

File: A216/21

Applicant: Dino & Nancy Teofilo

Address: 15 Naylor St Maple

Agent: Michael Grisch

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning		
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

APPLICATION TO BE ADJOURNED TO JANUARY 20, 2021

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Wednesday, December 8, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance
Application

Agenda Item: 13

A216/21

Ward: 1

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Wednesday, December 8, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Dino & Nancy Teofilo

Agent: Michael Grisch

Property: 15 Naylor St Maple

Zoning: The subject lands are zoned R1V - Old Village Residential and subject to the provisions of By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, and By-law 01-2021 is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from the By-Law to accommodate the above proposal:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under **Zoning By-law 01-2021**.

#	Zoning By-law 01-2021	Variance requested
1	The minimum required front yard shall be 9.02 metres. [4.5 3.b]	To permit a minimum proposed front yard of 8.80 metres . *variance confirmed by zoning waiver
2	The minimum required interior side yard is 4.9 metres at the west side, and 4.51 metres at the east side. [4.5 2]	To permit a proposed minimum interior side yard of 1.50 metres at the west side, and 1.50 metres at the east side. *variance confirmed by zoning waiver
3	Eaves are permitted to encroach into a required yard a maximum of 0.5 metres. [4.13, Table 4-1]	To permit the proposed eaves to encroach into the required yards a maximum of 0.56 metres.

The subject lands are zoned R1V – Old Village Residential and subject to the provisions of **Zoning By-law 1-88**, as amended.

	Zoning By-law 1-88	Variance requested
4	The minimum required front yard is 9.92 metres. [4.1.9, Schedule A, Note 11]	To permit a minimum front yard of 8.80 metres . *variance confirmed by zoning waiver
5	The maximum permitted building height is 9.5 metres. [4.1.9, Schedule A]	To permit a maximum building height of 9.63 metres . *variance confirmed by zoning waiver

Zoning By-law 1-88		Variance requested
6	The maximum permitted lot coverage is 23%. [4.1.9, Schedule A]	To permit a maximum lot coverage of 27.26%. (24.50% dwelling/garage; 0.48%front portico; 0.29% front stoop; 1.99% rear porch) *variance confirmed by zoning waiver
7	Eaves are permitted to encroach into a required yard a maximum of 0.5 metres. [3.14 a)]	To permit the proposed eaves to encroach into the required yards a maximum of 0.56 metres.
8	LOFT - Means the finished portion of a building between the roof and the ceiling of the top storey, located inside the sloping roof where the maximum floor area does not exceed 25% or 70m2, whichever is the lesser, of the floor below. [2.0 Definitions]	To permit the finished portion of the building between the roof and the ceiling of the top storey to be located under a flat roof, and to permit a maximum floor area of 115.85 square metres or 41.68% of the floor below. *variance confirmed by zoning waiver
9	The maximum lot coverage may be increased to 23% provided that the maximum building height does not exceed one storey and 7.0m. [Schedule A, Note 16]	To permit the maximum lot coverage to be increased to 23% provided that the maximum building height does not exceed one storey and 9.63m . *variance confirmed by zoning waiver

Background (previous applications approved by the Committee on the subject land):N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on November 25, 2021

Applicant confirmed posting of signage on November 24, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1965 (Purchased 2020)

Applicant has advised that they cannot comply with By-law for the following reason(s): Due to the shape of the dwelling we cannot comply to the maximum lot coverage.in order to meet the clients' needs for the use of the loft space we cannot comply with the maximum loft area percentage. Due to the style of the eaves and the overhang we cannot comply to the eaves maximum encroachment into the side yards. In order to comply with trca restrictions we had to push the house forward reducing the front yard setback. In order to make the roof work and the shape of the roof we cannot comply with maximum building height

Committee of Adjustment recommended conditions of approval:

Adjournment Request / File Review History:

Scenario 1 (Adjournment/applicant does not address staff comments):

The applicant was provided an opportunity to adjourn the application prior to the issuance of public notice to permit time to address design comments from Development Planning/Urban Design.

The applicant submitted a revised application and Zoning Waiver Form (to address Development Planning comments) to proceed to the December 8, 2021 Committee of Adjustment hearing.

On November 30, 2021, Zoning provided revised identifying additional variances.

The application requires adjournment in order to facilitate statutory public notice for the additional variances identified through the zoning review process.

The applicant is required to submit an Adjournment Fee prior to the rescheduling of this application.

Building Standards (Zoning Review):

There are no outstanding Orders on file.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Building Standards Recommended conditions of approval:

Building Inspections (Septic):

No comments received to date

Development Planning:

Application under review

Development Engineering:

As the proposed dwelling in the subject property is 277.97 m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The proposed work by the owner is increasing the lot coverage in the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff requires the owner/applicant to introduce Low impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Please provide DE with a LID brief explaining the measures taken prior to clearing the condition.

The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert. Please visit https://www.vaughan.ca/services/residential/transportation/roads/culvert_installation/Pages/default.aspx for more information.

The Development Engineering (DE) Department does not object to variance application A216/21 subject to the following condition(s):

1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.
2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20% to 31.56% in order to mitigate potential impacts on the municipal storm water system.

Parks Development - Horticulture:

No comments no concerns.

By-Law and Compliance, Licensing and Permit Services:

No comments no concerns.

Development Finance:

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Fire Department:
No comments received to date

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Applicant Correspondence – Justification letter

Schedule C - Development Planning & Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections
TRCA – comments with conditions

Schedule D - Previous Approvals (Notice of Decision)
None

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required:

	Department/Agency	Condition
1	Committee of Adjustment Christine Vigneault 905-832-8585 x 8332 christine.vigneault@vaughan.ca	Applicant to provide payment of Adjournment Fee (see Fee Schedule) prior to the rescheduling of Application A216/21 , if required.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Planning Roberto Simbana 905-832-8585 x 8810 roberto.simbana@vaughan.ca	Application under review
2	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval. 2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20% to 27.36% in order to mitigate potential impacts on the municipal storm water system.
3	TRCA Hamedeh Razavi	1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

	Department/Agency	Condition
	416-661-6600 x 5256 hamedeh.razavi@trca.ca	2. The applicant successfully obtains a permit pursuant to Ontario Regulation 166/06 from TRCA for the proposed works.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

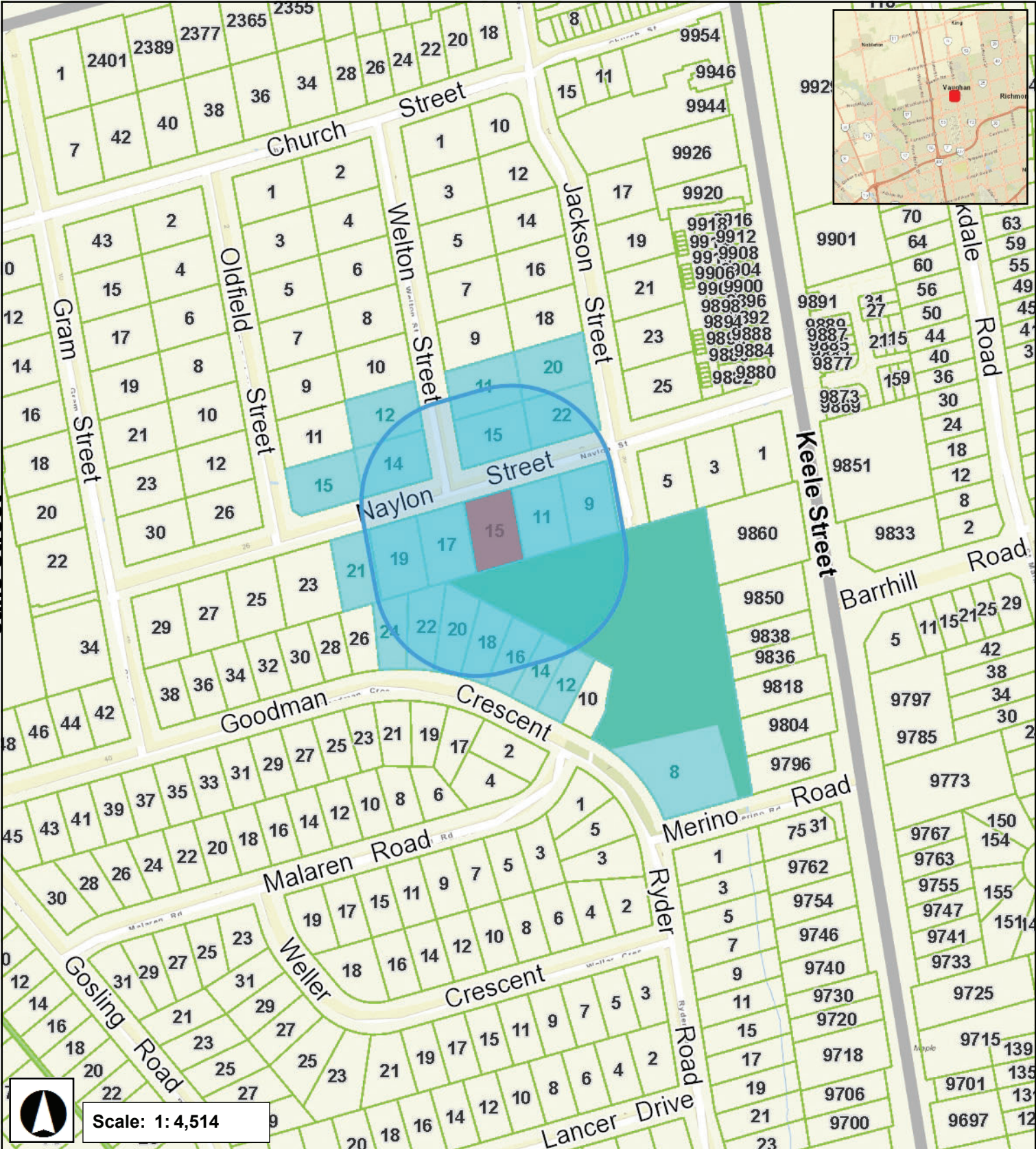
Location Map
Plans & Sketches



LOCATION MAP A216/21

15 NAYLON STREET, MAPLE

Major Mackenzie Drive



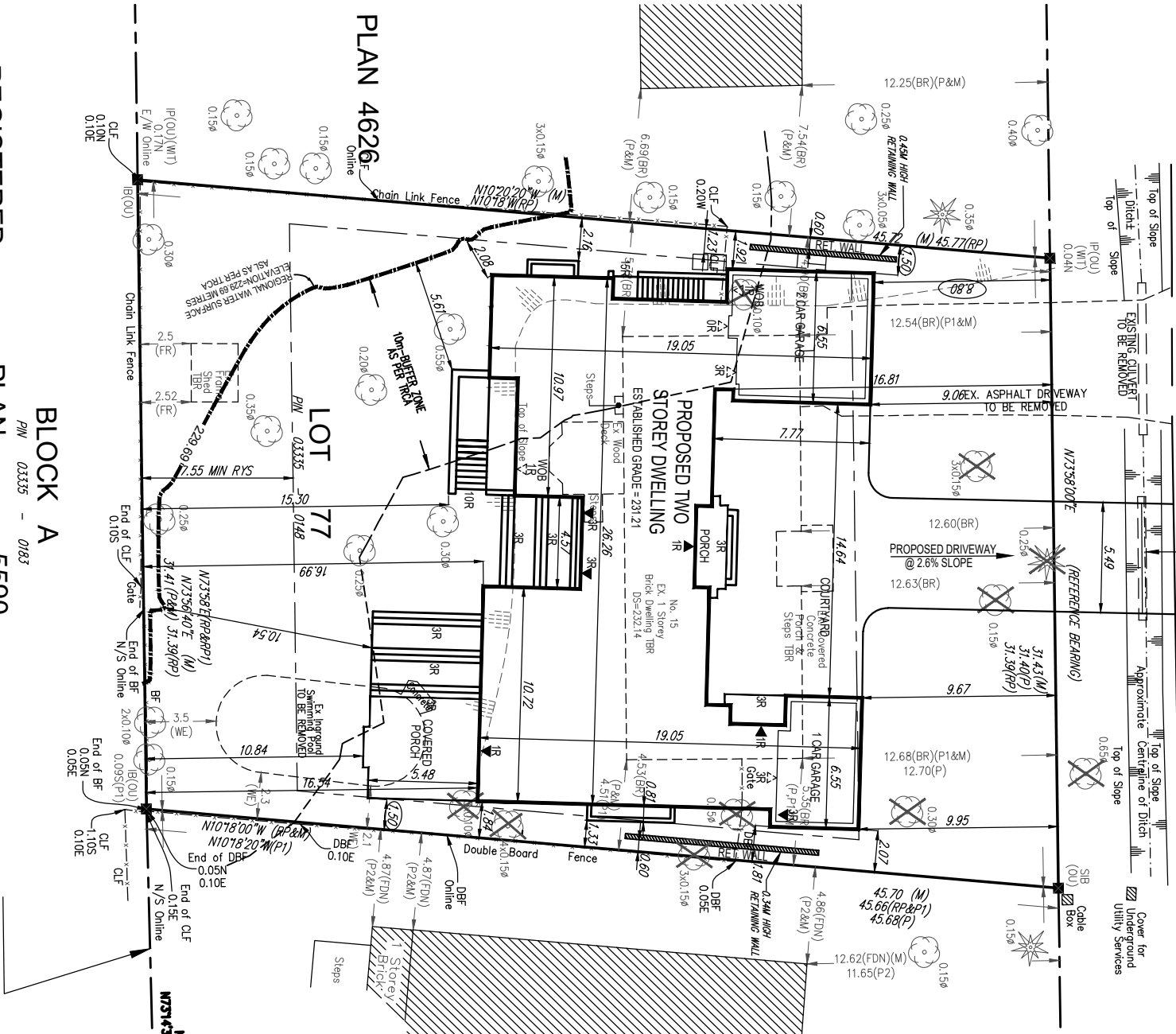
Rutherford Road

October 27, 2021 12:10 PM

A216/21

LOT 77 - 15 NAYLON STREET

PIN 03335 - 0141
(BY REGISTERED PLAN 4626)



RECEIVED
By *RECEIVED* at 4:14 pm, Nov 29, 2021

By RECEIVED at 4:14 pm, Nov 29, 2021

REGISTERED

BLOCK A
PIN 03335 - 0183
PLAN 5590

ZONING			
SITE DATA	BY-LAW 1-88	BY-LAW 001-2021	PROPOSED
ZONE	R1V	R1E (EN)	
LOT FRONTAGE	30 M	30 M	31.40 M
LOT AREA	845 M ²	845 M ²	1429.17 M ²
FRONT YARD SETBACK	9.92 M	9.02 M	8.80 M (GARAGE) 16.81 M (HOUSE)
SIDE YARD SETBACK	1.50 M	4.90 M	1.50 M
	1.50 M	4.51 M	1.50 M
REAR YARD SETBACK	7.50 M	7.50 M	16.54 M (HOUSE) 10.84 M (PORCH)
GROUND FLOOR AREA	N/A	N/A	277.97 M ²
LOFT AREA PERCENTAGE OF GROUND FLOOR AREA	23% (69.77 M ²)	N/A	41.66% (115.85 M ²)
GROSS FLOOR AREA	N/A	N/A	393.81 M ²
LOT COVERAGE	23% (328.71 M ²)	20% (285.83 M ²)	24.50% (350.15 M ²)
NOT INCL. PORCH			27.26% (389.63 M ²)
LOT COVERAGE INCL. PORCHES	23% (328.71 M ²)	20% (285.83 M ²)	4.30% (61.41 M ²)
ROOF OVERHANG			31.56% (451.04 M ²)
TOTAL COVERAGE	N/A	20% (285.83 M ²)	
BLDG. HEIGHT TO PEAK			
BLDG HEIGHT TO MIDPOINT	9.00 M	8.50 M	9.63 M
EAVE PROJECTION	7.00M (LOFT)	0.50 M	0.56 M
FRONT YARD AREA			295.68 M ²
DRIVEWAY AREA			52.24 M ²
FRONT YARD SOFT LANDSCAPING	60% (177.41 M ²)	60% (177.41 M ²)	295.68-52.24 = 243.44 M ² (82.33%)
REAR YARD AREA			520.00-15 = 385.00 M ²
LANDSCAPED STEPS AREA			41.59 M ²
REAR YARD SOFT LANDSCAPING	60% (231.00 M ²)	60% (231.00 M ²)	520.00-41.59 = 478.41 M ² (100%)

15 NAYLON STREET,
CITY OF VAUGHAN

Sheet Title: SITE PLAN

Drawn by:	MG	Date:	09/16/21
Project No:	20-38	Page:	1 OF 1
Scale:	1:300		

20 RIVERMEDE ROAD, UNIT 101, VAUGHAN, ONTARIO, L4K 3N3
PHONE: (416) 663-0111; FAX: 1 (866) 602-1163; WWW.IANROBERTSONDESIGN.CA

IAN ROBERTSON DESIGN

LOT 77 - 15 NAYLON STREET

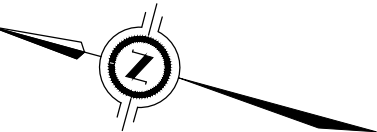
LOT COVERAGE = 27.36%

(24.63% dwelling; 0.48% front portico; 0.25% front stoop; 2.00% rear porch)

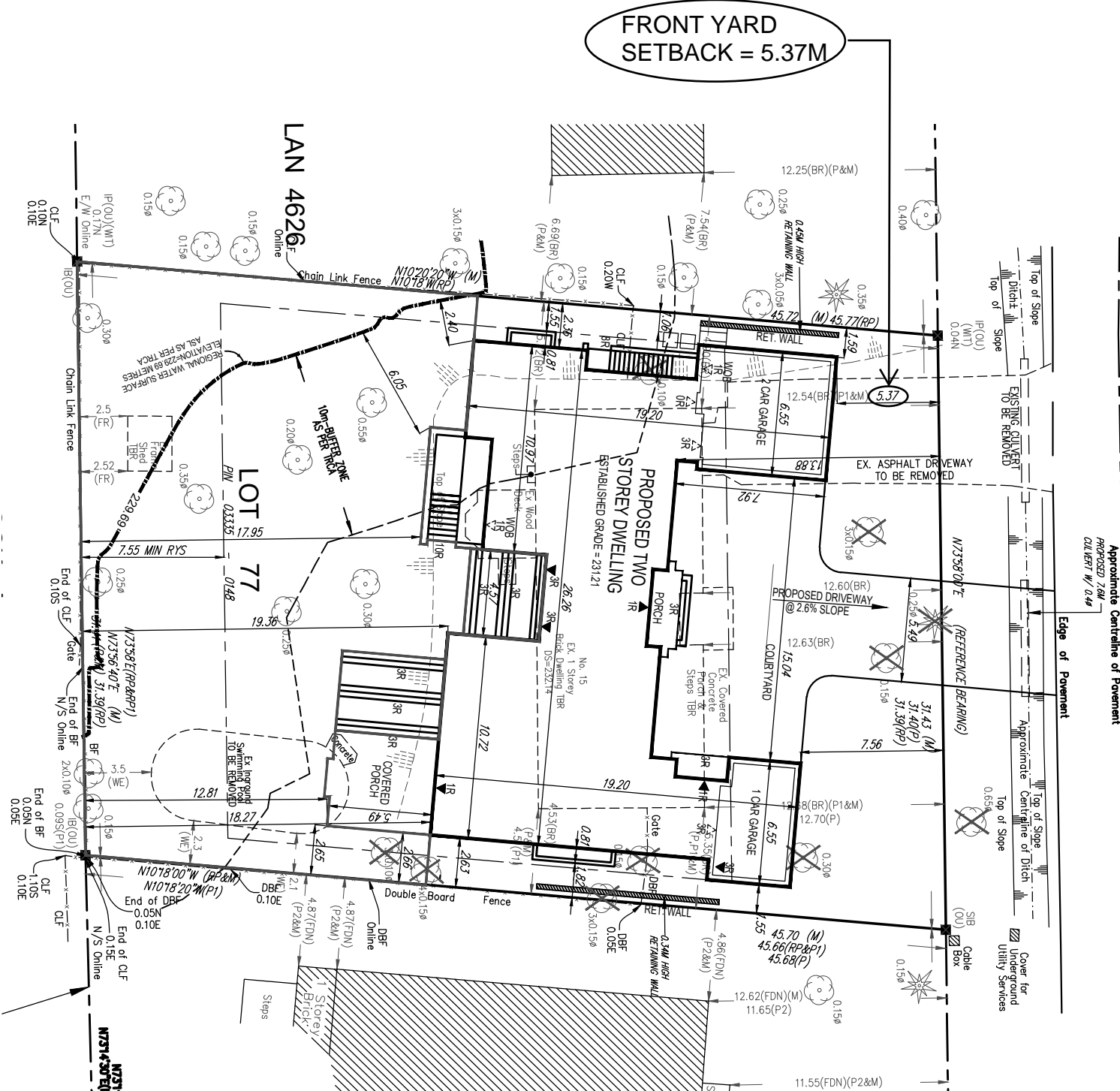
NAYLON STREET

PN 0335 - 0141
(BY REGISTERED PLAN 4626)

Site Benchmark
Top of Monhole
Elevation=230.89



FRONT YARD
SETBACK = 5.37M



ZONING		BY-LAW 1-88	PROPOSED
SITE DATA		R1V	
ZONE		30 M	31.40 M
LOT FRONTAGE		84.5 M2	1,229.17 M2
LOT AREA		11.29 M	5.37 M (GARAGE)
FRONT YARD SETBACK		1.50 M	13.88 M (HOUSE)
SIDE YARD SETBACK		1.50 M	1.55 M
REAR YARD SETBACK		7.50 M	12.25 M (HOUSE)
GROUND FLOOR AREA		N/A	8.79 M (PORCH)
GROSS FLOOR AREA		N/A	279.08 M2
LOT COVERAGE		20% (285.83 M2)	24.63% (352.00 M2)
NOT INCL. PORCH			
LOT COVERAGE OF PORCH (ES)			2.73% (38.94 M2)
TOTAL COVERAGE		20% (285.83 M2)	27.36% (390.94 M2)
BUDG HEIGHT TO PEAK		9.50 M	11.24 M
BUDG HEIGHT TO MIDPOINT		9.50 M	N/A
ACCESSORY BLDG HEIGHT		4.50 M	N/A
EAVE PROJECTION		0.50 M	0.56 M
FRONT YARD AREA			213.34 M2
DRIVEWAY AREA			37.98 M2
FRONT YARD SOFT LANDSCAPING		60% (128.00 M2)	213.34 - 37.98 = 175.36 M2 (82.19%)
REAR YARD AREA			597.90-135 = 462.90 M2
LANDSCAPED STEPS AREA			41.59 M2
REAR YARD SOFT LANDSCAPING		60% (277.74 M2)	556.31 M2 (100%)

OWNER: DINO TEOFILO

LOT: LOT 77

ADDRESS: 15 NAYLON STREET, CITY OF VAUGHAN

SHEET NO: 1 OF 1

SCALE: 1:300

DATE: 20-38

BY: MG

PROJECT NO: 1:300

DATE: 09/16/21

PAGE: 1 OF 1

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By RECEIVED at 3:47 pm, Oct 13, 2021

LOT 77 - 15 NAYLON STREET



11.24M

Client:	DINO TEOFILO
Lot:	LOT 77
Address:	15 NAYLON STREET, CITY OF VAUGHAN
Sheet Name:	FRONT ELEVATION
Drawn by:	MG
Project No.:	20-38
Scale:	3/32" = 1'-0"
Date:	09/16/21
Page:	5 OF 8

LOT 77 - 15 NAYLON STREET

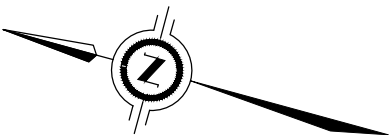
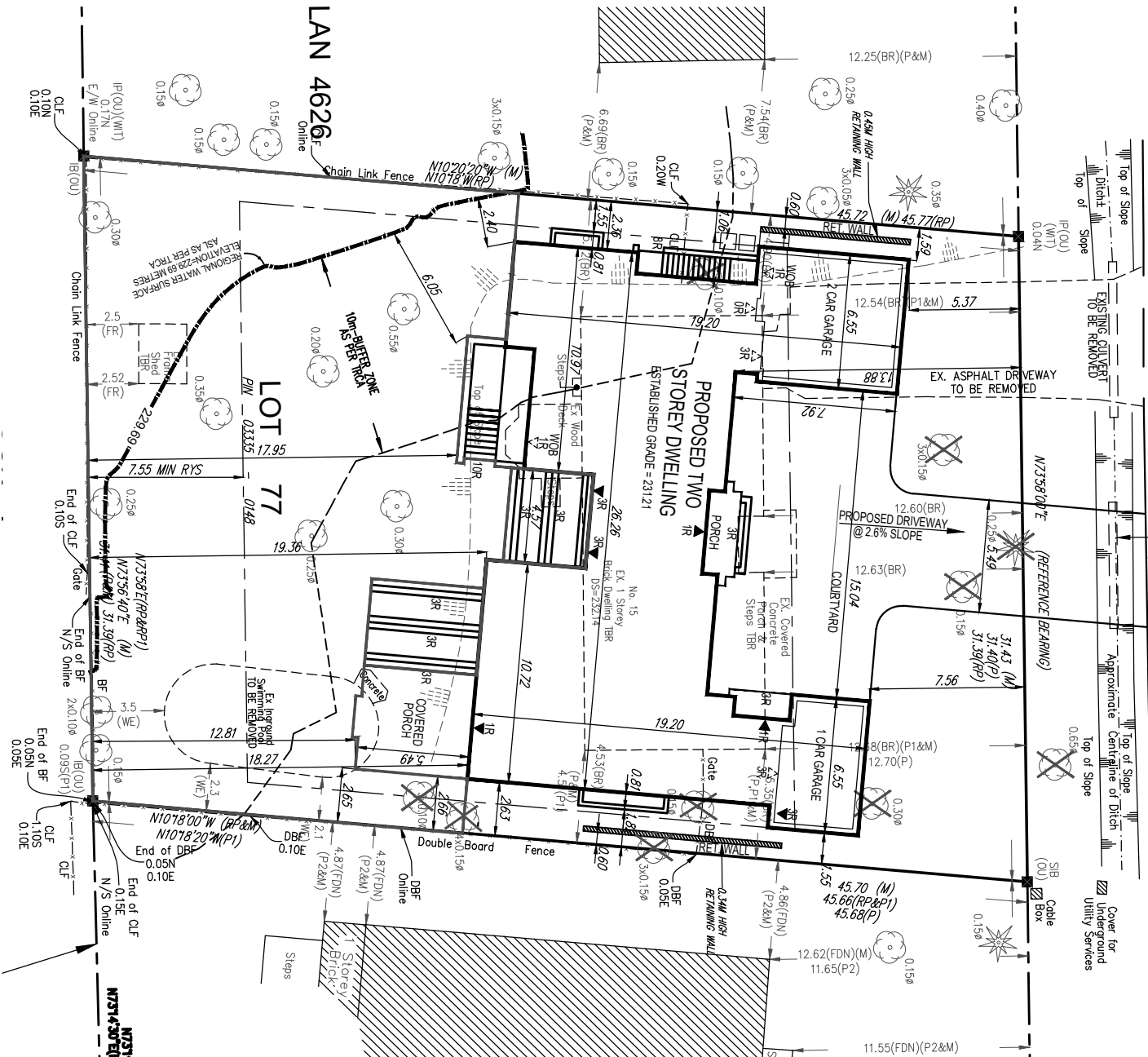
NAYLON STREET

PN 0335 - 0141
(BY REGISTERED PLAN 4626)

Site Benchmark
Top of Monhole
Elevation=230.89

Approximate Centreline of Pavement
PROPOSED 7.6M
COLLECT W/ 0.44

Edge of Pavement



ZONING		BY-LAW 1-88	PROPOSED
SITE DATA		R1V	
ZONE		30 M	31.40 M
LOT FRONTAGE		84.5 M2	1,229.17 M2
LOT AREA		11.29 M	5.37 M (GARAGE) 13.88 M (HOUSE)
FRONT YARD SETBACK		1.50 M	1.55 M
REAR YARD SETBACK		1.50 M	1.59 M
GROUND FLOOR AREA		7.50 M	12.25 M (HOUSE) 8.79 M (PORCH)
GROSS FLOOR AREA		N/A	279.08 M2
LOT COVERAGE		N/A	400.32 M2
NOT INCL. PORCH		20% (285.83 M2)	21.63% (352.00 M2)
LOT COVERAGE OF PORCH (ES)			2.73% (38.94 M2)
TOTAL COVERAGE		20% (285.83 M2)	27.36% (390.94 M2)
BUDG HEIGHT TO PEAK		9.50 M	11.24 M
BUDG HEIGHT TO MIDPOINT		9.50 M	N/A
ACCESSORY BLDG HEIGHT		4.50 M	N/A
EAVE PROJECTION		0.50 M	0.56 M
FRONT YARD AREA			213.34 M2
DRIVEWAY AREA			37.98 M2
FRONT YARD SOFT LANDSCAPING		60% (128.00 M2)	213.34 - 37.98 = 175.36 M2 (82.19%)
REAR YARD AREA			597.90-135 = 462.90 M2
LANDSCAPED STEPS AREA			41.59 M2
REAR YARD SOFT LANDSCAPING		60% (277.74 M2)	556.31 M2 (100%)

DINO TEOFILO	
LOT 77	
15 NAYLON STREET, CITY OF VAUGHAN	
SITE PLAN	
Drawn By: MG	Date: 09/16/21
Checked By: 20-38	Page: 1 OF 1
Scale: 1:300	

RECEIVED

By RECEIVED at 9:35 am, Oct 26, 2021



© COPYRIGHT
PEARSON & PEARSON SURVEYING LTD. 2021

Ontario Land Surveyors

Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Part 2

DESCRIPTION OF LAND: LOT 77, REGISTERED PLAN 4626, CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK.

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY: NO REGISTERED EASEMENTS OR RIGHTS OF WAY ON TITLE.

BOUNDARY FEATURES: NOTE ALL FENCES, SHED AND INGROUND SWIMMING POOL IN RELATION TO THE BOUNDARY.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS: THIS PLAN DOES NOT CERTIFY ZONING COMPLIANCE OR IDENTIFY WHAT ZONING RESTRICTIONS ARE INVOLVED.

THIS REPORT WAS PREPARED FOR BOBBY-JO MACKINNON AND THE UNDERSIGNED ACCEPTS. NO RESPONSIBILITY FOR USE BY OTHER PARTIES. ADDITIONAL REMARKS: NONE.

Bearing Note

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF NAYLON STREET SHOWN ON REGISTERED PLAN 4626 AS HAVING A BEARING OF N73°58'00"E.

Benchmark

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN BENCHMARK. ELEVATION = 229.168m

Legend

■	DENOTES	SURVEY MONUMENT FOUND
SIB	DENOTES	STANDARD IRON BAR
IP	DENOTES	IRON PIPE
IB	DENOTES	IRON BAR
WIT	DENOTES	WITNESS
OU	DENOTES	ORIGIN UNKNOWN
S	DENOTES	SET
M	DENOTES	MEASURED
N/S/E/W	DENOTES	NORTH/SOUTH/EAST/WEST
RP	DENOTES	REGISTERED PLAN 4626
RP1	DENOTES	REGISTERED PLAN 5590
P	DENOTES	PLAN OF SURVEY BY YATES AND YATES, O.L.S., DATED JULY 15, 1965.
P1	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY GUIDO PAPA SURVEYING LTD., O.L.S., DATED OCTOBER 7, 2011.
P2	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY GUIDO PAPA SURVEYING LTD., O.L.S., DATED JUNE 15, 2012.
GP	DENOTES	GUIDO PAPA SURVEYING LTD., O.L.S.
TOC	DENOTES	TOP OF CULVERT ELEVATION
BOC	DENOTES	BOTTOM OF CULVERT ELEVATION
DBF	DENOTES	DOUBLE BOARD FENCE
BF	DENOTES	BOARD FENCE
CLF	DENOTES	CHAIN LINK FENCE
FDN	DENOTES	TIES TO CONCRETE FOUNDATION
ST	DENOTES	TIES TO STONE
FR	DENOTES	TIES TO FRAME
OH-W	DENOTES	OVERHEAD WIRES
MH	DENOTES	MANHOLE
Ø	DENOTES	DIAMETER (ROUND)
DS	DENOTES	DOOR SILL ELEVATION
DENOTES	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
DENOTES	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER
DENOTES	DENOTES	THE REGIONAL WATER SURFACE ELEVATION AT 229.69 METRES ASL

Surveyor's Certificate

- I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY'S ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 16TH DAY OF APRIL, 2021.

April 16, 2021
Date

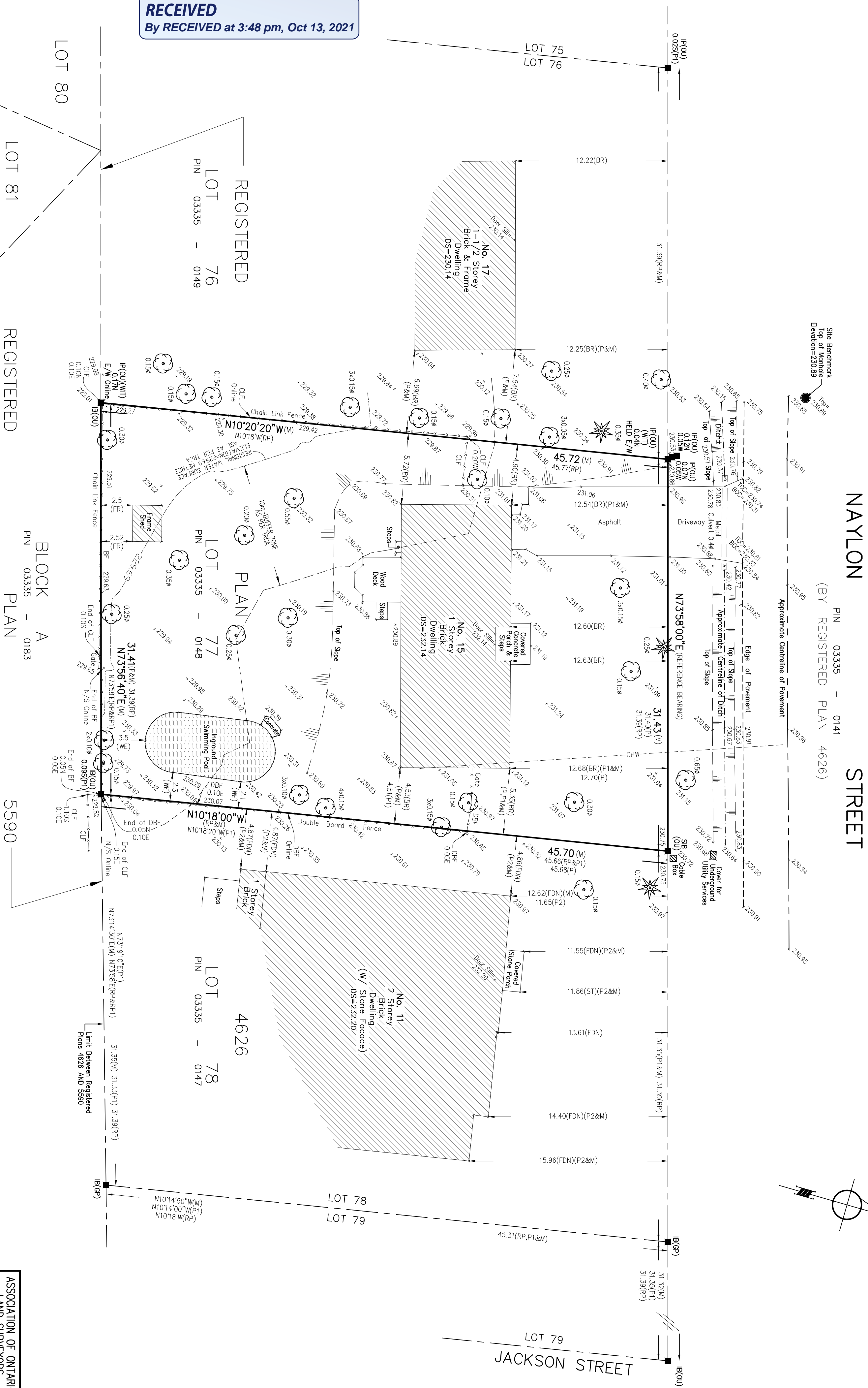
Michèle Pearson
Ontario Land Surveyor

10933 JANE STREET, SECOND FLOOR, MAPLE
ONTARIO, L6A 1S1
O: (416) 533-5453
E: mich@pearsonandpearson.com
mich@pearsonandpearson.com

P&P PEARSON+
SURVEYING LTD.
PROJECT : 2104

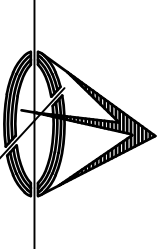
DRAWING : 2104-NoyanStreets15-SRRD-WG | CHECKED BY MP/JM
CALC. BY JM | DRAWN BY TM/JM

RECEIVED
By RECEIVED at 3:48 pm, Oct 13, 2021



Note
TREE CALIPERS ARE NOT TO ARBORIST STANDARDS AND FOR ARBORIST CALIPER REFER TO ARBORIST REPORT.

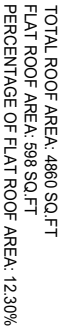
Revision Note
PLAN UPDATED AUGUST 5, 2021 TO ADD THE REGIONAL WATER SURFACE ELEVATION AT 229.69 METRES ASL AND 10 METRES BUFFER AS PER TORONTO AND REGION CONSERVATION AUTHORITY (TRCA).



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2168116

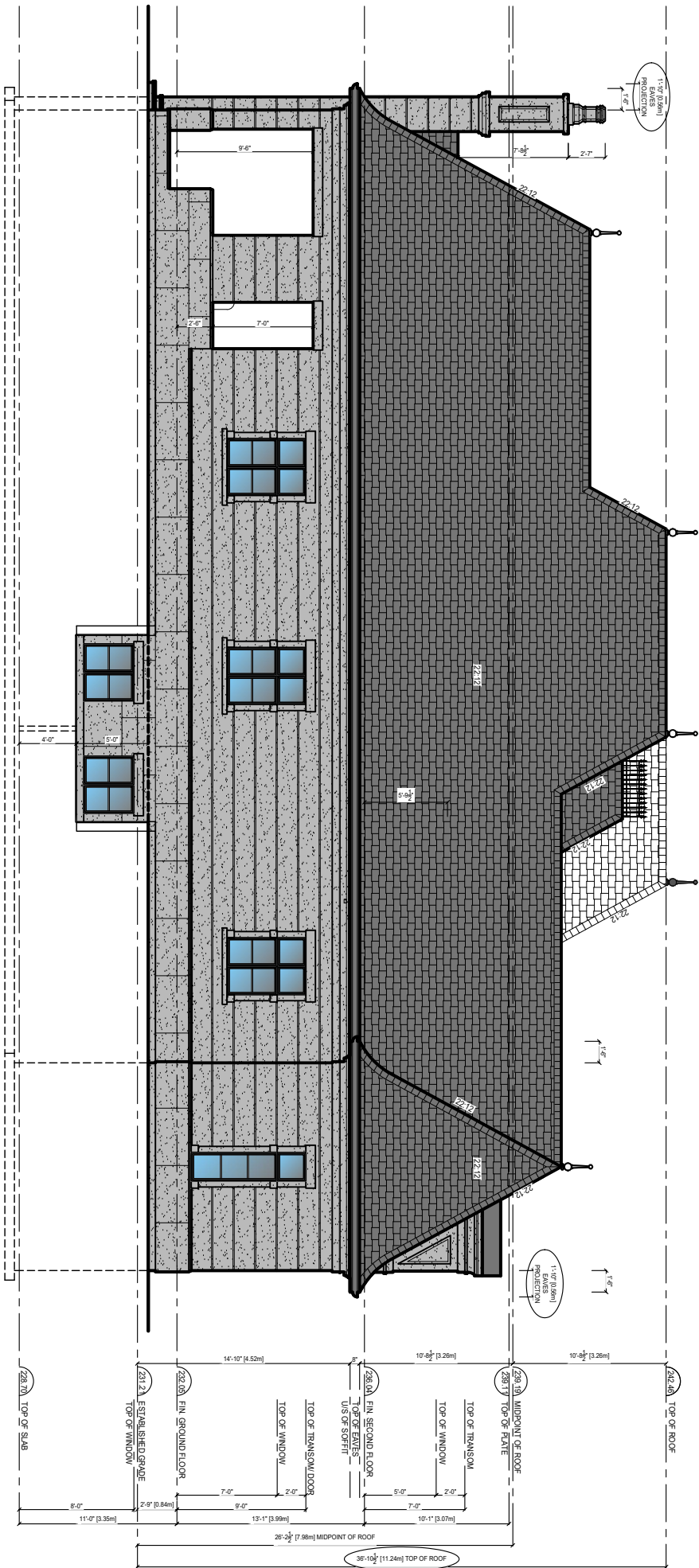
THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR.
Information from this plan
is void under the
Regulation 1026, Section 29(3)

LOT 77 - 15 NAYLON STREET



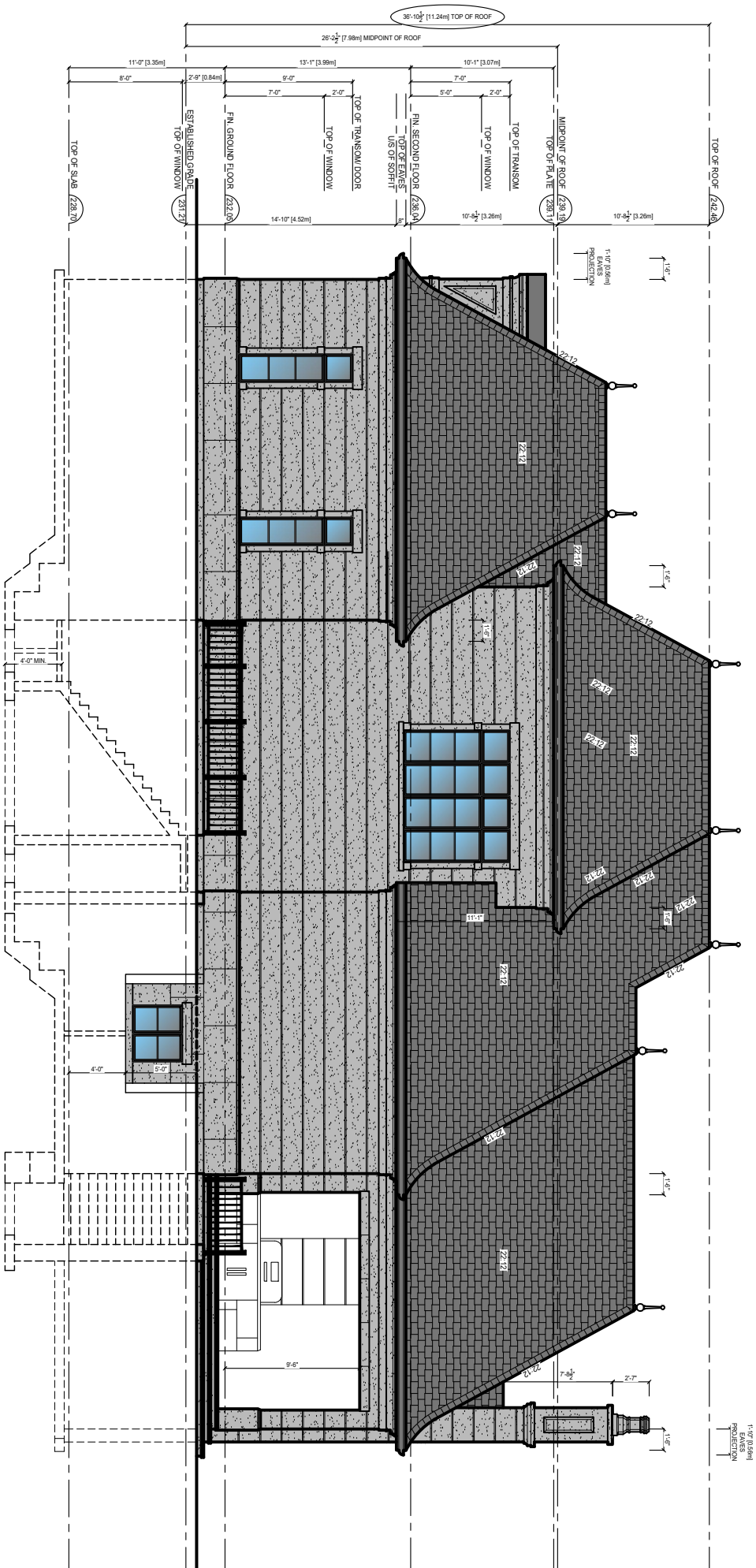
Sheet Title:		DINO TEOFILO	
Lot:		LOT 77	
Address:		15 NAYLON STREET, CITY OF VAUGHAN	
Drawn by:		Date: 09/16/21	
Project No:		Project Name:	
Scale:		4 OF 8	

LOT 77 - 15 NAYLON STREET



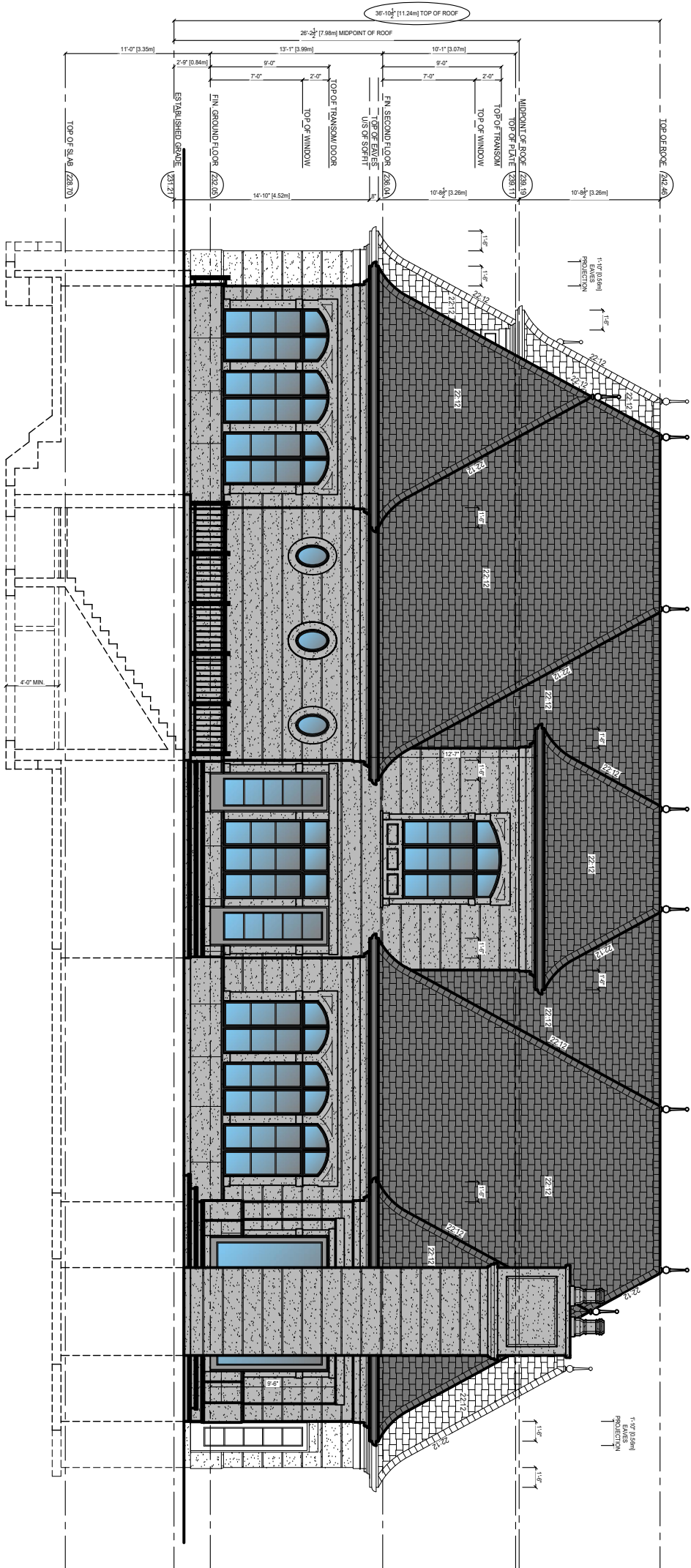
Client: DINO TEOFILO		Date: 09/16/21		
Lot: LOT 77		Page: 6 OF 8		
Address: 15 NAYLON STREET, CITY OF VAUGHAN				
Project Name: LEFT SIDE ELEVATION				
Drawn by: MG	Project No: 20-38			
Scale: 3/32" = 1'-0"				

LOT 77 - 15 NAYLON STREET



Client:	DINO TEOFILO		
Unit:	LOT 77		
Address:	15 NAYLON STREET, CITY OF VAUGHAN		
Sheet Name:	RIGHT SIDE ELEVATION		
Drawn by:	MG	Date:	09/16/21
Project No:	20-38	Page:	7 OF 8
Scale:	3/32" = 1'-0"		

LOT 77 - 15 NAYLON STREET



Client:	DINO TEOFILO		
Lot:	LOT 77		
Address:	15 NAYLON STREET, CITY OF VAUGHAN		
Street Name:	REAR ELEVATION		
Drawn by:	MG	Date:	09/16/21
Project No:	20-38	Page:	8 OF 8
Scale:	3/32" = 1'-0"		

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Applicant Correspondence – Justification letter

October 12, 2021

Building Standards Department
City of Vaughan
2141 Major Mackenzie Drive
L6A 1T1

Attn: Garrett Dvernichuk
Minor Variance File # A216/21
Re: 15 Naylon Street

To Whom It May Concern,

The use of this lot is to be a single family detached dwelling and a secondary suite is not being proposed.

Sincerely,



Dino Teofilo & Nancy Teofilo

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- TRCA – comments with conditions

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Senior Manager of Development Planning

Date: December 8, 2021

Name of Owner: Dino and Nancy Teofilo

Location: 15 Naylor Street

File No.(s): A216/21

Proposed Variance(s) (By-law 01-2021):

- 1) To permit a minimum front yard of 8.80 m.
- 2) To permit a proposed minimum interior side yard of 1.50 m at the west side, and 1.50 m at the east side.
- 3) To permit the proposed eaves to encroach into the required yards a maximum of 0.56 m.

By-Law Requirement(s) (By-law 01-2021):

- 1) The minimum required front yard shall be 9.02 m. [4.5.3 b]
- 2) The minimum required interior side yard is 4.9 m at the west side, and 4.51 m at the east side. [4.5.2]
- 3) Eaves are permitted to encroach into the required yard a maximum of 0.5 m. [4.13, Table 4-1]

Proposed Variance(s) (By-law 1-88):

- 4) To permit a minimum front yard of 8.80 m.
- 5) To permit a maximum building height of 9.63 m.
- 6) To permit a maximum lot coverage of 27.26%.
- 7) To permit the proposed eaves to encroach into the required yards a maximum of 0.56 m.
- 8) To permit the finished portion of the building between the roof and the ceiling of the top storey to be located under a flat roof, and to permit a maximum floor area of 115.85 m² or 41.68% of the floor below.
- 9) To permit the maximum lot coverage to be increased to 23% provided that the maximum building height does not exceed one storey and 11.45 m.

By-law Requirement(s) (By-law 1-88):

- 4) The minimum required front yard is 9.92 m. [4.1.9, Schedule A, Note 11]
- 5) The maximum permitted building height is 9.5 m. [4.1.9, Schedule A]
- 6) The maximum permitted lot coverage is 23%. [4.1.9, Schedule A]
- 7) Eaves are permitted to encroach into a required yard a maximum of 0.5 m. [3.14 a)]
- 8) LOFT – Means the finished portion of a building between the roof and the ceiling of the top storey, located inside the sloping roof where the maximum floor does not exceed 25 % or 70 m², whichever is the lesser, of the floor below. [2.0 Definitions]
- 9) The maximum lot coverage may be increased to 23% provided that the maximum building height does not exceed one storey and 7.0 m. [Schedule A, Note 16]

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments: Additional Variances Identified not reviewed as part of these comments.

The Owner is requesting permission to construct a one-storey single family dwelling with a loft component in an established large-lot neighbourhood.

Acknowledging the proposal has been reviewed under the still in-effect By-law 1-88 and recently enacted (October 20, 2021) comprehensive By-law 01-2021, Development Planning staff recognize Variances 1/4 and 3/7 require the same relief.

At the request of the Development Planning Department the Owner has increased the front yard setback from 5.37 m to 8.80m, decreased the maximum building height from 11.24 m to 9.63 m, and reduced the maximum lot coverage from 27.36% to 27.26% to ensure the built form of the dwelling remains compatible with other newly built dwellings

in the immediate neighbourhood. As currently proposed, Variances 1, 3, 4, and 7 reflect minor changes which continue to maintain the intent of both By-laws and will not adversely impact the adjoining lots. Additionally, a minimum interior side yard setback of 1.50 m (Variance 2) is appropriate in this site context, as newly constructed 1 and 2-storey dwellings maintain similar interior side yard setbacks. In terms of maximum building height (Variance 5) and lot coverage (Variance 6), the increases are reasonable and consistent to other approved one-storey dwellings in the area. The one-storey dwelling (with garage) occupies 24.50% of the maximum lot coverage, which is appropriate for a 1-storey dwelling, while the remaining 2.76% lot coverage is associated with the proposed covered front porch which is considered non-livable area. Lastly, Variances 8 and 9 are associated to the 'Loft' area of this dwelling which exceeds what is currently permitted in By-law 1-88. The maximum floor area 115.85 m² (41.68%) will be fully enclosed within the peaked roof portion of the dwelling and will not physically or visually impact the streetscape. The Urban Design Division of the Development Planning Department has reviewed the revised material dated November 24, 2021 and has no further concerns.

The Development Planning Department is of the opinion that the requested Variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-law, and are desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

None

Comments Prepared by:

Roberto Simbana, Planner I

Chris Cosentino, Senior Planner

Date: October 18th , 2021

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A216-21**

Related Files:

Applicant DINO TEOFILO, NANCY TEOFILO

Location 15 NAYLON STREET

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

November 17, 2021

CFN 64195.32

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault, Secretary Treasurer
Committee of Adjustment, City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Ms. Vigneault:

Re: Minor Variance Application A216.21
15 Naylor Street, PLAN RP4626 Lot 77
City of Vaughan, Region of York
Owner: Dino Teofilo, Nancy Teofilo
Agent: Michael Grisch

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on October 18, 2021, and revised materials were received by TRCA on November 17, 2021. TRCA staff has reviewed the above noted application, and as per the "Living City Policies for Planning and Development within the Watersheds of the TRCA" (LCP), provides the following comments as part of TRCA's commenting role under the *Planning Act*; the Authority's delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA's Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

Background

It is our understanding that the purpose of the above noted application is to facilitate the construction of a two-storey single family dwelling replacing the existing one-storey dwelling. The variances requested by the proponent include:

1. The minimum proposed front yard is 6.0 metres.
2. The maximum proposed building height is 10.32 metres.
3. The maximum proposed lot coverage is 27.36%.
4. The proposed eaves encroach into the required yards a maximum of 0.56 metres.

Ontario Regulation 166/06

The subject property is partially located within TRCA's regulated area due to the presence of a floodplain associated with a tributary of the Don River on the southwest of the site. In accordance with *Ontario Regulation 166/06 (Regulation of Development, interference with Wetlands and Alterations to Shorelines and Watercourses)*, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

As noted above, a portion of the subject property is located within TRCA's Regulated Area due to the floodplain. The Regional water surface elevation reaches 229.69 metre above sea level (masl) at the subject location. TRCA policies require a minimum 10 metre setback to the flood plain for any new development. TRCA staff recognize that achieving the required setback is not feasible at the subject property and the proponent has demonstrated best effort to avoid the hazard by proposing a variance to the minimum required front yard.

Based on the above, TRCA staff do not have any objections to the currently proposed variances. However, the proposed development will result in removing a mature tree at the rear yard (i.e., tree #11). TRCA considers accepting the proposed removal as long as enhancement to the existing natural features is provided. TRCA will work with the applicant through the TRCA permit application to ensure the enhancement is achieved. Appendix 'A' includes a list of required materials that must be submitted to TRCA to facilitate the permit application.

Fees

By copy of this letter, the applicant is advised that the application is subject to a \$610.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendation

Based on the above, TRCA staff have **no objection** to the approval of Minor Variance Application A216.21, subject to the following condition:

1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.
2. The applicant successfully obtains a permit pursuant to Ontario Regulation 166/06 from TRCA for the proposed works.

TRCA trusts these comments are of assistance. Should you have any questions, please contact the undersigned at extension 5256 or at Hamedeh.Razavi@trca.ca

Sincerely,



Hamedeh Razavi
Planner I
Development Planning and Permits
HR/mh

TRCA Permit Application Requirements

In order to initiate TRCA permit application process, the following materials at the minimum would need to be submitted to our office via Hamedeh.Razavi@trca.ca:

1. Complete Application for Development, Interference with Wetlands & Alterations to Shorelines & Watercourses.

2. The following plans/drawings:

- Site plan showing location and dimension of all proposed works, the updated flood line and the buffer between the proposed works and the flood line.
- Grading Plan, if no changes in grading is proposed, please add a note to the site plan indicating the same.
- Planting Plan. The planting should be located along the south and west of the property. The goal of the planting should be to expand and enhance the Natural System. It should include:
 - Native trees, shrubs and ground cover.
 - Details should include species, density (shrubs 1m o/c and trees 3m o/c), planting method, type of material (e.g. burlapped), etc.
 - For seed mixes, please provide species, % composition and seeding method.
 - Species should be native to TRCA's jurisdiction and compatible with adjacent forest. For native species within TRCA jurisdiction, please see species ranked L1 to L5 on the following table: https://s3-ca-central-1.amazonaws.com/trcaca/app/uploads/2019/07/08142613/2019_Flora_Ranks_Scores.pdf
- Erosion and Sediment Control Plan.

3. The legal survey of the subject property; and,

4. Permit Review fee of \$920.00 (Works on Private Residential Property – Standard)

Pravina Attwala

Subject: FW: A216/21 (15 NAYLON STREET) REQUEST FOR COMMENTS

From: Wong, Tiffany <Tiffany.Wong@york.ca>
Sent: November-01-21 12:21 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Subject: [External] RE: A216/21 (15 NAYLON STREET) REQUEST FOR COMMENTS

Hello Pravina,
The Regional Municipality of York has completed its review of the above minor variance and provide the following comment:

1. York Region’s Water Resources department would like to note the proximity of the development to an identified area of concern due to known high water table conditions and confined artesian aquifer conditions, which could have geotechnical implications with respect to construction activities including, but not limited to, dewatering (short-term or long-term), foundation construction, and building stability.

Thank you,

Tiffany Wong, B.E.S. | Planner, Development Planning
Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | tiffany.wong@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence

