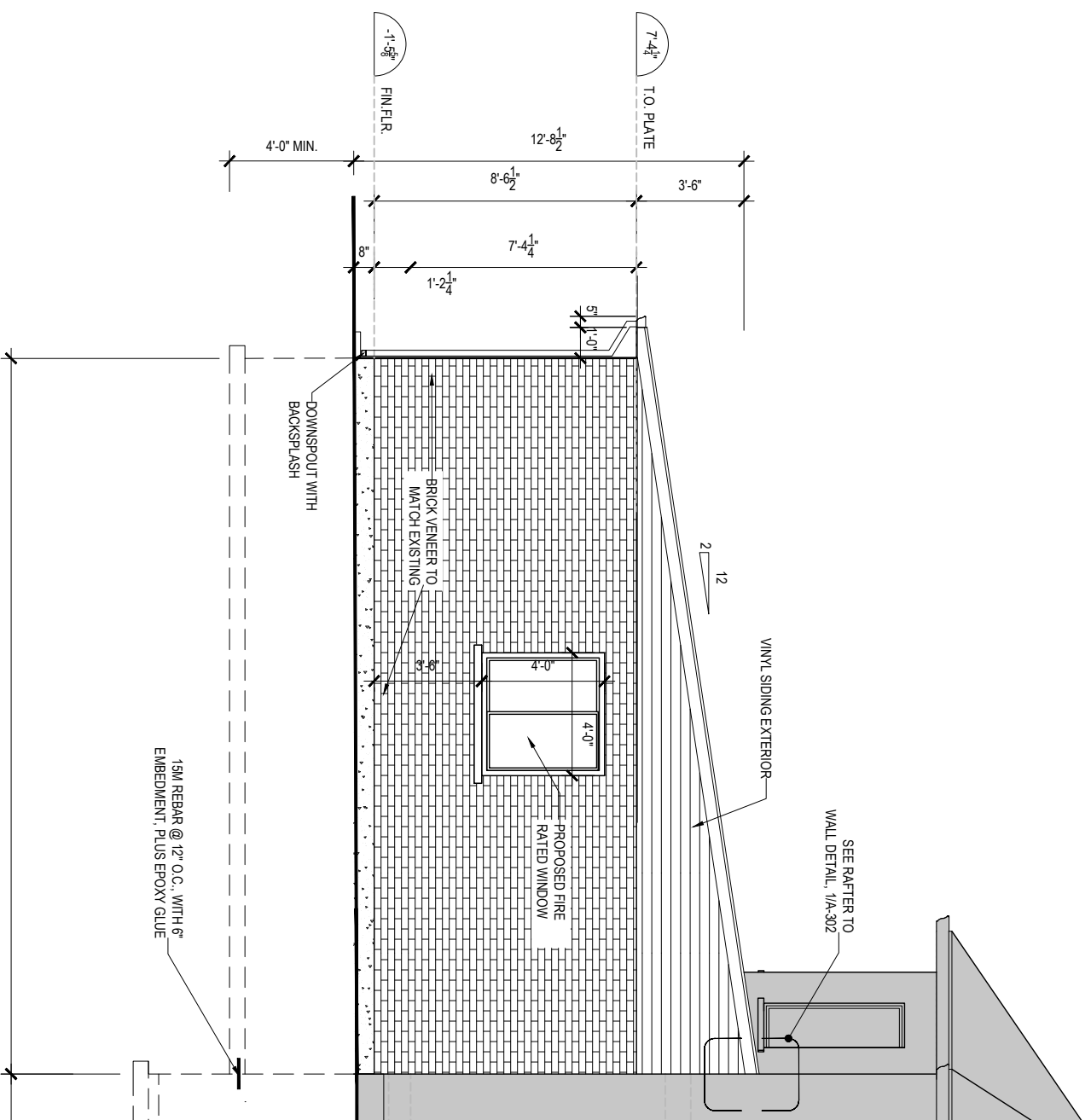
DRAWING NO.
A-202

APEX JOB NUMBER: 20 FQ047

A213/21

Revised

November 24, 2021



TOTAL WINDOW AREA: 0 SQ FT
 TOTAL WINDOW GLAZING: 0 SQ FT = 0%, OK

PROPOSED ADDITION
 23'-4"

1 EAST ELEVATION

1

A-203

Scale: 3/16"=1'-0"

KEY PLAN



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REV/ISSUE	DATE	DESCRIPTION
2	11/22/2021	REVISED FOR COA
1	04/16/2021	REVISED AS PER CITY COMMENTS
0	03/10/2020	ISSUED FOR CLIENT REVIEW

CLIENT
MR. AKRAM

ENGINEER
APEX TECHNICAL Ltd.
 400 CREDITSTONE RD. UNIT # 6-A
 CONCORD, ON, L4K 3Z3

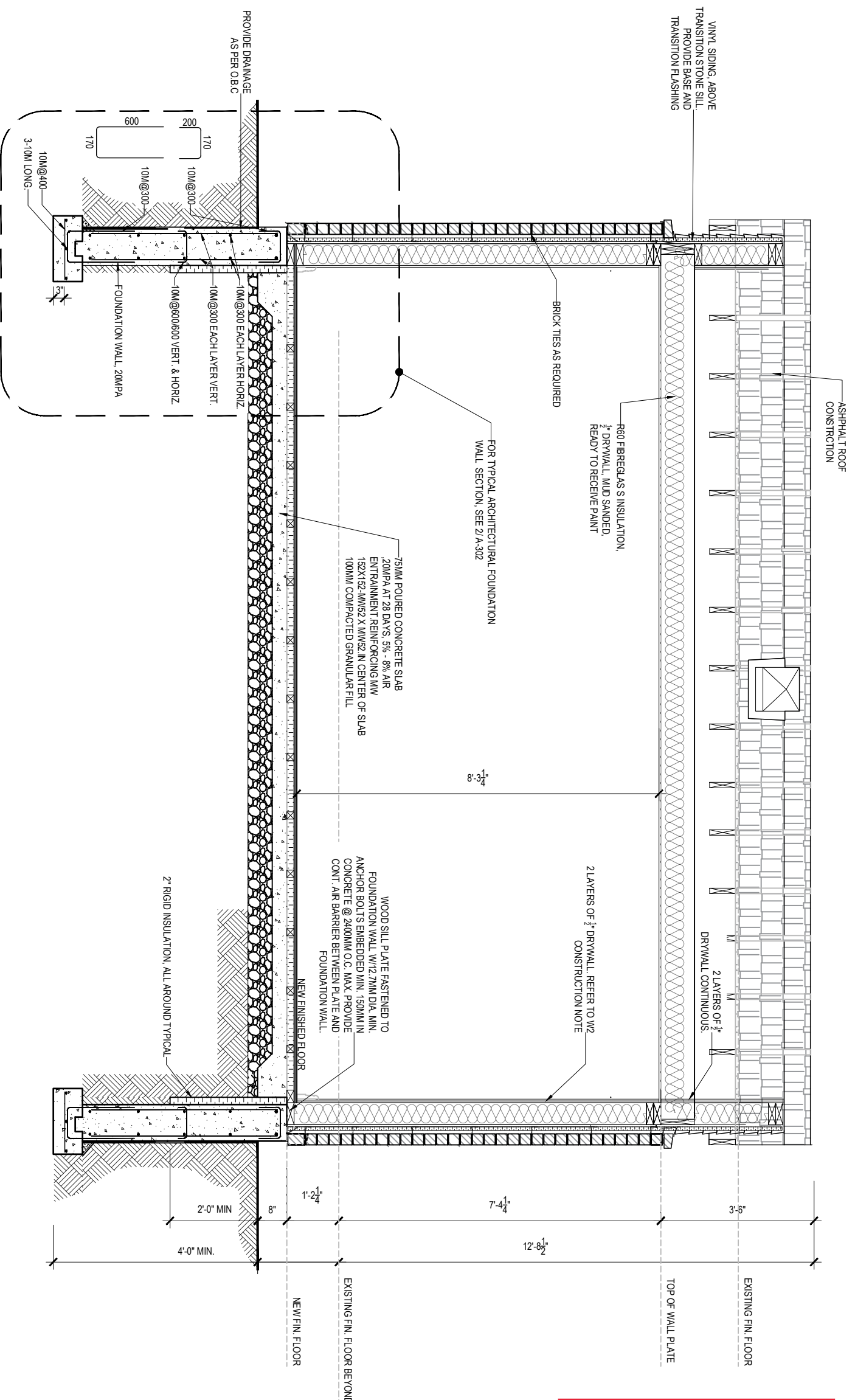
PROJECT
HOUSE ADDITION
 118 CASABEL DRIVE, MAPLE ON

DRAWING TITLE
EAST ELEVATION

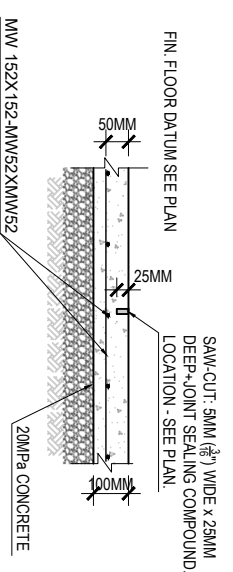
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	SCALE:	AS NOTED
	APPROVED BY:	KS & HR
	DATE:	Nov. 22, 21

DRAWING NO.
A-203

APEX JOB NUMBER: 20 FAC047



1
A-301
CROSS SECTION
Scale: 1/4"=1'-0"



2
A-301
SAW CUT ON SLAB TYP.
Scale: 2/3"=1'-0"

A213/21

Revised
November 24, 2021



NOTES:
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REVISION	DATE	DESCRIPTION
2	11/22/2021	REVISED FOR COA
1	04/16/2021	REVISED AS PER CITY COMMENTS
0	03/10/2020	ISSUED FOR CLIENT REVIEW

CLIENT
MR. AKRAM

ENGINEER
APEX TECHNICAL Ltd.
400 CRDITSTONE RD. UNIT # 6-A
CONCORD, ON, L4K 3Z3

PROJECT
HOUSE ADDITION
118 CASABEL DRIVE, MAPLE ON

DRAWING TITLE
CROSS SECTION

ARCH. ENGINEER STAMP	DRAWN BY:	NSA
	SCALE:	AS NOTED
	APPROVED BY:	KS & HR
	DATE:	Nov. 22, 21

DRAWING NO.
A-301

APEX JOB NUMBER: 20 FAC047

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

A213/21 –Applicant Correspondence – Justification Letter

A213/21

August 08, 2021

To
The City of Vaughan

Reference: **Medical Health Condition of my son Shaikh, Haroon**

The purpose of this letter is to explain that my son Haroon Shaikh is diagnosed with Miller-Dieker Syndrome (MDS), which in short, is a genetic condition that results in several physical and neurological disabilities including Epilepsy. For the past seven years, the effects of MDS has been challenging not only Haroon's everyday but ours (the parents and family) as well. Due to the fact that Haroon is a heavily dependent child, it has resulted in my wife (Amna) and I (Akram) to lift, carry, support, and supervise him at all times. It is even more difficult to help my son climb the stairs or lift him in general when he is not feeling well because my wife and I are facing our own medical health problems. My wife has cervical issues and I myself had a open heart Surgery which prevents us even further from giving our son the physical help he needs to move around our home.

Now that Haroon is 12 years old and entering his teenage years, he of course is getting a lot more heavier making it unsafe for us to have to carry him up the stairs in order to sleep in his room safely. Additionally, his seizures are unexpected and we have had to deal with Haroon breaking out into a seizure while climbing the stairs which again adds onto the unsafe aspect. As a result, we are asking your permission in allowing us to please add the necessary extension to our home (adding an extra room that extends to the backyard) so that it is safer and easier for him to get around our home.

If you have any further questions, or would like to contact me you can do so at [REDACTED]

Thank You

Akram Nadim

Akram Nadim

Schedule C: Development Planning & Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Development Planning Comments – Recommend approval with conditions

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: December 08, 2021
Name of Owner: Akram Nadim
Location: 118 Casabel Drive
File No.(s): A213/21

Proposed Variance(s) (By-law 01-2021):

1. To permit a minimum rear yard setback of 6.0 m.

By-Law Requirement(s) (By-law 01-2021):

1. A minimum rear yard setback of 7.5 m is required. (Table 7-5)

Proposed Variance(s) (By-law 1-88):

2. To permit a minimum rear yard setback of 6.0 m.

By-Law Requirement(s) (By-law 1-88):

3. A minimum rear yard setback of 7.5 m is required. (Schedule 'A1')

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting to construct a 1-storey addition to an existing dwelling in the rear yard with the above noted variances.

At the request of the Development Planning Department, the Owner has increased the rear yard setback from 5.44 m to 6 m to minimize any visual implications caused onto the abutting properties. The Development Planning Department has no objection to Variances 1 and 2, given the addition itself remains compliant with the maximum height and interior side yard setbacks of both by-laws.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Roberto Simbana, Planner I
Chris Cosentino, Senior Planner



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Lenore Providence

Subject: FW: Request for Comments: A213/21 (118 Casabel Drive)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: November-15-21 11:01 AM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: Request for Comments: A213/21 (118 Casabel Drive)

Good morning Lenore,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Schedule D: Previous Approvals (Notice of Decision)

None.