

**File:** A233/21

**Applicant:** Paolo & Maria Cugliari

**Address:** 107 Lockheed Ave Maple

**Agent:** None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

| Commenting Department                       | <input checked="" type="checkbox"/> Positive Comment                    | Condition(s)<br><input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
|---|---|---|
|   | <input checked="" type="checkbox"/> Negative Comment                    |   |
| Committee of Adjustment                     | <input checked="" type="checkbox"/>                                     |   |
| Building Standards                          | <input checked="" type="checkbox"/>                                     |   |
| Building Inspection                         |   |   |
| Development Planning                        | <input checked="" type="checkbox"/>                                     |   |
| Development Engineering                     | <input checked="" type="checkbox"/>                                     |   |
| Parks, Forestry and Horticulture Operations | <input checked="" type="checkbox"/>                                     |   |
| By-law & Compliance                         | <input checked="" type="checkbox"/>                                     |   |
| Financial Planning & Development            | <input checked="" type="checkbox"/>                                     |   |
| Fire Department                             | <input checked="" type="checkbox"/>                                     |   |
| TRCA  |   |   |
| Ministry of Transportation                  |   |   |
| Region of York                              | <input checked="" type="checkbox"/>                                     |   |
| Alectra (Formerly PowerStream)              | <input checked="" type="checkbox"/>                                     |   |
| Public Correspondence (see Schedule B)      | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |   |

Adjournment History: N/A

Background History: N/A

**Staff Report Prepared By: Pravina Attwala**  
**Hearing Date: Wednesday, December 8, 2021**

\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).



**Minor Variance  
Application**

Agenda Item: 16

**A233/21**

Ward: 1

**Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer**

**Date & Time of Live Stream Hearing:** Wednesday, December 8, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Paolo & Maria Cugliari

**Agent:** None

**Property:** 107 Lockheed Ave Maple

**Zoning:** The subject lands are zoned R2 9(659) and subject to the provisions of Exception under By-law 1-88 as amended

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed canopy at the rear of the existing dwelling. The proposed canopy will cover an existing concrete patio.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

| By-law Requirement   | Proposal  |
|--|---|
| 1. A minimum rear yard setback of 9.0m is required. (schedule T-36)          | 1. To permit a minimum rear yard setback of 7.66m.  |
| 2. A minimum interior side yard setback of 1.2m is required. (schedule T-36) | 2. To permit a minimum interior side yard of 0.95m. |

**Background (previous applications approved by the Committee on the subject land): N/A**

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

**Adjournment History: N/A**

**Staff & Agency Comments**

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**

Public notice was mailed on November 24, 2021

Applicant confirmed posting of signage on November 19, 2021

| Property Information |                       |
|----------------------|-----------------------|
| Existing Structures  | Year Constructed      |
| Dwelling             | 1993 (Purchased 2001) |

Applicant has advised that they cannot comply with By-law for the following reason(s): Structure is already partially constructed and for use and access would like the structure to be aligned architecturally to the house and doors.

Committee of Adjustment recommended conditions of approval: None

**Adjournment Request / File Review History: N/A****Building Standards (Zoning Review):**

Stop Work Order(s) and Order(s) to Comply: Order No. 21-118845, Order to Comply for, Issue Date: Jul 14, 2021

Building Permit No. 21-120693 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

This review is based on zoning by-law 1-88.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Standards Recommended conditions of approval: None

**Building Inspections (Septic):**

No comments received to date

**Development Planning:**

Please see Schedule C for Development Planning comments/conditions.

**Development Engineering:**

The Development Engineering (DE) Department does not object to variance application A233/21.

**Parks Development - Forestry:**

No comments no concerns.

**By-Law and Compliance, Licensing and Permit Services:**

No comments no concerns.

**Development Finance:**

No comment no concerns

**Fire Department:**

No comments no concerns.

**Schedule A – Plans & Sketches****Schedule B – Public Correspondence**

Public Correspondence (no address provided) – Letter of objection

Public Correspondence (108 Lockheed Avenue) – Letter of support

Public Correspondence (113 Lockheed Avenue) – Letter of support

Public Correspondence (103 Lockheed Avenue) – Letter of support

**Schedule C - Development Planning & Agency Comments**

Development Planning Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: None

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96.

### **Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

### **Please Note:**

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

### **Notice to the Applicant – Development Charges**

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8002  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

## **Schedule A: Plans & Sketches**

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

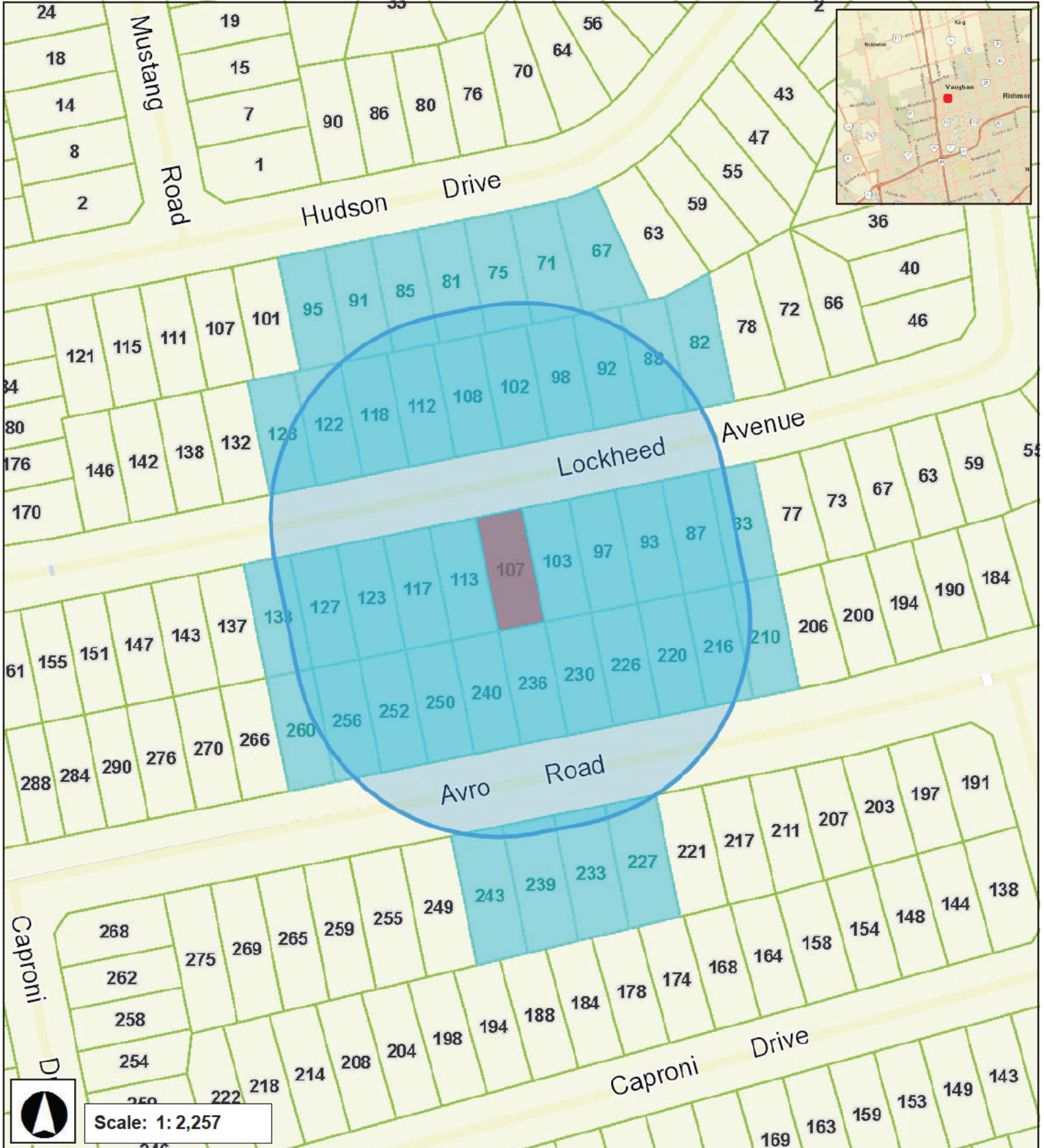
**Location Map  
Plans & Sketches**





# LOCATION MAP - A233/21

107 LOCKHEED AVENUE, MAPLE



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

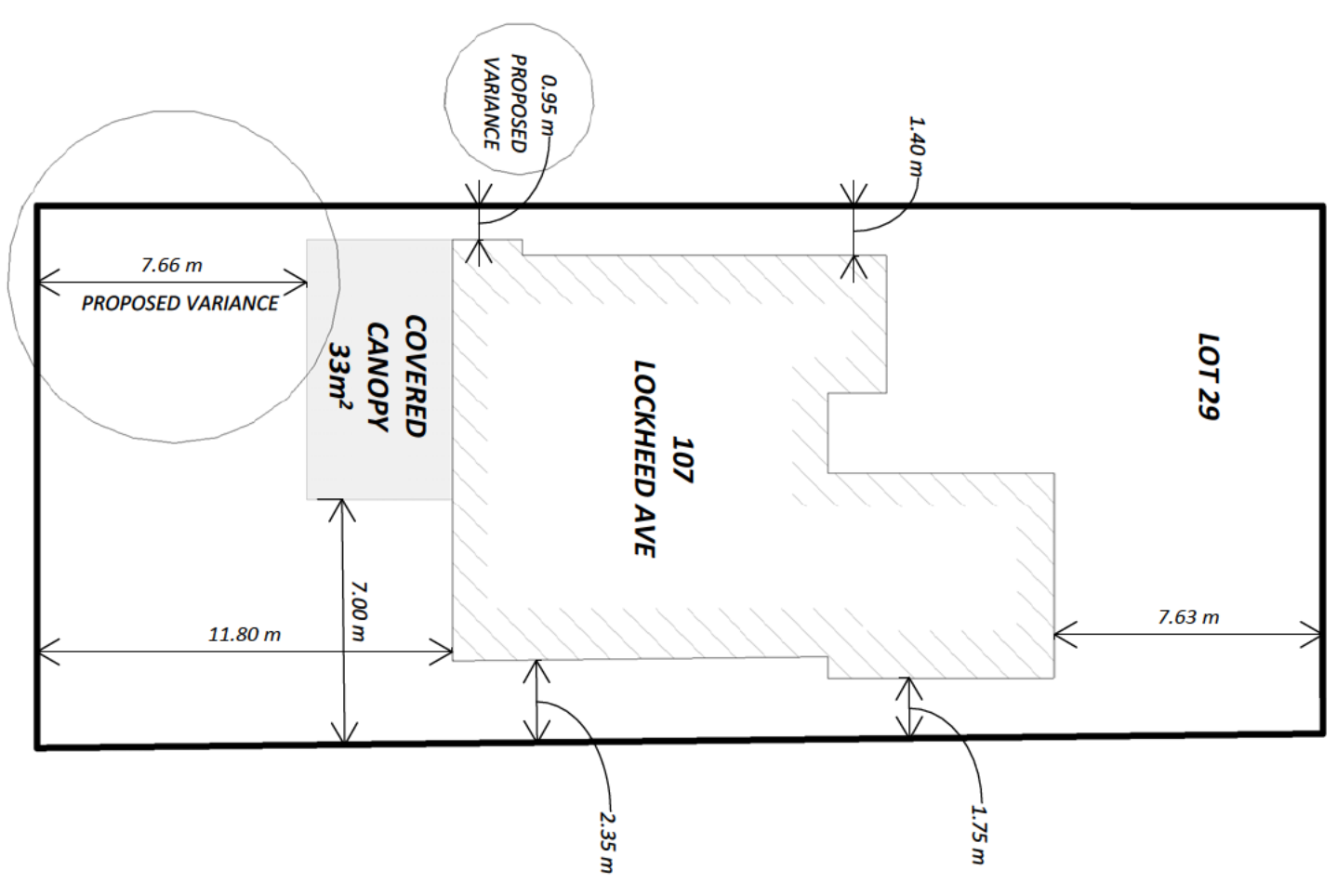
QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4 of Division C of the building code.

Westar Koonbu  
NAME SIGNATURE  
39225  
BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4 of Division C of the Building Code.

Nutima Design & Project Management Inc. 11964  
FIRM NAME  
BCIN

- 1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2.) OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- 3.) ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- 4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE LATEST APPROVED DRAWINGS LABELLED 'ISSUED FOR CONSTRUCTION'.
- 5.) DO NOT SCALE THE DRAWINGS.



1 SITE PLAN  
Scale: 1 : 200

APPLICATION IN RESPONSE TO ORDER TO COMPLY - 21-118845 OB

|   |                        |  |
|---|------------------------|--|
| <p>Project Status:<br/><b>ISSUED FOR PERMIT</b></p>                 |                        | <p>Dwg Title:<br/><b>SITE PLAN</b></p> |
| <p>Address:<br/>107 LOCKHEED AVE MAPLE ONT</p>                      |                        |  |
| <p>Nutima Design &amp; Project Management Inc.<br/>289-327-1311</p> |                        | <p>Revision:<br/><b>4</b></p>          |
| <p>Project No:<br/>2021-69</p>                                      |                        |  |
| <p>Drawn By: A.K</p>  | <p>Date: JULY 2021</p> |  |
| <p>Chkd By: W.K</p>   | <p>Scale: 1 : 200</p>  |  |
| <p>Drawing No.:<br/><b>A100</b></p>                                 |                        | <p>Dwg Title:<br/><b>SITE PLAN</b></p> |



The applicant has reviewed and accepts responsibility for the accuracy of the information and data provided and warrants that the information is true and correct and that the information is not misleading.

QUALIFICATION INFORMATION  
I am a duly qualified and licensed Professional Engineer in the Province of Ontario, Canada, and I am duly registered with the Engineering Council of Ontario, Canada.

REGISTERED INFORMATION  
I am duly registered with the Engineering Council of Ontario, Canada, and I am duly registered with the Engineering Council of Ontario, Canada.

REGISTERED INFORMATION  
I am duly registered with the Engineering Council of Ontario, Canada, and I am duly registered with the Engineering Council of Ontario, Canada.

1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE DIMENSIONS SHOWN ON THESE DRAWINGS LABELLED ISSUED FOR CONSTRUCTION.

5.) DO NOT SCALE THE DRAWINGS.

| No. | Description       | Date       |
|-----|-------------------|------------|
| 4   | Issued for Permit | 27-07-2021 |

Project Status:  
**ISSUED FOR PERMIT**

Address:  
107 LOCKHEED AVE MAPLE ONT

NUTIMA  
DESIGN & PROJECT MANAGEMENT

Project No:  
2021-69

Drawn By: Author  
Date: JULY 2021

Checked By: Checker  
Scale: 1/32" = 1'-0"

Dwg Title: SITE PLAN

Revision: 4

**SURVEYOR'S REAL PROPERTY REPORT**  
PART 1 - PLAN OF  
LOTS 27, 28 AND 29  
REGISTERED PLAN 65M-2922  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK

SCALE: 1" = 300'  
MTRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

THIS REPORT WAS PREPARED FOR WATERFORD HOMES AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

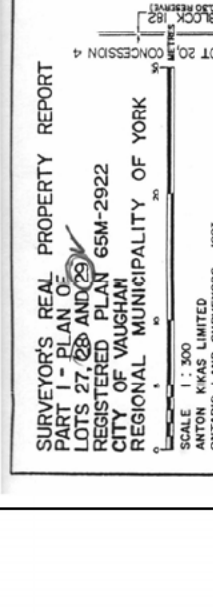
**PART 2**  
THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED JUNE 14, 1993.

NOTES:  
BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LOCKHEED AVENUE AS SHOWN ON REGISTERED PLAN 65M-2922. HAVK BEARING OF N 70° 40' 05" E.

CONVERTED BEARINGS ARE SHOWN IN OTHER CASES UNLESS NOTED OTHERWISE.

LEGEND:  
■ DENOTES SURVEY MONUMENT FC DENOTES STANDARD IRON BAR S.B. DENOTES STANDARD IRON BAR DIA. DENOTES DWELLING UNDER CONSTR. (P.M.) DENOTES REGISTERED PLAN 65M-2 AND S DENOTES REGISTERED PLAN 65M-2 AND MEAS. DENOTES SCHAEFFER REINTHALER PT. DENOTES POINT OF TANGENCY

LOCKHEED AVENUE  
DEDICATED BY REGISTERED PLAN 65M-2922



ANTON KIKAS LIMITED  
Chartered Engineers - Planners  
Ontario Land Surveyors - Planners  
100 King Street West, Toronto, Ont. M5X 1C7  
DRAWN BY: J.J. JOB NO: 69-100-3  
CHECKED BY: J.K.

SURVEYOR'S CERTIFICATE  
I CERTIFY THAT THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON THE 2nd DAY OF June, 1993

DATE: June 12, 1993  
ANTON KIKAS  
ONTARIO LAND SURVEYOR

APPLICATION IN RESPONSE TO ORDER TO COMPLY - 21-118845-08

1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2.) OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.

3.) ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE DIMENSIONS SHOWN ON DRAWINGS LABELLED ISSUED FOR CONSTRUCTION.

5.) DO NOT SCALE THE DRAWINGS.

**Revision Schedule**

| No. | Description       | Date       |
|-----|-------------------|------------|
| 4   | Issued for Permit | 27-07-2021 |

Project Status:  
**Project ISSUED FOR PERMIT**

Address:  
 107 LOCKHEED AVE MAPLE ONT



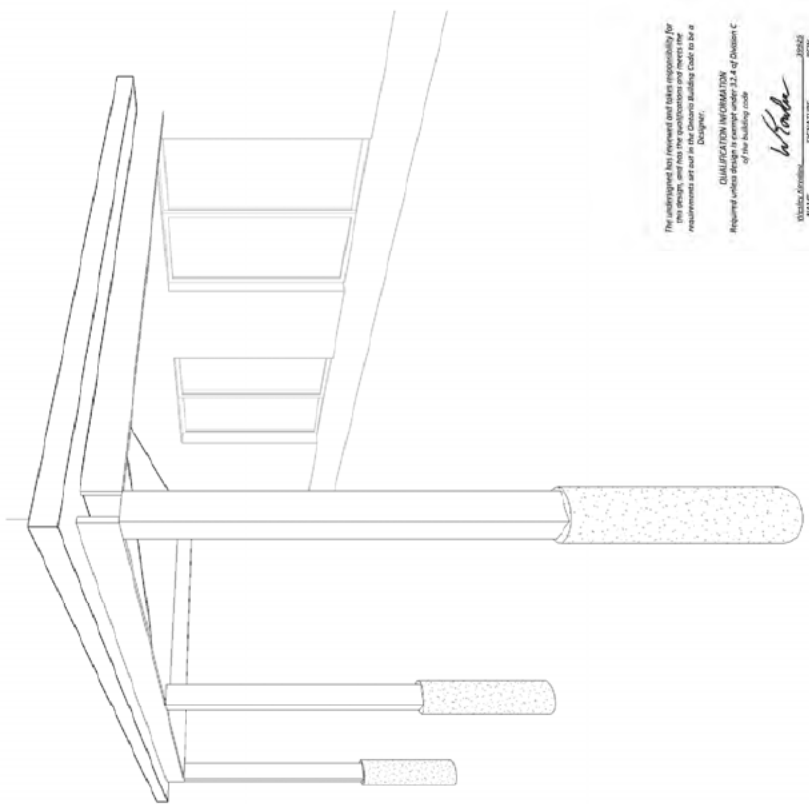
Nutima Design & Project Management Inc.  
 289-327-1311

Project No:  
 2021-69

Drawn By: \_\_\_\_\_ Date: JULY 2021  
 Check By: \_\_\_\_\_ Scale: \_\_\_\_\_

Drawing No.: **A000**  
 Revision: 4

CONTEXT PAGE



The undersigned has reviewed and takes responsibility for this drawing, and for the specifications and notes the requirements set out in the Ontario Building Code to be a Designer.

QUALIFICATION INFORMATION  
 Registered under the Professional Act, 2014 of Ontario  
 of the building code

REGISTRATION INFORMATION  
 Registered under the Professional Act, 2014 of Ontario  
 of the building code

Business Design & Project Management Inc. 118984  
 JULY



APPLICATION IN RESPONSE TO ORDER TO COMPLY - Z1-118845 OB

| DRAWING LIST |            |
|--------------|------------|
| SHEET No.    | SHEET NAME |

|      |                           |
|------|---------------------------|
| A000 | CONTEXT PAGE              |
| A01  | GENERAL NOTES & SCHEDULES |
| A02  | GENERAL NOTES             |
| A100 | SITE PLAN                 |
| A101 | SITE STATS                |
| A102 | GROUND FLOOR PLAN         |
| A104 | ROOF PLAN                 |
| A200 | FRONT & REAR ELEVATIONS   |
| A201 | LEFT ELEVATION            |
| A202 | RIGHT ELEVATION           |
| A300 | DETAILS                   |
| A400 | TYPICAL DETAILS           |
| A500 | SITE PHOTOS               |

Grand total: 13

**GENERAL NOTES / SPECIFICATIONS:**

1. THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE FULL DETAILS OF THE BUILDING OR STRUCTURE SHOWN. THEY MAY ALSO BE USED AS DOCUMENTS FOR CONSTRUCTION. ALL NOTES AND DIMENSIONS ARE SUBJECT TO CHANGE ACCORDING TO THE ARCHITECTURAL DRAWINGS, OWNER, LOCAL BUILDING OFFICIAL, APPLICABLE CODES, BUILDING REQUIREMENTS AND SITE CONDITIONS. THESE DRAWINGS ARE TO BE CHECKED BY THE CUSTOMER, OWNER AND / OR CONTRACTOR(S) INCLUDING COORDINATION OF THESE AGAINST ANY OTHER CONSTRUCTION DOCUMENTS. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO THE DESIGNER PRIOR COMMENCEMENT OF CONSTRUCTION.
2. THESE DRAWINGS ARE NOT TO BE SCALED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, ONTARIO ELECTRICAL CODE, AND ONTARIO FIRE CODE LATEST EDITIONS THEREOF.
4. THE WORK SHALL ALSO BE IN ACCORDANCE WITH ALL LOCAL CODES, AUTHORITIES HAVING JURISDICTION AND WITH ANY OWNER REQUIREMENTS NOT SPECIFICALLY COVERED.
5. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES INCLUDING SUBCONTRACTORS TO ENSURE NO CONFLICTS AND TO ENSURE EFFICIENT COMPLETION OF THE WORK.
6. EVERY ATTEMPT HAS BEEN MADE FOR COMPLETENESS HOWEVER IT IS THE CONTRACTORS' RESPONSIBILITY TO CONFIRM SITE CONDITIONS AND FIELD CONSTRUCTION.

**PROJECT GEO-TECHNICAL REPORT:**

- 1.) NO GEO-TECHNICAL REPORT HAS BEEN PROVIDED FOR THIS DESIGN. THE DESIGN IS BASED ON TYPICAL SOILS CONDITIONS WITHIN THE GEOGRAPHIC AREA. ASSUMED ALLOWABLE BEARING CAPACITY OF 100 kPa AS SETOUT IN OBC- B9.4.4.1.

**GENERAL REVIEW & INSPECTION:**

- 1.) A PERSON WHO INTENDS TO CONSTRUCT OR HAVE CONSTRUCTED A BUILDING, ALTERATION OR ADDITION THAT IS DESIGNED BY A "DESIGNER" SHALL ENSURE THAT THE "DESIGNER" IS RETAINED TO UNDERTAKE THE GENERAL REVIEW OF THE CONSTRUCTION OF THE BUILDING IN ACCORDANCE WITH THE PERFORMANCE STANDARDS OF THE ASSOCIATION, AS APPLICABLE AND AS SETOUT IN THE ONTARIO BUILDING CODE OBC-2.17.4 TO DETERMINE WHETHER THE CONSTRUCTION IS IN GENERAL CONFORMITY WITH THE PLANS, SKETCHES, DRAWINGS, GRAPHIC REPRESENTATIONS, SPECIFICATIONS AND OTHER DOCUMENTS THAT ARE PREPARED BY THE "DESIGNER"; COPIES OF WRITTEN REPORTS ARISING OUT OF THE GENERAL REVIEW SHALL BE FORWARDED TO THE CHIEF BUILDING OFFICIAL BY THE DESIGNER WHO HAVE BEEN RETAINED TO UNDERTAKE THE GENERAL REVIEW OF THE CONSTRUCTION OF THE BUILDING.
- 2.) THE SIGNING CONSULTANT OR A DESIGNATED REPRESENTATIVE OF NUTIMA DESIGN & PROJECT MANAGEMENT, SHALL BE PROVIDED WITH A MINIMUM 48 HOURS NOTICE OF REQUIRED INSPECTIONS.
- 3.) INSPECTIONS BY NUTIMA DESIGN & PROJECT MANAGEMENT, ARE REQUIRED AS FOLLOWS:
  - CONCRETE FOOTING & FOUNDATION WALL INSPECTION (PRE-POUR)
  - FRAMING COMPLETION INSPECTION (PRIOR TO INSULATION AND VAPOUR BARRIER)
  - CONSTRUCTION COMPLETION

**ROOF CONSTRUCTION:**

ACCESS TO ROOF ATTIC TO BE MIN. 24"x36" INSULATE AND WEATHERSTRIP. PROVIDE EAVES PROTECTION WITH SELF SEALING COMPOSITE MEMBRANES OF "ICE AND WATERSHIELD". PROTECTION MUST EXTEND 3'-0" FROM THE ROOF EDGE UP THE SLOPE AND A MINIMUM OF 12" FROM INSIDE FACE OF EXTERIOR WALL. STARTER STRIP, ROLL ROOFING OR ROOF SHINGLES OF SAME WEIGHT AND QUALITY AS USED ON ROOF LAID WITH TABS FACING UP. HIP AND VALLEY RAFTERS TO BE 2" DEEPER THAN COMMON RAFTERS. ROOF SHEATHING 1/2" OSB STRAND BOARD OR PLYWOOD IF EDGES UNSUPPORTED 2'-0" SPACING OF SUPPORTS OR 3/8" OSB OR PLYWOOD WITH "H" CUPS 2'-0" O/C SPACING OF SUPPORTS.

ROOF EDGE SUPPORTS TO BE 2"x2" BLOCKING MIN. TRUSS BRACING AND BRIDGING PROVIDE 1"x4" CONTINUOUS AT EACH 2"x4"

WALL TIES. PROVIDE 2"x4" BRACES AND BRIDGING FOR ROOF SLOPES GREATER THAN 4/12.

**ROOF DRAINAGE:**

ROOF TO BE DRAINED INTO PERIMETER ROOF EAVES TROUGH AND RAINWATER LEADERS TO GRADE. PROVIDE PRECAST CONCRETE SPLASH PADS AT RAINWATER LEADER DROPS.

**FLASHING:**

FLASHING IS REQUIRED UNDER ALL JOINTED SILLS AND OVERHEADS OF WINDOWS AND DOORS IN EXTERIOR WALLS IF DISTANCES BELOW EAVES IN MORE THAN 1/4 ROOF OVERHANG.

PROVIDE STEP FLASHING BETWEEN VERTICAL WALL AND ADJACENT ROOF SURFACES.

**FASTENERS / ANCHORS:**

ALL FASTENERS AND HARDWARE FROM THE TOP OF BOTTOM PLATES DOWN AND INTO WATER SHALL BE HOT DIPPED GALVANIZED.

**NATURAL VENTILATION:**

INSULATION SHALL BE INSTALLED AND OTHER CONSTRUCTION WORK UNDERTAKEN IN A MANNER WHICH WILL NOT REDUCE THE FLOW OF AIR THROUGH VENTS OR THROUGH ANY PORTION OF THE ROOF SPACE OR ATTIC WHERE NECESSARY TO ENSURE EFFECTIVE AIR CIRCULATION

SPECIAL VENTING DEVICES SUCH AS DUCTS OR BAFFLES SHALL BE INSTALLED.

ROOF SPACES OR ATTICS ABOVE INSULATED CEILINGS SHALL BE VENTILATED WITH OPENINGS TO THE EXTERIOR HAVING A TOTAL UNOBSTRUCTED AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA (OF WHICH 1/2 TO BE LOCATED IN SOFFIT). SUCH VENTS SHALL BE LOCATED SO AS TO PROVIDE MAXIMUM EFFECTIVE AIR CIRCULATION AND IN RIDGE TYPE ROOFS APPROXIMATELY HALF OF THE TOTAL VENT AREA SHALL BE LOCATED AT OR NEAR THE RIDGE.

**BEARING WALLS:**

BEARING STUD PARTITIONS TO BE 2"x6" AT 16" O/C UNLESS NOTED OTHERWISE.

BEARING WALLS TO BE ANCHORED TO FOUNDATION WITH MINIMUM 1/2" GALV. ANCHOR BOLTS INSTALLED AT 6'-7" O/C MAX.

**WOOD FRAMING:**

ALL FRAMING LUMBER TO OBC STANDARDS SIZES OF JOISTS, LINTELS, ETC. INDICATED ON DRAWINGS. SPECIFIED AS PER NO.2 OR BETTER (UNLESS NOTED OTHERWISE).

BEAMS TO HAVE A MINIMUM 3 1/2" END BEARING.

LATERAL SUPPORT - (WALLS SUPPORTING JOISTS) - ANCHOR SILL PLATE AT 6'-7" O/C WITH 1/2" DIA. THRU BOLT ASSEMBLIES OR LAG BOLTS WITH MINIMUM 4" EMBELEM INTO TIMBER CRIB BEAMS

ALL JOISTS TO HAVE BRIDGING OVER INTERIOR BEARING WALLS AND BEAMS.

HEADER JOISTS TO BE DOUBLED IF OVER 2'-8" AND NOT OVER 10'-8"

TRIMMER JOISTS TO BE DOUBLED IF OVER 2'-8" AND NOT OVER 6'-7" O/C.

SPACE FLOOR JOISTS AT 12" O/C CANTILEVERS

DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS

TRIPLE JOISTS UNDER ALL PARALLEL BEARING PARTITIONS.

MINIMUM 1 1/2" END BEARING REQUIRED FOR SUPPORT FOR JOISTS, CEILING JOISTS, ROOF JOISTS AND RAFTERS.

PROVIDE METAL - JOIST HANGERS FOR SUPPORT OF JOISTS FRAMING ON TO SIDES OF WOOD BEAMS, TRIMMER AND HEADERS WHEN REQUIRED.

ALL CONCEALED SPACES TO BE FIRE STOPPED BETWEEN STORES AT FLOOR, CEILING, ROOFS AND AT STAIRS.

WOOD STUD PARTITIONS TO BE MADE UP OF 2"x4" SPRUCE 16" O/C AND 2"x4" TOP AND BOTTOM PLATES (DOUBLE TOP PLATE IN BEARING STUD).

USE 2"x4" STUDS AT 12" O/C FOR GROUND FLOOR OF 3 STOREY STRUCTURES.

DOUBLE STUDS AROUND OPENINGS AND TRIPLE STUDS IN CORNERS IN BEARING STUD PARTITIONS.

- 1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2.) OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- 3.) ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- 4.) FOR CONSTRUCTION PURPOSES, USE ONLY DIMENSIONS LABELLED ON DRAWINGS LABELLED ISSUED FOR CONSTRUCTION.
- 5.) DO NOT SCALE THE DRAWINGS.

| Revision Schedule |                   |            |
|-------------------|-------------------|------------|
| No.               | Description       | Date       |
| 4                 | Issued for Permit | 27-07-2021 |

Project Status:  
**ISSUED FOR PERMIT**

Address:  
 107 LOCKHEED AVE MAPLE ONT

**Nutima Design & Project Management Inc.**  
 289-327-1311

Project No:  
**2021-69**

Drawn By:  
 Date: JULY 2021

Checked By:  
 Scale: 3/16" = 1'-0"

Dwg Title:  
**GENERAL NOTES & SCHEDULES**

Revision:  
**4**

Drawing No.:  
**A01**

The undersigned has reviewed and taken responsibility for the design and construction of the building and its components and is in compliance with the Ontario Building Code as the Designer.

QUALIFICATION INFORMATION  
of the building code.

Required under design to exempt under 3.2.4 of Division C of the Building Code.

WALTER KOSMIN, 2022P  
NAME STRUCTURE BCN

REGISTRATION INFORMATION  
of the building code.

Required under design to exempt under 3.2.4 of Division C of the Building Code.

Nutima Design & Project Management Inc. 10104K  
Firm Number 2021

- 1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2.) OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- 3.) ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- 4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE DIMENSIONS SHOWN ON THESE DRAWINGS LABELLED ISSUED FOR CONSTRUCTION.
- 5.) DO NOT SCALE THE DRAWINGS.

| Revision Schedule |                   |            |
|-------------------|-------------------|------------|
| No.               | Description       | Date       |
| 4                 | Issued for Permit | 27-07-2021 |

Project Status:  
Project **ISSUED FOR PERMIT**

Address:  
107 LOCKHEED AVE MAPLE ONT



Nutima Design & Project Management Inc.  
289-327-1311

Project No:  
2021-69

Drawn By: Author Date: JULY 2021

Checked By: Checker Scale: 1/4" = 1'-0"

Drawing No.: **A02**

Revision: **4**

**GENERAL NOTES**

**GENERAL NOTES / SPECIFICATIONS:**  
 1. THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE FULL DETAILS OF THE BUILDING OR STRUCTURE SHOWN. THEY MAY ALSO BE USED AS DOCUMENTS FOR CONSTRUCTION. ALL NOTES AND DIMENSIONS ARE SUBJECT TO CHANGE ACCORDING TO THE ARCHITECTURAL DRAWINGS, OWNER, LOCAL BUILDING OFFICIAL, APPLICABLE CODES, BUILDING REQUIREMENTS AND SITE CONDITIONS. THESE DRAWINGS ARE TO BE CHECKED BY THE CUSTOMER, OWNER AND / OR CONTRACTOR(S) INCLUDING COORDINATION OF THESE AGAINST ANY OTHER CONSTRUCTION DOCUMENTS. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO THE DESIGNER PRIOR COMMENCEMENT OF CONSTRUCTION.

2. THESE DRAWINGS ARE NOT TO BE SCALED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, ONTARIO ELECTRICAL CODE, AND ONTARIO FIRE CODE LATEST EDITIONS THEREOF.
4. THE WORK SHALL ALSO BE IN ACCORDANCE WITH ALL LOCAL CODES, AUTHORITIES HAVING JURISDICTION AND WITH ANY OWNER REQUIREMENTS NOT SPECIFICALLY COVERED.
5. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES INCLUDING SUBCONTRACTORS TO ENSURE NO CONFLICTS AND TO ENSURE EFFICIENT COMPLETION OF THE WORK.
6. EVERY ATTEMPT HAS BEEN MADE FOR COMPLETENESS HOWEVER IT IS THE CONTRACTORS' RESPONSIBILITY TO CONFIRM SITE CONDITIONS AND FIELD CONSTRUCTION.

**PROJECT GEOTECHNICAL REPORT:**  
 1.) NO GEOTECHNICAL REPORT HAS BEEN PROVIDED FOR THIS DESIGN. THE DESIGN IS BASED ON TYPICAL SOILS CONDITIONS WITHIN THE GEOGRAPHIC AREA. ASSUMED ALLOWABLE BEARING CAPACITY OF 100 kPa AS SET OUT IN OBC- B9.4.4.1.

**GENERAL REVIEW & INSPECTION:**  
 1.) A PERSON WHO INTENDS TO CONSTRUCT OR HAVE CONSTRUCTED A BUILDING, ALTERATION OR ADDITION THAT IS DESIGNED BY A "DESIGNER" SHALL ENSURE THAT THE "DESIGNER" IS RETAINED TO UNDERTAKE THE GENERAL REVIEW OF THE CONSTRUCTION OF THE BUILDING IN ACCORDANCE WITH THE PERFORMANCE STANDARDS OF THE ASSOCIATION, AS APPLICABLE AND AS SET OUT IN THE ONTARIO BUILDING CODE OBC- 2.17.4 TO DETERMINE WHETHER THE CONSTRUCTION IS IN GENERAL CONFORMITY WITH THE PLANS, SKETCHES, DRAWINGS, GRAPHIC REPRESENTATIONS, SPECIFICATIONS AND OTHER DOCUMENTS THAT ARE PREPARED BY THE "DESIGNER"; COPIES OF WRITTEN REPORTS ARISING OUT OF THE GENERAL REVIEW SHALL BE FORWARDED TO THE CHIEF BUILDING OFFICIAL BY THE DESIGNER WHO HAVE BEEN RETAINED TO UNDERTAKE THE GENERAL REVIEW OF THE CONSTRUCTION OF THE BUILDING.

- 2.) THE SIGNING CONSULTANT OR A DESIGNATED REPRESENTATIVE OF NUTIMA DESIGN & PROJECT MANAGEMENT, SHALL BE PROVIDED WITH A MINIMUM 48 HOURS NOTICE OF REQUIRED INSPECTIONS.
- 3.) INSPECTIONS BY NUTIMA DESIGN & PROJECT MANAGEMENT, ARE REQUIRED AS FOLLOWS:
  - CONCRETE FOOTING & FOUNDATION WALL INSPECTION (PRE-POUR)
  - FRAMING COMPLETION INSPECTION (PRIOR TO INSULATION AND VAPOUR BARRIER)
  - CONSTRUCTION COMPLETION



**PROJECT STATISTICS**

ADDRESS: 107 LOCKHEED AVE, MAPLE ONT

ZONING: EXISTING

LOT AREA: 547.5 m<sup>2</sup>

LOT FRONTAGE: 15 m

BUILDING HEIGHT: EX. m

AVERAGE GRADE: EX. m

ESTABLISHED GRADE: EX.

HEIGHT AT MID-POINT: EX.

HEIGHT AT HIGHEST POINT: EX.

HEIGHT AT UNDERSIDE OF EAVES: EX.

**GROSS FLOOR AREA - INFILL RESIDENTIAL**

|   | EXISTING              | PROPOSED              | TOTAL                 |
|---|-----------------------|-----------------------|-----------------------|
| GROUND FLOOR:                           | 0m <sup>2</sup>       | 0m <sup>2</sup>       | 0m <sup>2</sup>       |
| SECOND FLOOR:                           | 0m <sup>2</sup>       | 0m <sup>2</sup>       | 0m <sup>2</sup>       |
| <b>TOTAL GFA:</b>                       | <b>0m<sup>2</sup></b> | <b>0m<sup>2</sup></b> | <b>0m<sup>2</sup></b> |
| <b>LOT COVERAGE</b>                     |                       |                       |                       |
|   | EXISTING              | PROPOSED              | TOTAL                 |
| DWELLING FOOTPRINT:                     | 167 m <sup>2</sup>    | 0m <sup>2</sup>       | 167 m <sup>2</sup>    |
| PORCH(FRONT & REAR)                     | 0m <sup>2</sup>       | 0m <sup>2</sup>       | 0m <sup>2</sup>       |
| DECK (GREATER THAN 600mm/24" HEIGHT)    | 0m <sup>2</sup>       | 0m <sup>2</sup>       | 0m <sup>2</sup>       |
| OTHER (BALCONY, FLOOR PROJECTIONS ETC): | 0m <sup>2</sup>       | 33.06 m <sup>2</sup>  | 33.06 m <sup>2</sup>  |
| <b>TOTAL LOT COVERAGE:</b>              | <b>30.5%</b>          | <b>6.03%</b>          | <b>36.53%</b>         |

**SITE STATS**  
Scale: 1/4" = 1'-0"

The undersigned has prepared and later responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

QUALIFICATION INFORMATION  
Required under section 2.3.2 of Division C of the building code

DESIGNER NAME: [Signature]  
SIGNATURE: [Signature]  
DATE: 2021-07-20

REGISTRATION INFORMATION  
Required under section 2.3.2 of Division C of the Building Code

FIRM NAME: Nutluna Design & Project Management Inc. 115984  
BCVA

- THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTLUNA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- FOR CONSTRUCTION PURPOSES, USE ONLY THE DIMENSIONS SHOWN ON THESE DRAWINGS LABELLED 'ISSUED FOR CONSTRUCTION'.
- DO NOT SCALE THE DRAWINGS.

**Revision Schedule**

| No. | Description       | Date       |
|-----|-------------------|------------|
| 4   | Issued for Permit | 27-07-2021 |

Project Status:  
**PROJECT ISSUED FOR PERMIT**

Address:  
107 LOCKHEED AVE MAPLE ONT



Nutluna Design & Project Management Inc.  
289-327-1311

Project No.:  
**2021-69**

Drawn By: Author Date: JULY 2021

Checked By: Checker Scale: 1/4" = 1'-0"

Drawing No.:  
**A101**

Dwg Title: SITE STATs

Revision: 4





1.) THESE DRAWINGS MUST BE CHECKED BY THE CLIENT OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2.) OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.

3.) ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE DIMENSIONS AND DIMENSIONS LABELLED ISSUED FOR CONSTRUCTION.

5.) DO NOT SCALE THE DRAWINGS.

| Revision Schedule |                   |            |
|-------------------|-------------------|------------|
| No.               | Description       | Date       |
| 4                 | Issued for Permit | 27-07-2021 |

Project Status:  
**ISSUED FOR PERMIT**

Address:  
 107 LOCKHEED AVE MAPLE ONT



Nutima Design & Project Management Inc.  
 289-327-1311

Project No:  
 2021-69

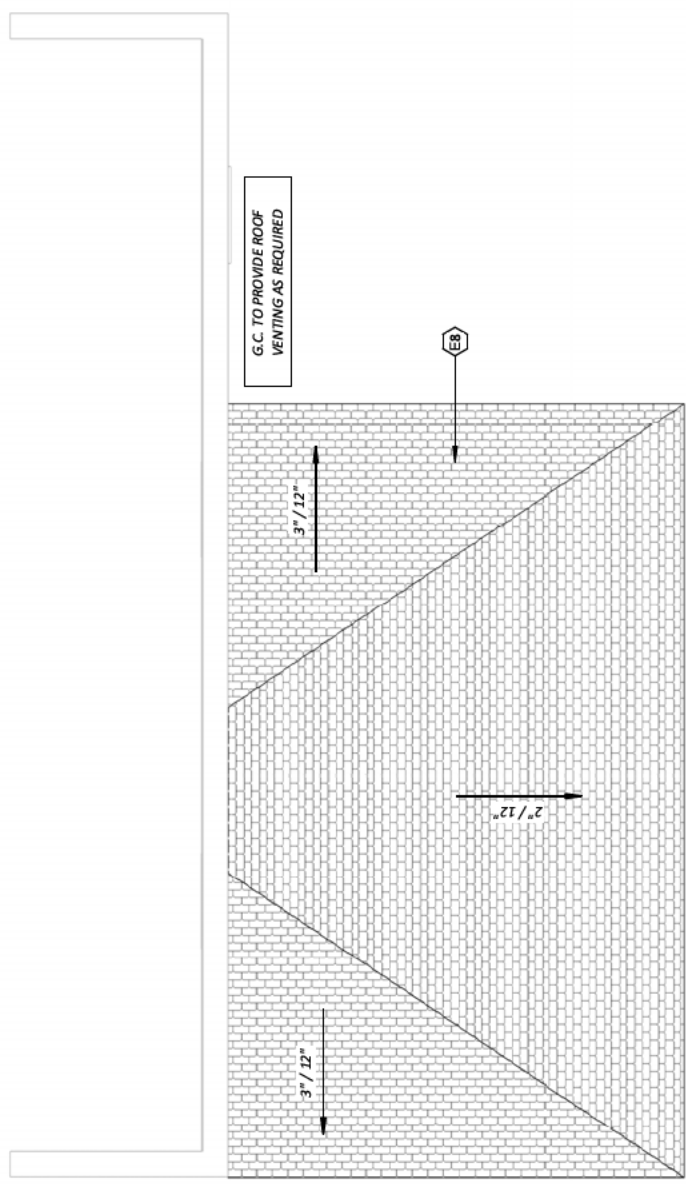
Drawn By:  
 Date: JULY 2021

Chkd By:  
 Scale: 1/4" = 1'-0"

Drawing No.:  
**A104**

Dwg Title:  
**ROOF PLAN**

Revision:  
**4**



**1** ROOF PLAN  
 Scale: 1/4" = 1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

DESIGNER INFORMATION  
 Registered Professional Designer in accordance with 1.2.2.4 of Division C of the Building Code

DESIGNER SIGNATURE: *W. H. H.*  
 NAME: W. H. H.  
 REGISTRATION NUMBER: 89035  
 REGISTRATION INFORMATION  
 Registered Professional Designer in accordance with 1.2.2.4 of Division C of the Building Code.

Nutima Design & Project Management Inc. 111844  
 FROM NAME: BLDN

1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE DIMENSIONS SHOWN ON THESE DRAWINGS LABELLED 'ISSUED FOR CONSTRUCTION'.

5.) DO NOT SCALE THE DRAWINGS.

**Revision Schedule**

| No. | Description       | Date       |
|-----|-------------------|------------|
| 4   | Issued for Permit | 27-07-2021 |

**Project Status:**  
Project **ISSUED FOR PERMIT**

**Address:**  
107 LOCKHEED AVE MAPLE ONT

**Project No.:**  
2021-69

**Drawn By:**  
Date: JULY 2021

**Chkd By:**  
Scale: 1/4" = 1'-0"

**Drawing No.:**  
A200

**Dwg Title:**  
FRONT & REAR ELEVATIONS

**Revision:**  
4

The undersigned has reviewed and takes responsibility for the accuracy and completeness of the drawings and representations set out in the Ontario Building Code to be a Designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 3.2.4 of Division C of the Building Code.

**Designer:**  
Name: *W. H. H. H.*  
Signature: *W. H. H. H.*  
Date: 2021.07.27

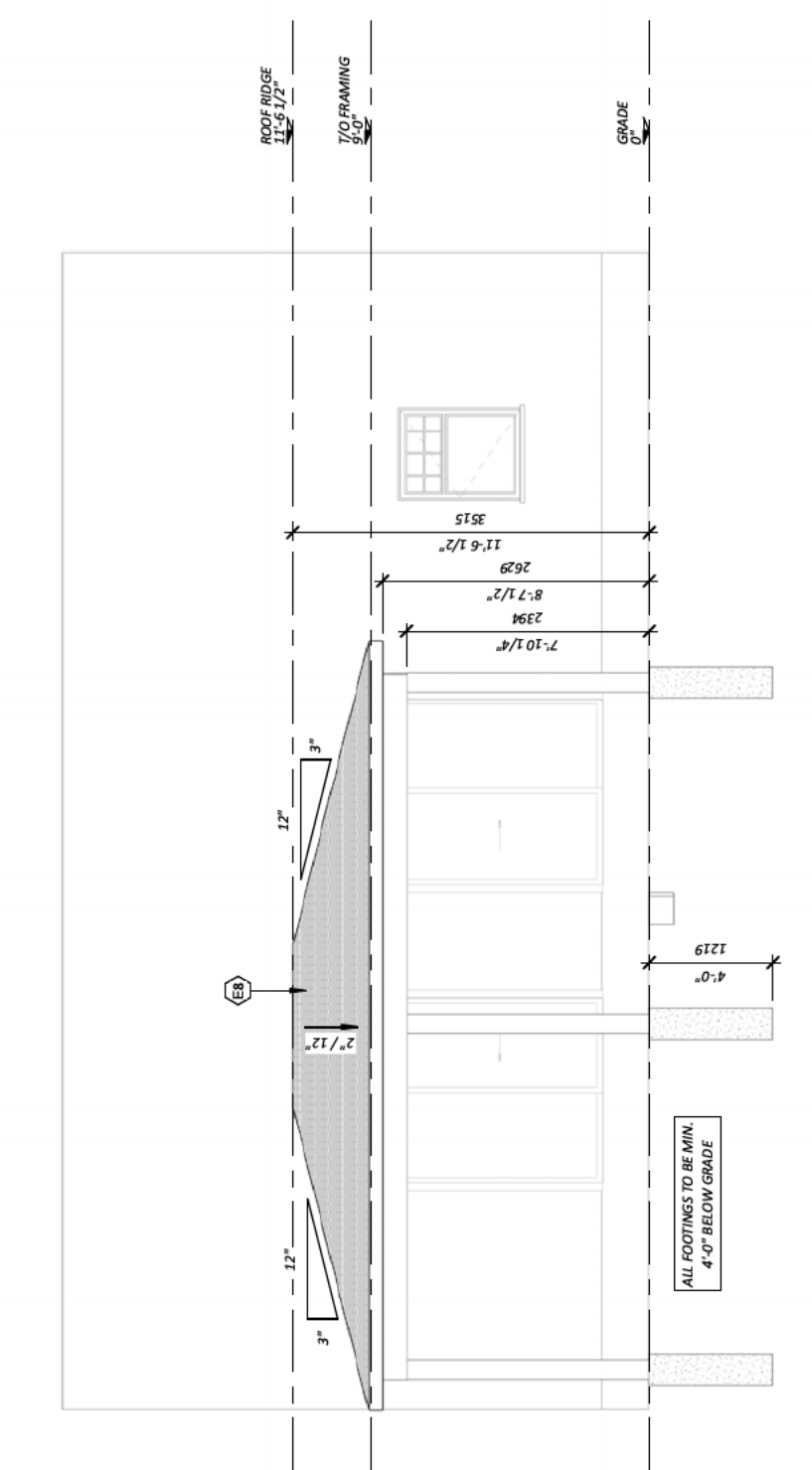
**REGISTRATION INFORMATION**  
Required unless design is exempt under 3.2.4 of Division C of the Building Code.

**Professional Engineer:**  
Name: *W. H. H. H.*  
Registration No.: 110294  
Date of Registration: 2016

**Roof Ridge:**  
11'-6 1/2"

**T/O Framing:**  
9'-0"

**Grade:**  
GRADE



**1** PROPOSED FRONT ELEVATION  
Scale: 1/4" = 1'-0"

ALL FOOTINGS TO BE MIN. 4'-0" BELOW GRADE

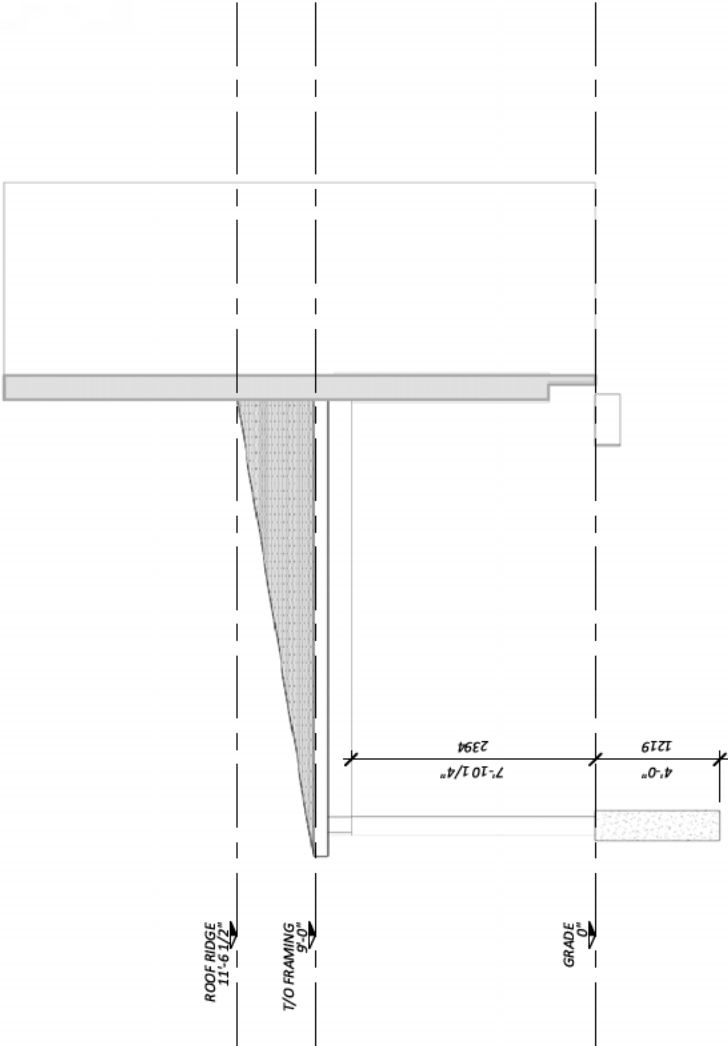


The undersigned has reviewed and under responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

CONSTRUCTION INFORMATION  
 Approved under the authority of Section 3.2.4 of Division C of the Building Code.

Designer (Print Name) **W. H. H. H.**  
 DESIGNER SIGNATURE  
 REGISTRATION INFORMATION  
 Registered Architect in Ontario under 3.2.4 of Division C of the Building Code.

Business Design & Project Management Inc. 115864  
 FIRM NAME: BCPN



1 PROPOSED RIGHT ELEVATION  
 Scale: 1/8" = 1'-0"

- 1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2.) OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- 3.) ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- 4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE DIMENSIONS SHOWN ON THESE DRAWINGS LABELLED 'ISSUED FOR CONSTRUCTION'.
- 5.) DO NOT SCALE THE DRAWINGS.

| Revision Schedule |                   |            |
|-------------------|-------------------|------------|
| No.               | Description       | Date       |
| 4                 | Issued for Permit | 27-07-2021 |

Project Status:  
**ISSUED FOR PERMIT**

Address:  
 107 LOCKHEED AVE MAPLE ONT



Nutima Design & Project Management Inc.  
 289-327-1311

Project No:  
 2021-69

Drawn By: Author Date: JULY 2021

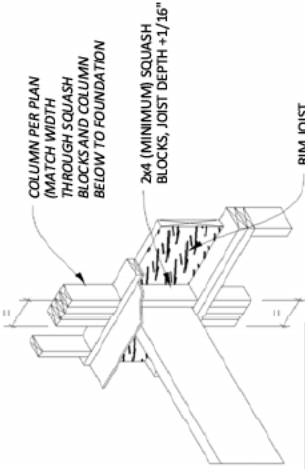
Chkd By: Checker Scale: 1/4" = 1'-0"

Drawing No.: **A202**

Revision: 4

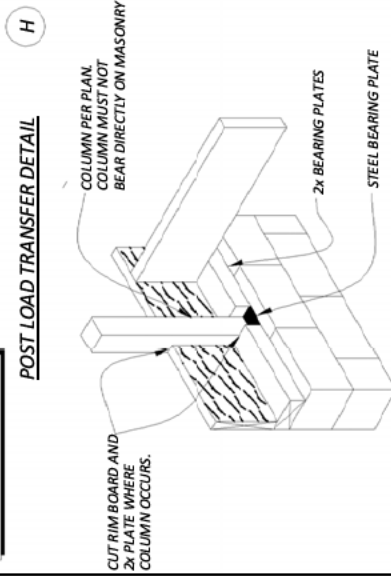


**TO BOTTOM PLATE**

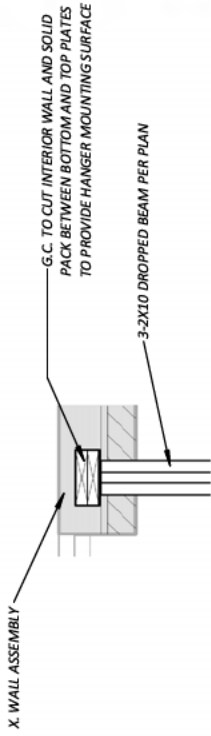
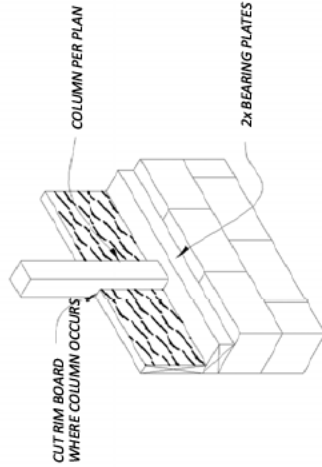


SOLID BLOCK ALL POSTS FROM ABOVE TO BEARING BELOW

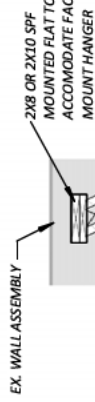
**POST LOAD TRANSFER DETAIL**



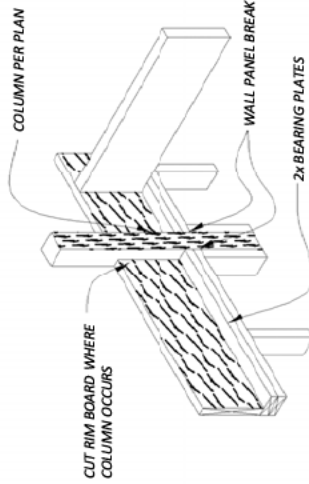
**COLUMN TO FOUNDATION**



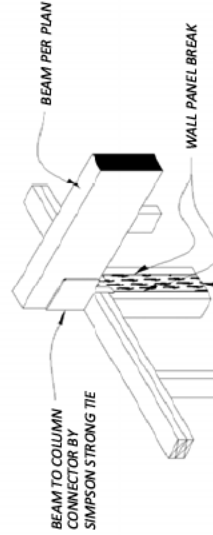
**1 RH BEAM TO EX. WALL CONNECTION**  
Scale: 3/4" = 1'-0"



**3 HIP BEAM CONNECTION**  
Scale: 1/2" = 1'-0"



**A COLUMN THROUGH FLOOR**



**C BEAM TO COLUMN CONNECTION**

- 1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2.) OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- 3.) ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- 4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE DIMENSIONS AND CONDITIONS LABELLED ISSUED FOR CONSTRUCTION.
- 5.) DO NOT SCALE THE DRAWINGS.

| Revision Schedule |                   |            |
|-------------------|-------------------|------------|
| No.               | Description       | Date       |
| 4                 | Issued for Permit | 27-07-2021 |

Project Status:  
**ISSUED FOR PERMIT**

Address:  
107 LOCKHEED AVE MAPLE ONT



Nutima Design & Project Management Inc.  
289-327-1311

Project No.:  
**2021-69**

Drawn By:  
Date: JULY 2021

Chkd By:  
Scale: As indicated

Drawing No.:  
**A300**

Dwg Title:  
**DETAILS**

Revision:  
**4**

**2 TYPICAL FRAMING DETAILS**  
Scale: 1" = 1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Building Code.

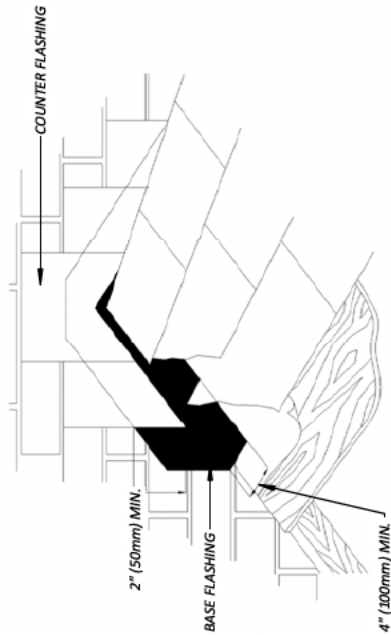
Professional seal and signature of the building code official.

Project No.: 2021-69  
 Author: S. K. [Signature]  
 Date: [Blank]

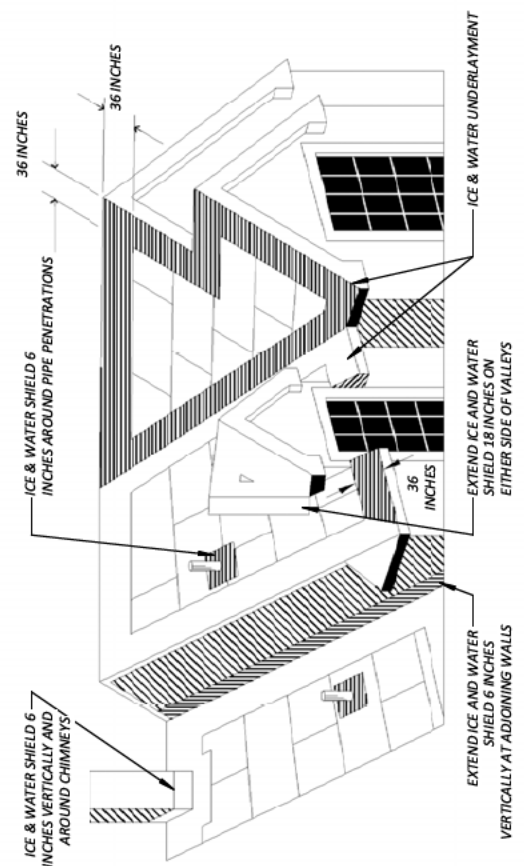
Professional seal and signature of the building code official.

Project No.: 2021-69  
 Author: S. K. [Signature]  
 Date: [Blank]

Professional seal and signature of the building code official.



**1** ROOF FLASHING  
 Scale: 3/4" = 1'-0"



**NOTE:**  
 ICE & WATER UNDERLAYMENT SHOULD BE INSTALLED AS SHOWN AT ALL ROOF EDGES, EAVES, BAKES, VALLEYS, HIPS, UNVENTILATED RIDGES, AND AROUND ALL PENETRATIONS SUCH AS CHIMNEYS AND VENT PIPES.  
 ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE LATEST EDITION THEREOF AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.

**3** Typical Eave Protection Detail  
 Scale: 3/4" = 1'-0"

- 1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2.) OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.
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- 4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE DIMENSIONS AND DIMENSIONS LABELLED ISSUED FOR CONSTRUCTION.
- 5.) DO NOT SCALE THE DRAWINGS.

| Revision Schedule |                   |            |
|-------------------|-------------------|------------|
| No.               | Description       | Date       |
| 4                 | Issued for Permit | 27-07-2021 |

Project Status:  
**ISSUED FOR PERMIT**

Address:  
 107 LOCKHEED AVE MAPLE ONT



Nutima Design & Project Management Inc.  
 289-327-1311

Project No.:  
**2021-69**

Drawn By: Author Date: JULY 2021

Checked By: Checker Scale: 3/4" = 1'-0"

Drawing No.:  
**A400**

Dwg Title:  
**TYPICAL DETAILS**

Revision:  
**4**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Checked by architect/contractor:  
Required unless design is exempt under 2.2.4 of Division C of the building code.

Checked by engineer:  
Required unless design is exempt under 2.2.4 of Division C of the building code.

Checked by project manager:  
Required unless design is exempt under 2.2.4 of Division C of the building code.

Checked by contractor:  
Required unless design is exempt under 2.2.4 of Division C of the building code.

Checked by building official:  
Required unless design is exempt under 2.2.4 of Division C of the building code.

Checked by other professional:  
Required unless design is exempt under 2.2.4 of Division C of the building code.



- 1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
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- 3.) ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- 4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE LATEST APPROVED DRAWINGS LABELLED ISSUED FOR CONSTRUCTION.
- 5.) DO NOT SCALE THE DRAWINGS.

| Revision Schedule |                   |            |
|-------------------|-------------------|------------|
| No.               | Description       | Date       |
| 4                 | Issued for Permit | 27-07-2021 |

Project Status:  
**Project ISSUED FOR PERMIT**

Address:  
107 LOCKHEED AVE MAPLE ONT



Nutima Design & Project Management Inc.  
289-327-1311

Project No:  
2021-69

Drawn By: Author Date: JULY 2021

Chkd By: Checker Scale:

Drawing No.: A500

Revision: 4

SITE PHOTOS

## **Schedule B: Public Correspondence Received**


Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Public Correspondence (no address provided) – Letter of objection

Public Correspondence (108 Lockheed Avenue) – Letter of support

Public Correspondence (113 Lockheed Avenue) – Letter of support

Public Correspondence (103 Lockheed Avenue) – Letter of support

**From:**   
**To:** [Committee of Adjustment](#)  
**Subject:** [External] Variance - 107 Lockheed Ave. Maple  
**Date:** November-29-21 9:23:01 AM

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The neighborhood has received the notice for the construction of canopy. Your document indicates an existing concrete patio. On the contrary, it was installed simultaneously prior to canopy construction during the same period in 2021.

This construction has been going on for months as early as May 2021. It was a disruption for the entire neighborhood, with concrete dust and a disregard for any preventative measures to minimize and the concrete soot from all of the cars and windows. There was no end to this.

As for the canopy, we recommend to conform to the By-law requirement and decline the proposal to ensure the safety, sunlight and view of the adjacent neighbors.

Thank you.



**Pravina Attwala**

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**Subject:** FW: A233/21 (107 Lockheed Avenue) - Public Correspondence

-----Original Message-----

From: joey giannasca [REDACTED]  
Sent: Friday, November 26, 2021 12:45 PM  
To: Committee of Adjustment <CofA@vaughan.ca>  
Subject: [External] A233/21

Mario Giannasca 108 Lockheed Ave, Maple, ON L6A 1X5. I'm ok with the wood cover over patio at 107 Lockheed ave Maple Ontario.

**Pravina Attwala**

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**Subject:** FW: A233/21

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**From:** Eric Marsden [Redacted]  
**Sent:** November-30-21 11:01 AM  
**To:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] A233/21

To Whom it May Concern,

We are aware of the minor variance for the wood covered canopy at our neighbour's home located at 107 Lockheed and have no concerns about its construction.

Our names are Eric Marsden and Vongdeuan Chaleunsouk  
Our Address: 113 Lockheed Avenue

In health,

Eric and Von

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

**Pravina Attwala**

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**Subject:** FW: Public Correspondence - A233/21

**Importance:** High

-----Original Message-----

From: Gabriel Del Casale [REDACTED]  
Sent: Monday, November 29, 2021 8:44 PM  
To: Committee of Adjustment <CofA@vaughan.ca>  
Subject: [External] A233/21

We are the home owners of 103 Lockheed Ave, Maple, ON L6A 1X9 Gabriel Del Casale and Rosemary Mastrocola have no objections to the completion of the covered patio at 107 Lockheed. We are perfectly fine with the minor variance. We hope to see the project completed.

Gabriel and Rosemary  
[REDACTED]

## **Schedule C: Development Planning & Agency Comments**

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

### **Development Planning Comments**

**Alectra (Formerly PowerStream) – No concerns or objections**

**Region of York – No concerns or objections**

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** December 8, 2021  
**Name of Owner:** Paolo and Maria Cugliari  
**Location:** 107 Lockheed Avenue  
**File No.(s):** A233/21

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**Proposed Variance(s):**

1. To permit a minimum rear yard setback of 7.66 m.
2. To permit a minimum interior side yard of 0.95 m.

**By-Law Requirement(s):**

1. A minimum rear yard setback of 9.0 m is required. (Schedule T-36)
2. A minimum interior side yard setback of 1.2 m is required. (Schedule T-36)

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting permission to maintain a partially constructed attached rear canopy with the above noted variances.

The Development Planning Department has no objection to the variance, as the rear yard setback of 7.66 m does not pose a visual or drainage impact onto abutting properties, and the canopy is considered non-livable area and complies with the maximum height requirements of the By-law. Development Planning staff acknowledges that the interior side yard setback of 0.95 m is caused by the canopy remaining flush with a north-east corner of the dwelling that projects inward (closer to interior lot line), thereby, recognizing an existing deficiency.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Roberto Simbana, Planner I  
Chris Cosentino, Senior Planner



**Date:** November 9<sup>th</sup> , 2021

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A233-21**

**Related Files:**

**Applicant** Paolo Cugliari

**Location** 107 Lockheed Avenue



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### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Pravina Attwala

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**Subject:** FW: A233/21 (107 LOCKHEED AVENUE) - REQUEST FOR COMMENTS

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** November-15-21 10:42 AM

**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A233/21 (107 LOCKHEED AVENUE) - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst mcip rpp** | Community Planning and Development Services | The Regional Municipality of York | 1-877  
464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)