



File: A197/21

Applicant: Lisa & Anthony Bianchi

Address: 31 Basilica Dr Woodbridge

Agent: TenHouse Building Workshop

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday , November 18, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance Application

Agenda Item: 8

A197/21

Ward: 3

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday , November 18, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Lisa & Anthony Bianchi

Agent: TenHouse Building Workshop

Property: **31 Basilica Dr Woodbridge**

Zoning: The subject lands are zoned RV3(WS) and subject to the provisions of Exception 9(1024) under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana to be located in the rear yard

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A minimum rear yard setback of 6.0m is required. (Schedule A1)	To permit a minimum rear yard setback of 0.68m to the proposed Accessory Structure (Cabana).

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on November 3, 2021

Applicant confirmed posting of signage on October 27, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2006 (Purchased 2018)

Applicant has advised that they cannot comply with By-law for the following reason(s):
Existing pool location limits new accessory structure location.

Committee of Adjustment recommended conditions of approval: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

Building Permit No. 21-117254 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No comments received to date

Development Planning:

Please see Schedule C for Development Planning comments/conditions.

Development Engineering:

As the proposed cabana in the subject property is 26.75 m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A197/21 subject to the following condition(s):

The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures and include the measures in the lot grading drawing to the satisfaction of DE to mitigate the impacts of additional storm runoff. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

Parks Development - Forestry:

No comments or concerns

By-Law and Compliance, Licensing and Permit Services:

No comments received to date

Development Finance:

No comment no concerns

Fire Department:

No comments received to date

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None

Schedule C - Development Planning & Agency Comments

Development Planning Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: N/A

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures and include the measures in the lot grading drawing to the satisfaction of DE to mitigate the impacts of additional storm runoff. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

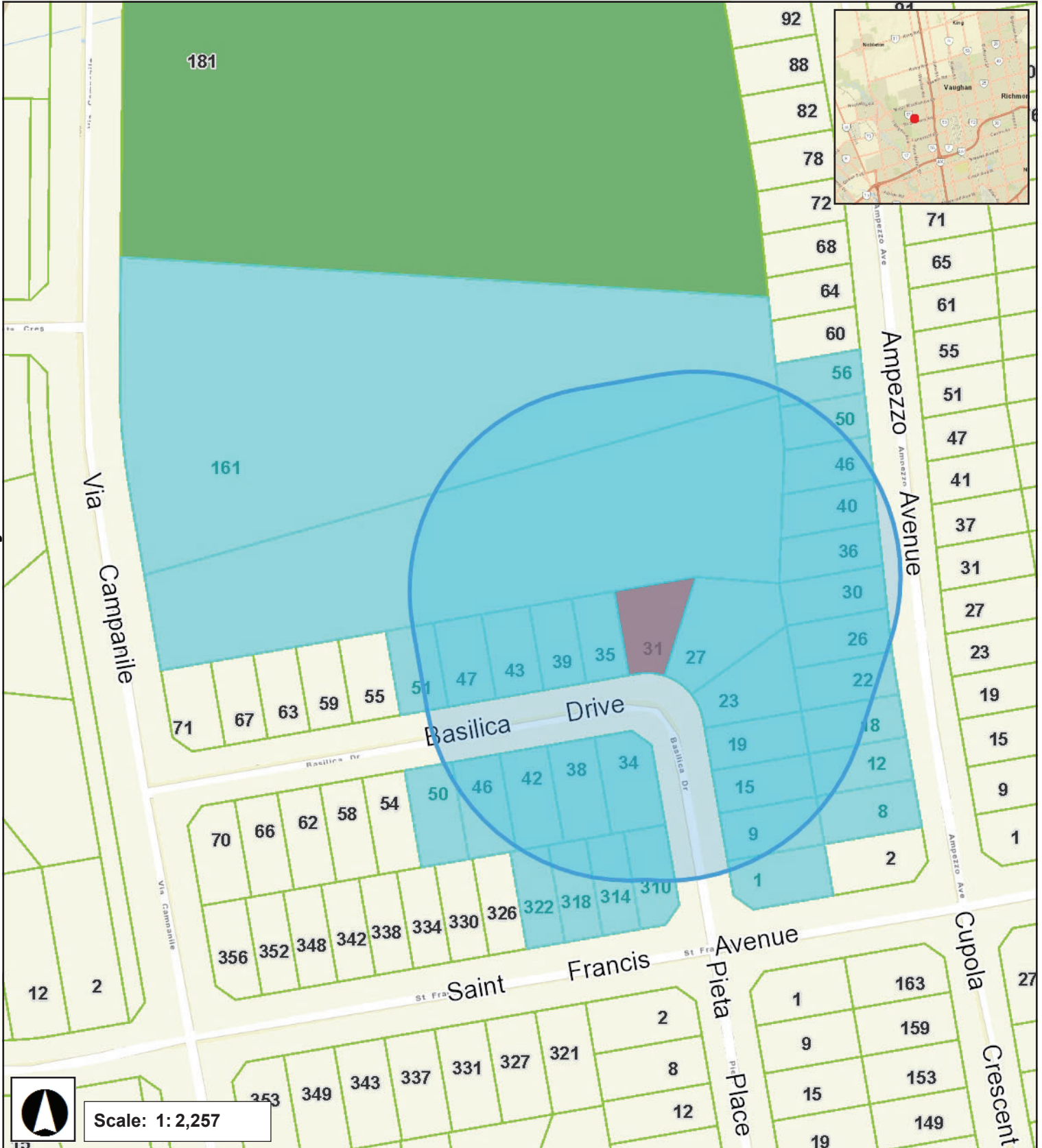
**Location Map
Plans & Sketches**




LOCATION MAP A197/21

31 BASILICA DRIVE, WOODBRIDGE

Major Mackenzie Drive



 Scale: 1:2,257

Rutherford Road



1
AREA MAP
SK-1 NTS

- PROJECT DESCRIPTION:**
- THESE DRAWINGS OUTLINE A NEW ACCESSORY STRUCTURE AT **31 BASILICA DRIVE, VAUGHAN, ON.**
 - THERE ARE NO CHANGES TO THE EXISTING BUILDING OR SITE CONDITIONS UNLESS OTHERWISE NOTED ON THE SITE PLAN.
 - EXISTING SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED. MINIMUM 24" AROUND PROPERTY LINE TO REMAIN UNCHANGED - GRADES TO MATCH.
- PROJECT NOTES:**
- ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT O.B.C. AND THE ONTARIO CONSTRUCTION SAFETY ACT.
 - CONTRACTOR TAKE NECESSARY PRECAUTIONS TO COMPLY WITH LOCAL SAFETY AUTHORITIES HAVING JURISDICTION (I.E. OCCUPATIONAL HEALTH AND SAFETY ACT).
 - CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE FROM DRAWINGS.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBORING PROPERTIES.
 - ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED AND MARKED. ANY DAMAGED OR DISTURBED UTILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTORS EXPENSE.
 - SAFEGUARD ALL EXISTING STRUCTURES, SERVICES, AND ADJACENT PROPERTY AFFECTED BY THE CONSTRUCTION.
 - ALL CONCRETE WORK, INCLUDING FORMING, REINFORCING, PREPARATION, MIXING, PLACING, CURING AND FINISHING SHALL CONFORM TO CSA CAN 3-A23.1-M90 (M94).

- ALL MASONRY WORK TO BE DONE IN ACCORDANCE WITH CAN3-5304-M90.
- IF THERE ARE ANY DEVIATIONS NOTED FROM WHAT IS DEPICTED ON THESE DRAWINGS, THE CONTRACTOR IS TO NOTIFY TENHOUSE BUILDING WORKSHOP AND SEEK INSTRUCTION BEFORE PROCEEDING.
- DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH CSA S350-M1990(R2003) AND MINISTRY OF LABOUR REQUIREMENTS.
- IF REQUIRED, CONTRACTOR IS TO PROVIDE SUPPORTS OR SHORING WHERE NECESSARY, BEFORE ANY CLEANUP, DEMOLITION, OR REPAIR ACTIVITIES.
- ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED.
- ALL DIMENSION LUMBER TO BE SPRUCE, PINE, FIR (SPF) NO. 1 OR NO. 2 GRADE.
- THE CONTRACTOR SHALL SEEK FURTHER DIRECTION, IF REQUIRED, REGARDING DETAILS OR MATERIAL SELECTION. TENHOUSE BUILDING WORKSHOP DOES NOT TAKE RESPONSIBILITY FOR DETAILS NOT INCLUDED IN THESE DRAWINGS.
- ALL SPECIFICATIONS AND MATERIALS PROPOSED BY ENGINEERS SHALL BE USED IN PLACE OF SPECIFICATIONS AND MATERIALS IDENTIFIED IN THE CONSTRUCTION NOTES.
- ALL MANUFACTURED ITEMS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS. SUBMIT ALL INSTALLATION INSTRUCTIONS TO OWNER UPON COMPLETION OF JOB.
- ALL HAZARDOUS MATERIALS TO BE IDENTIFIED BY THE CONTRACTOR AND PROPERLY DISPOSED OF.
- ALL WORK AND TRADES SHALL BE COORDINATED BY THE GENERAL CONTRACTOR TO ENSURE ALL WORK IS COMPLETED TO THE HIGHEST LEVEL OF STANDARD.
- GENERAL CONTRACTOR IS RESPONSIBLE OF OBTAIN ALL NECESSARY AND REQUIRED INSPECTIONS.
- ALL MATERIALS TO BE NEW AND FREE OF DEFECTS.



2
31 BASILICA DRIVE
SK-1 NTS

ABBREVIATIONS:	
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
BSE	BEAM BY STRUCTURAL ENGINEER
BM	BEAM
CLG	CEILING
CRE	CONVENTIONAL ROOF FRAMING
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CW	COMPLETE WITH
DEMO	DEMOLISH
DIM	DIMENSION
DJ	DOUBLE JOIST
DN	DOWN
DO	DO OVER
DR	DOOR
DROP	DROPPED
DS	DOWNSPOUT
DWG	DRAWING
EACH	EACH
EIRS	EXTERIOR INSULATED FINISH SYSTEM
ELEV	ELEVATION
ENG	ENCLOSED
ENG	ENGINEER OR ENGINEERED
EQ	EQUAL
EST	ESTIMATED
EXT	EXTERIOR
FD	FLOOR DRAIN
FG	FIXED GLASS
FL	FLUSH
FLR	FLOOR
GALV	GALVANIZED
GBW	GYPSUM WALL BOARD
HB	HOSE BIB
INSUL	INSULATED OR INSULATION
INT	INTERIOR
JST	JOIST
LVL	LAMINATED VENEER LUMBER
LSL	LSTRAND LUMBER
MAX	MAXIMUM
MIN	MINIMUM
MTL	METAL
OBC	ONTARIO BUILDING CODE
OC	ON CENTER
OSB	ORIENTED STRAND BOARD
OTA	OPEN TO ABOVE
OTB	OPEN TO BELOW
PT	PRESSURE TREATED
PTD	PAINT OR PAINTED
REQD	REQUIRED
RM	ROOM
RT	ROOF TRUSS
RWL	RAIN WATER LEADER
SB	SOLID BEARING
SBEA	SOLID BEARING FROM ABOVE
SJ	SINGLE JOIST
SPEC	SPECIFIED OR SPECIFICATION
SPF	SPRUCE, PINE, FIR
STL	STEEL
T&G	TONGUE AND GROOVE
TJ	TRIPLE JOIST
T/O	TOP OF
TRP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
WIC	WALK-IN CLOSET
WP	WEATHER PROOF

TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
25 CARPENT COURT
TORONTO, ON M5V 3Z7
1-905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#: 44839

Matthew Fratarcangeli

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#: 112916

NO.	DATE	REVISION/ISSUE
01	06-23-21	FOR PERMIT APP

PROJECT:

REAR YARD RENOVATION
AT 31 BASILICA DRIVE
VAUGHAN, ON

DRAWN: JT	APPROVED: M.F
FILE NO: 2021-01	CHECKED: M.F
REVISION: 0	DRAWING NO.: SK-1
DATE: 06-23-21	

A197/21

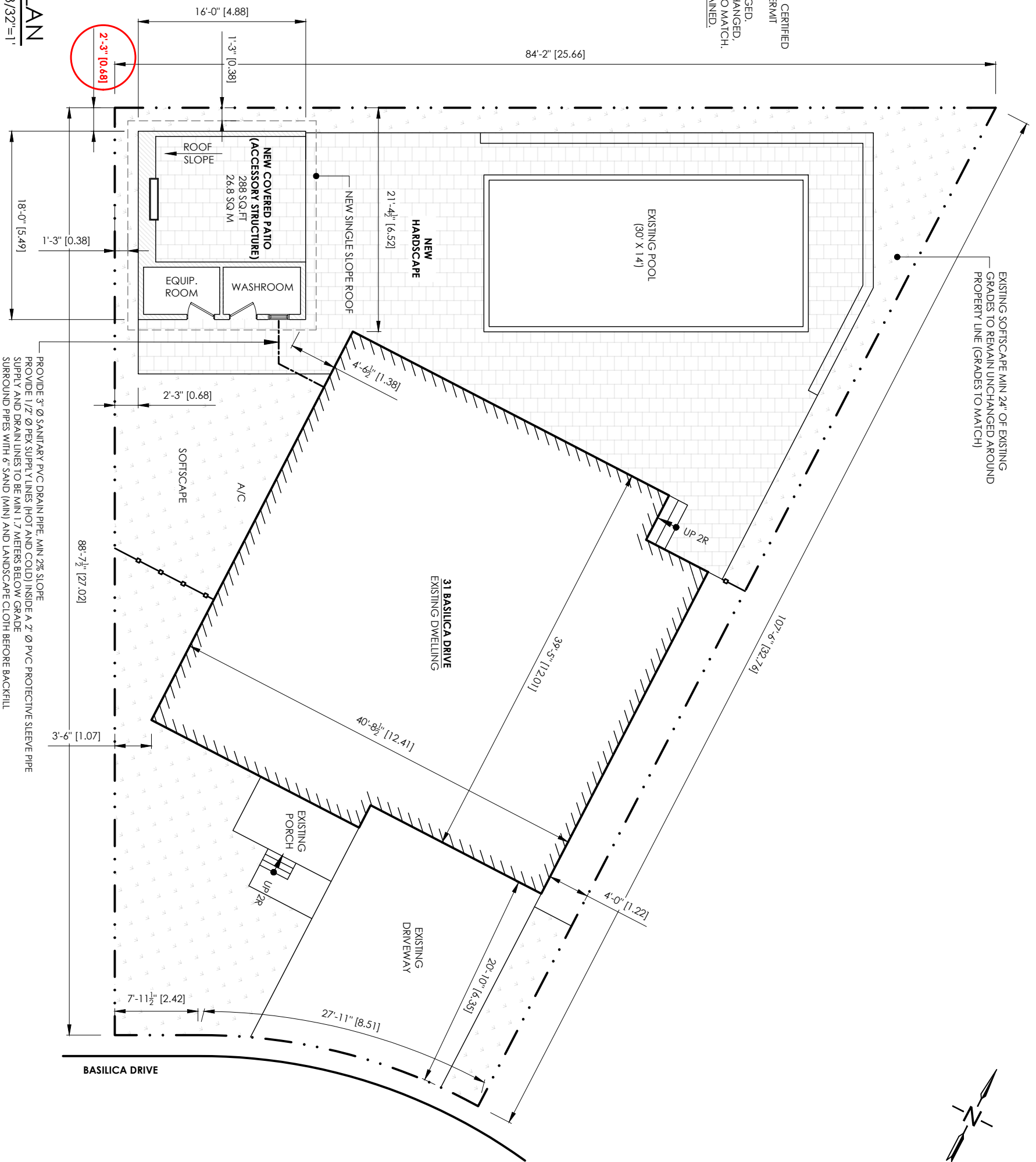
LEGEND

-  EXISTING SOFTSCAPE
-  NEW HARDSCAPE
-  NEW WALL

GENERAL SITE PLAN NOTES:

1. LOT LINE AND HOUSE FOOTPRINT DATA IS TAKEN FROM A CERTIFIED OLS SURVEY. THIS DATA HAS BEEN SUBMITTED WITH THE PERMIT APPLICATION.
2. EXISTING SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED. MINIMUM 2" AROUND PROPERTY LINE TO REMAIN UNCHANGED, UNLESS OTHERWISE NOTED ON THE SITE PLAN - GRADES TO MATCH.
3. EXISTING OVERLAND DRAINAGE PATTERNS TO BE MAINTAINED.

1
SK-2
PROPOSED SITE PLAN
3/32"=1'



PROVIDE 3" Ø SANITARY PVC DRAIN PIPE, MIN 2% SLOPE
PROVIDE 1/2" Ø PEX SUPPLY LINES (HOT AND COLD) INSIDE A 2" Ø PVC PROTECTIVE SLEEVE PIPE
SUPPLY AND DRAIN LINES TO BE MIN 1.7 METERS BELOW GRADE
SURROUND PIPES WITH 6" SAND (MIN) AND LANDSCAPE CLOTH BEFORE BACKFILL

TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
25 CARROLL COURT
TORONTO, ON M5V 3E7
1-905-699-7971

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#: 44839

Matthew Fratarcangeli

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#: 112916

NO.	DATE	REVISION/ISSUE
1	06-23-21	FOR PERMIT APP

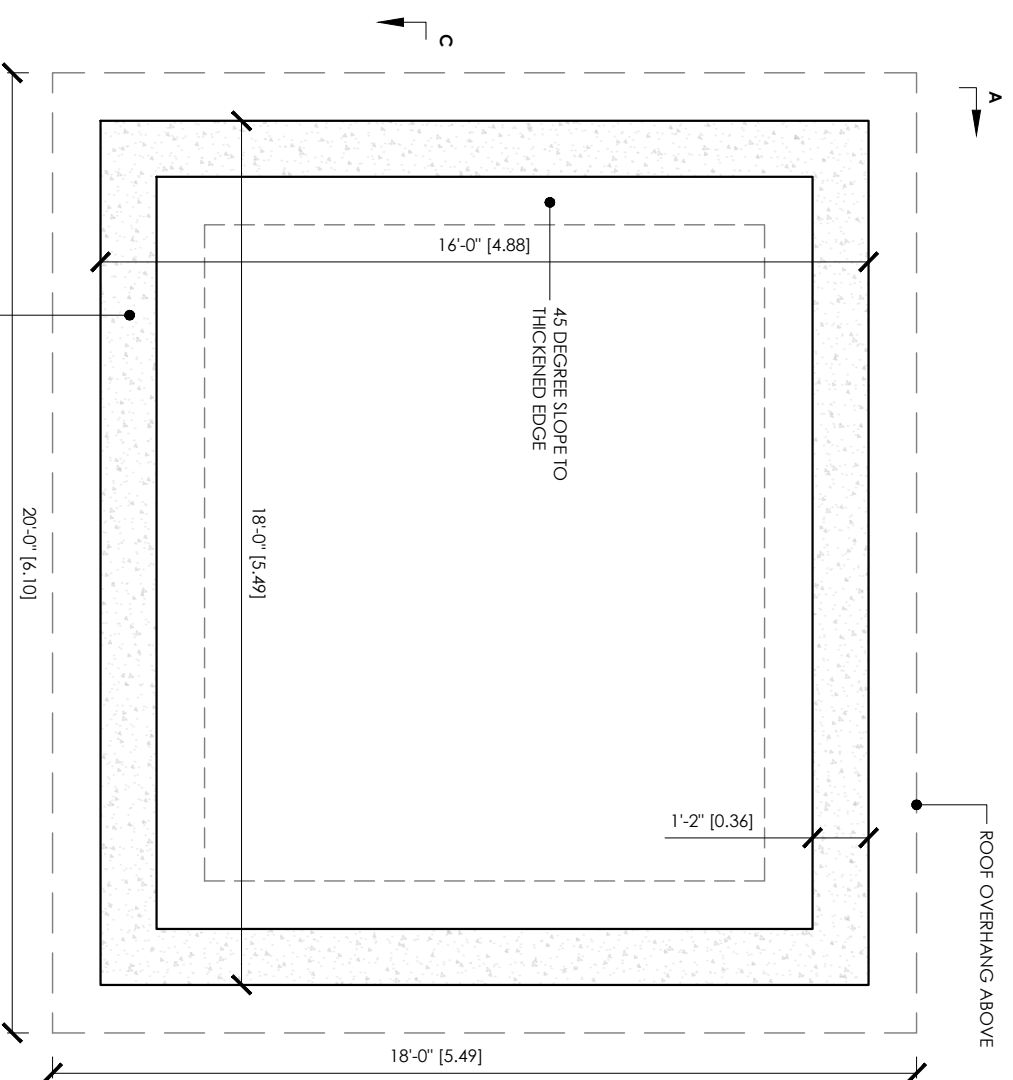
PROJECT:

REAR YARD RENOVATION
AT 31 BASILICA DRIVE
VAUGHAN, ON

DRAWN: J.T	APPROVED: M.F
FILE NO.: 2021-001	CHECKED: M.F
REVISION: 0	DRAWING NO.: SK-2
DATE: 06-23-21	

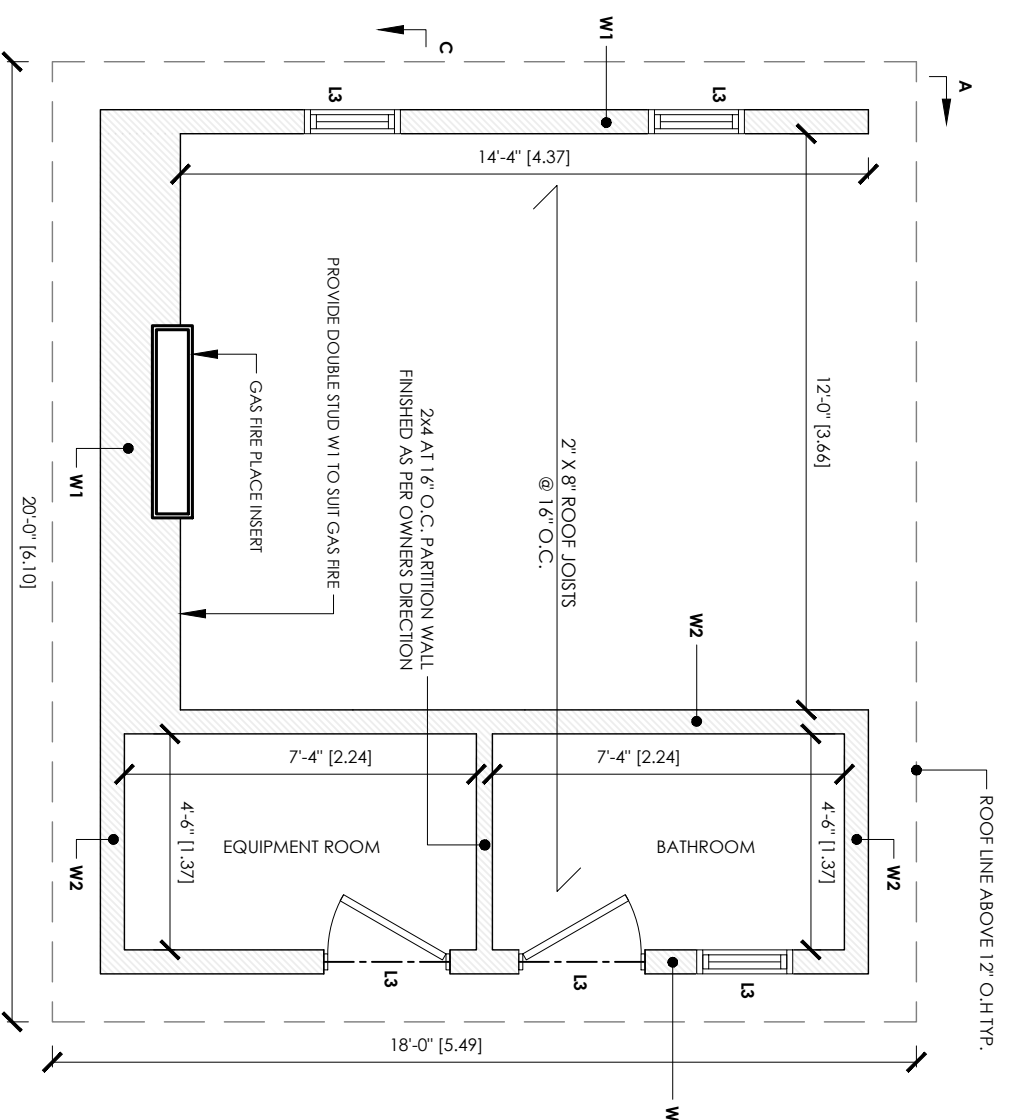
NOTE:
 ALL STRUCTURAL FRAMING MEMBERS TO BE PROTECTED FROM WEATHER WITH AN APPROVED METHOD OR BE GRADED FOR WEATHER EXPOSURE.
 ALL STRUCTURAL FRAMING TO BE MIN 6" ABOVE GRADE.

INTEL SCHEDULE
 L3- 2-PLY 2" X 6" INTEL, 1 JACK, 1 KING

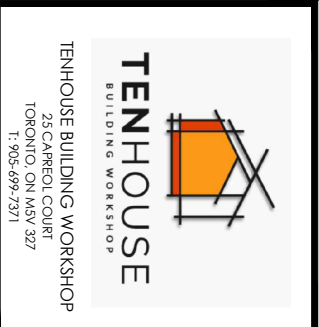


NEW CONCRETE SLAB W/ 16" X 16" THK PERIMETER
 4" CONCRETE SLAB, MIN 32 MPa, 5% - 8% AIR ENTRAINMENT
 6" X 6" X 10" WELDED WIRE MESH IN CENTER OF SLAB
 POLY UNDER SLAB AND UNDER WALL SILL GASKET
 PROVIDE 2" 25 PSI EPS RIGID INSULATION
 BELOW SLAB AND AT EDGE (MIN R10)
 6" COMPACTED GRANULAR
 16" X 16" THK PERIMETER W/ 2-15M CONTINUOUS BARS
 TO BEAR ON UNDISTURBED SOIL
 SEE SECTION DRAWINGS

1 FOUNDATION PLAN
 SK-3 1/4"=1'



2 FRAMING PLAN
 SK-3 1/4"=1'

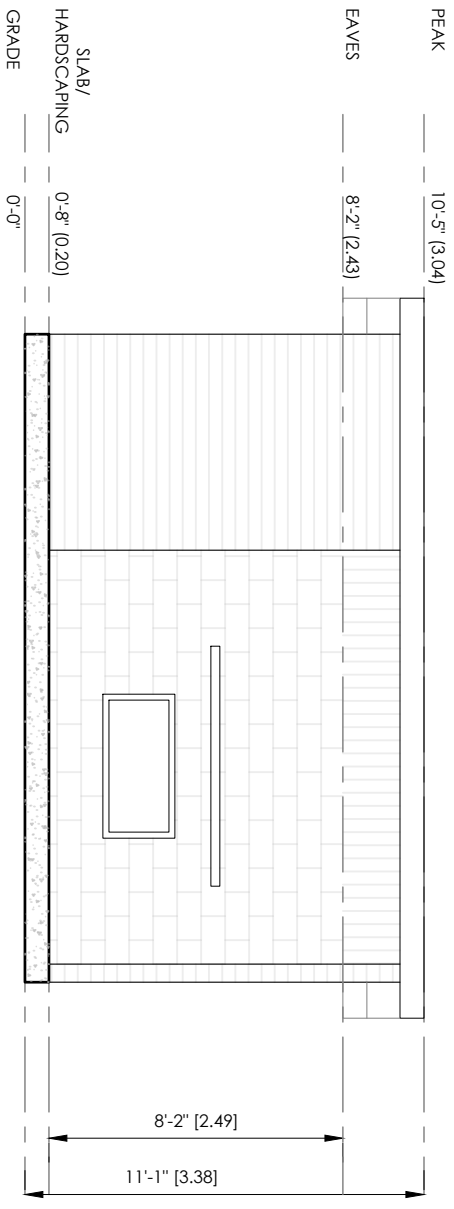


THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS
QUALIFICATION INFORMATION
 MATTHEW FRATARCANGELI
 BCIN#: 44839
REGISTRATION INFORMATION
 TENHOUSE BUILDING WORKSHOP
 BCIN#: 112916

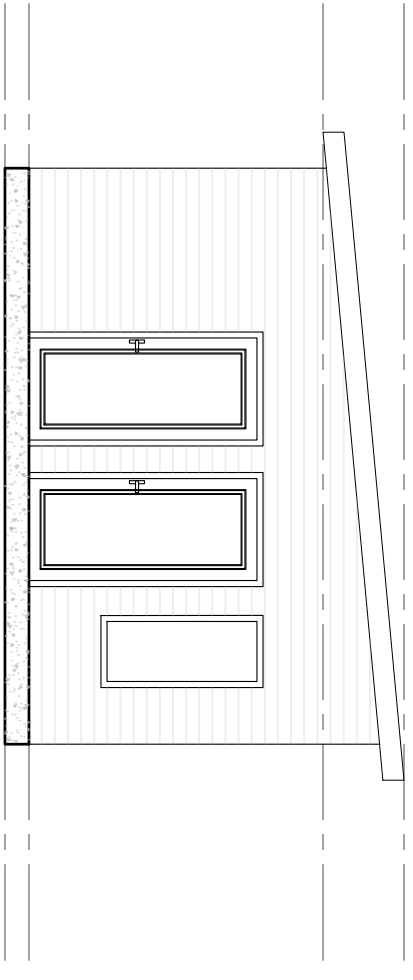
NO.	DATE	REVISION/ISSUE
01	06-23-21	FOR PERMIT APP

PROJECT:
 REAR YARD RENOVATION
 AT 31 BASILICA DRIVE
 VAUGHAN, ON

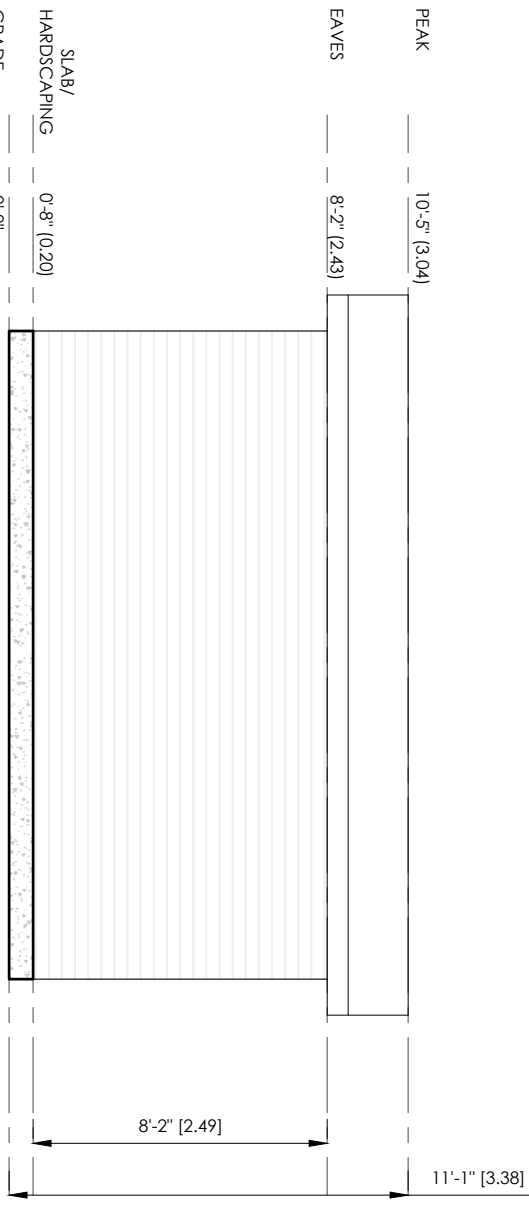
DRAWN: J.T	APPROVED: M.F
FILE NO.: 2021-001	CHECKED: M.F
REVISION: 0	DRAWING NO.: SK-3
DATE: 06-23-21	



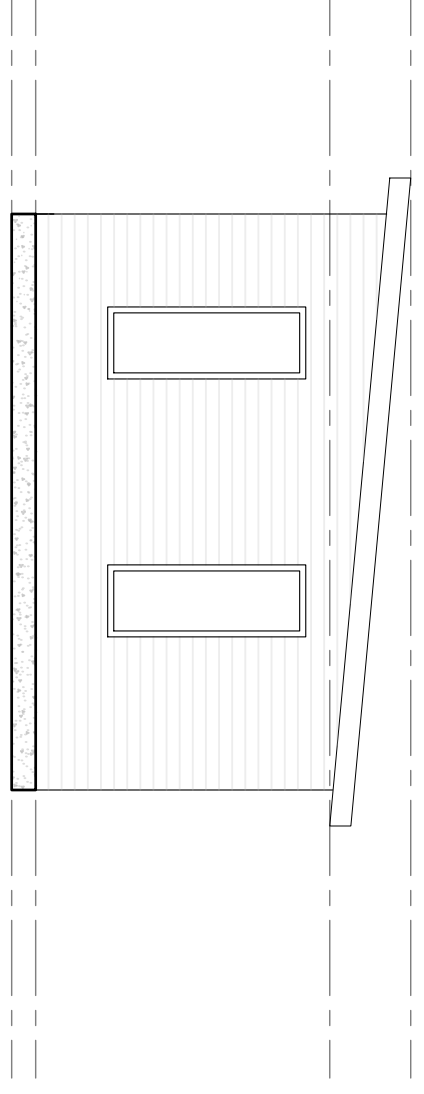
1 FRONT (SOUTH)
SK-4 3/16"=1'



2 SIDE (WEST)
SK-4 3/16"=1'



3 REAR (NORTH)
SK-4 3/16"=1'



4 SIDE (EAST)
SK-4 3/16"=1'

TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
25 CARROLL COURT
TORONTO, ON M5V 3Z7
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI
BCIN#: 44839

Matthew Fratarcangeli

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#: 112916

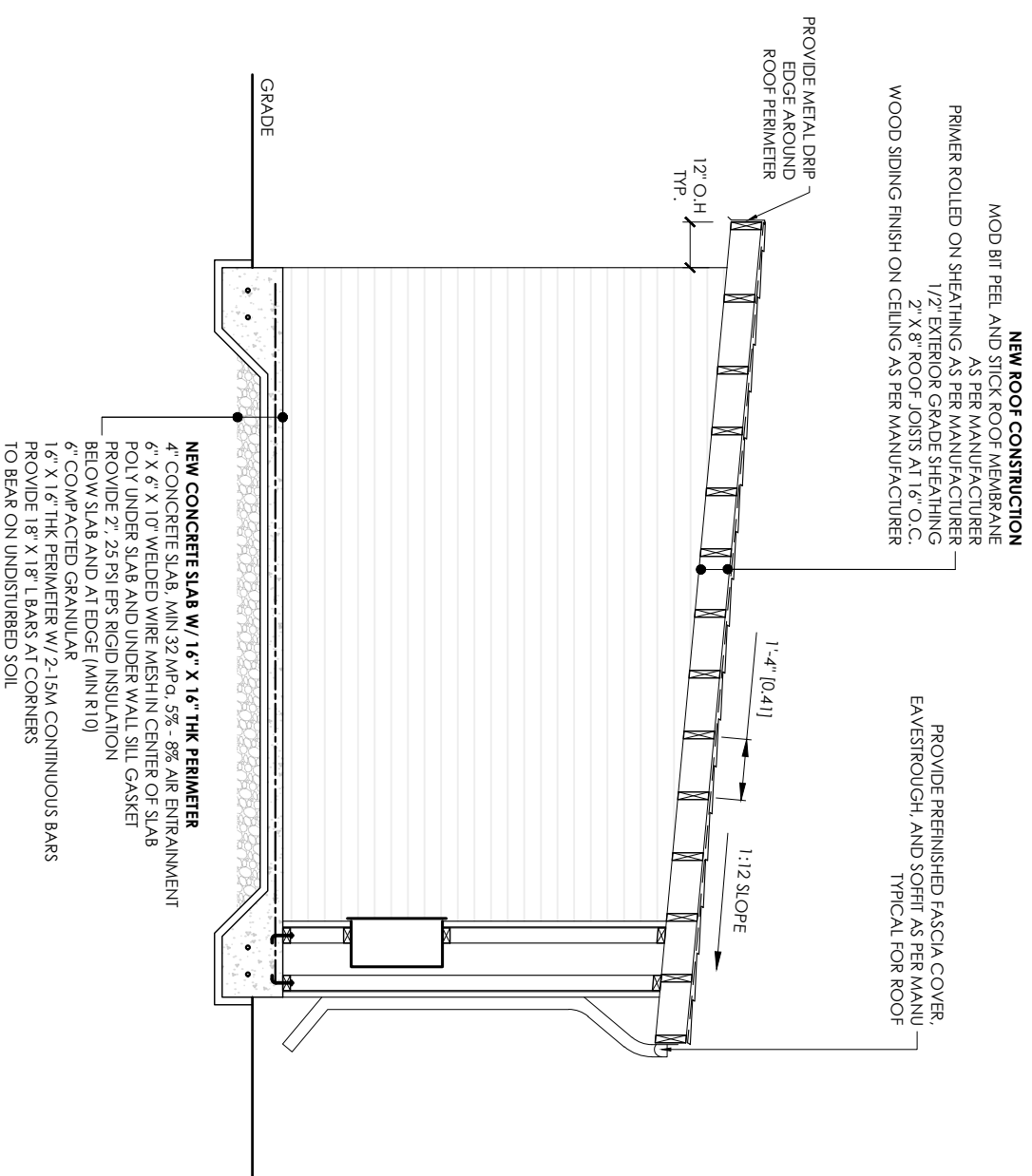
NO.	DATE	REVISION/ISSUE
01	06-23-21	FOR PERMIT APP

PROJECT:

REAR YARD RENOVATION
AT 31 BASILICA DRIVE
VAUGHAN, ON

DRAWN: J.T	APPROVED: M.F
FILE NO.: 2021-001	CHECKED: M.F
REVISION: 0	DRAWING NO.: SK-4
DATE: 06-23-21	

NOTE:
 ALL STRUCTURAL FRAMING MEMBERS TO BE PROTECTED FROM WEATHER WITH AN APPROVED METHOD OR BE GRADED FOR WEATHER EXPOSURE.
 ALL STRUCTURAL FRAMING TO BE MIN 6" ABOVE GRADE.



1 SECTION A
 SK-5
 1/4"=1'

TENHOUSE
 BUILDING WORKSHOP



TENHOUSE BUILDING WORKSHOP
 25 CARROLL COURT
 TORONTO, ON M5V 3Z7
 T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 MATTHEW FRATARCANGELLI
 BCIN#: 44839

Matthew Fratarcangelli

REGISTRATION INFORMATION
 TENHOUSE BUILDING WORKSHOP
 BCIN#: 112916

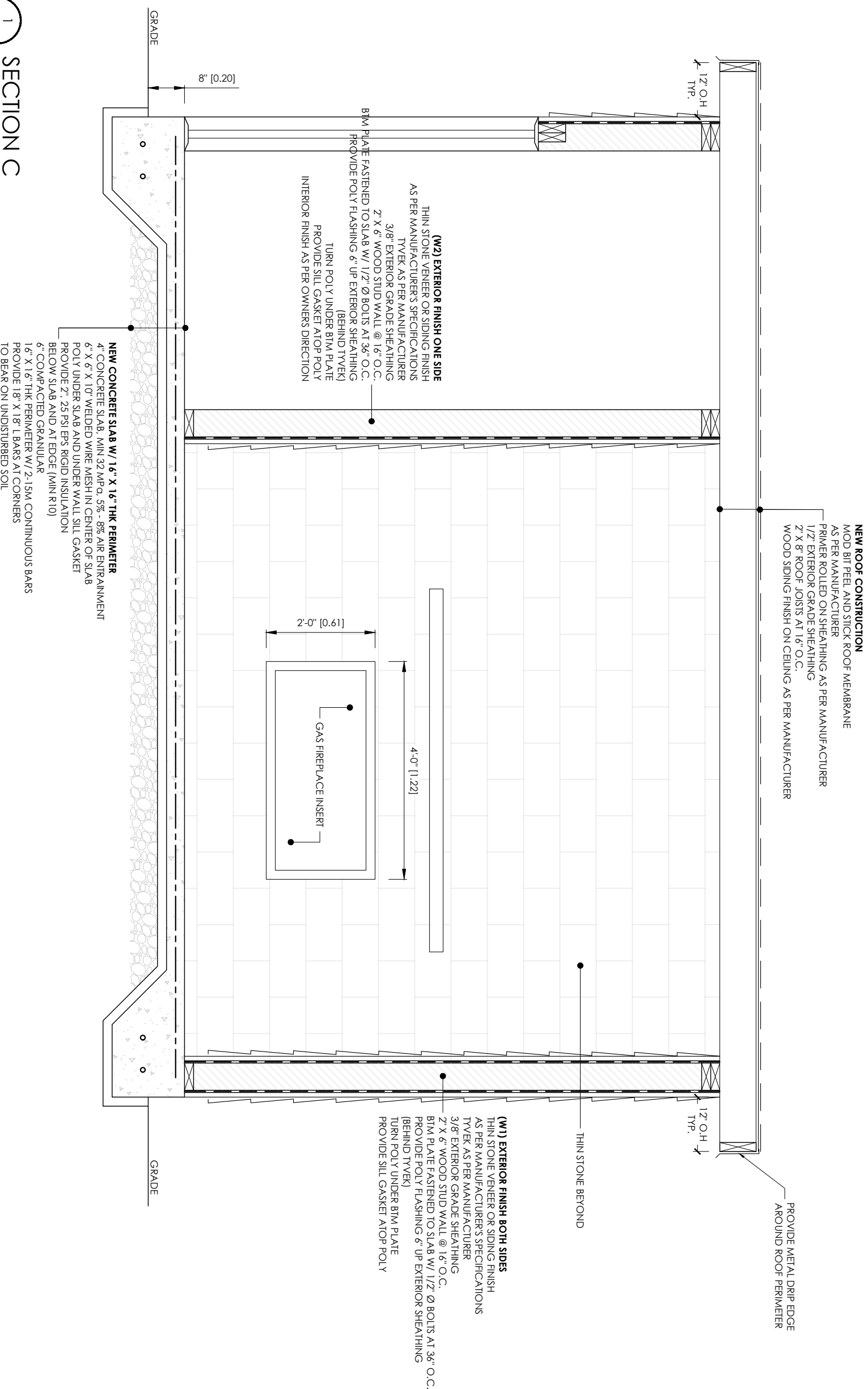
NO.	DATE	REVISION/ISSUE
01	06-23-21	FOR PERMIT APP

PROJECT:

REAR YARD RENOVATION
 AT 31 BASILICA DRIVE
 VAUGHAN, ON

DRAWN: J.T.	APPROVED: M.F.
FILE NO.: 2021-001	CHECKED: M.F.
REVISION: 0	DRAWING NO.: SK-5
DATE: 06-23-21	

NOTE:
 ALL STRUCTURAL FRAMING MEMBERS TO BE PROTECTED FROM WEATHER WITH AN APPROVED METHOD OR BE GRADED FOR WEATHER EXPOSURE.
 ALL STRUCTURAL FRAMING TO BE MIN. 6" ABOVE GRADE. IF STRUCTURAL MEMBER IS AT GRADE, EXCAVATE 6" DEEP BELOW MEMBER AND FILL WITH GRANULAR. ENSURE 6" CLEARANCE FROM GRADE ALL AROUND STRUCTURAL MEMBERS.



TENHOUSE
 BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
 25 CARROL COURT
 TORONTO, ON M5V 3Z7
 T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 MATTHEW FRAIARCANGELI
 BCIN#: 44839

REGISTRATION INFORMATION
 TENHOUSE BUILDING WORKSHOP
 BCIN#: 112916

NO.	DATE	REVISION/ISSUE
01	06-23-21	FOR PERMIT APP

PROJECT:

REAR YARD RENOVATION
 AT 31 BASILICA DRIVE
 VAUGHAN, ON

DRAWN: JT	APPROVED: M.F.
FILE NO.: 2021-001	CHECKED: M.F.
REVISION: 0	DRAWING NO.: SK-6
DATE: 06-23-2021	

WALL SCHEDULE		
DWG. MARKER	DETAIL	CONSTRUCTION
W1		<p>EXTERIOR FINISH BOTH SIDES THIN STONE VENEER OR SIDING FINISH AS PER MANUFACTURER'S SPECIFICATIONS TYVEK AS PER MANUFACTURER 3/8" EXTERIOR GRADE SHEATHING 2" X 6" WOOD STUD WALL @ 16" O.C. PRESSURE TREATED BIM PLATE FASTENED TO SLAB W/ 1/2" Ø BOLTS AT 36" O.C. PROVIDE POLY FLASHING 6" UP EXTERIOR SHEATHING (BEHIND TYVEK) TURN POLY UNDER BIM PLATE PROVIDE SILL GASKET ATOP POLY</p>
W2		<p>EXTERIOR FINISH ONE SIDE THIN STONE VENEER OR SIDING FINISH AS PER MANUFACTURER'S SPECIFICATIONS TYVEK AS PER MANUFACTURER 3/8" EXTERIOR GRADE SHEATHING 2" X 6" WOOD STUD WALL @ 16" O.C. PRESSURE TREATED BIM PLATE FASTENED TO SLAB W/ 1/2" Ø BOLTS AT 36" O.C. PROVIDE POLY FLASHING 6" UP EXTERIOR SHEATHING (BEHIND TYVEK) TURN POLY UNDER BIM PLATE PROVIDE SILL GASKET ATOP POLY INTERIOR FINISH AS PER OWNERS DIRECTION</p>



TENHOUSE
BUILDING WORKSHOP

TENHOUSE BUILDING WORKSHOP
25 CARROLL COURT
TORONTO, ON M5V 3Z7
T: 905-699-7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 MATTHEW FRATARCANGELI
 BCIN#: 44839

Matthew Fratarcangeli

REGISTRATION INFORMATION
 TENHOUSE BUILDING WORKSHOP
 BCIN#: 112916

NO.	DATE	REVISION/ISSUE
01	06-23-21	FOR PERMIT APP

PROJECT:

REAR YARD RENOVATION
AT 31 BASILICA DRIVE
VAUGHAN, ON

DRAWN: J.T	APPROVED: M.F
FILE NO.: 2021-001	CHECKED: M.F
REVISION: 0	DRAWING NO.: SK-7
DATE: 06-23-2021	

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Development Planning & Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Development Planning Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: November 18, 2021
Name of Owner: Lisa and Anthony Bianchi
Location: 31 Basilica Drive
File No.(s): A197/21

Proposed Variance(s):

1. To permit a minimum rear yard setback of 0.68 m to the proposed accessory structure (Cabana).

By-Law Requirement(s):

1. A minimum rear yard setback of 6 m is required. (Schedule A1)

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is proposing to construct a cabana in the rear yard with the above-noted variance.

The Development Planning Department has no objections to the requested variance. The proposed cabana meets the height and area requirements of Zoning By-law 1-88, and the rear of the property abuts a large open space associated with a public school, thereby the potential impacts of the proposed reduction in rear yard setback is minimal.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michael Torres, Planner I
Chris Cosentino, Senior Planner

Date: October 6th , 2021
Attention: **Christine Vigneault**
RE: Request for Comments

File No.: **A197-21**

Related Files:

Applicant: Lisa Bianchi and Anthony Bianchi

Location 31 Basilica Drive

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Pravina Attwala

Subject: FW: A197/21 (31 BASILICA DRIVE) - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: October-13-21 8:35 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A197/21 (31 BASILICA DRIVE) - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Pravina Attwala

Subject: FW: A197/21 (31 BASILICA DRIVE) - REQUEST FOR COMMENTS

From: Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>
Sent: October-07-21 3:57 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>
Subject: [External] RE: A197/21 (31 BASILICA DRIVE) - REQUEST FOR COMMENTS

Good afternoon,

As the property is outside MTO permit control, MTO has no comments.

Colin Mulrenin (he/him) | Corridor Management Officer | York
Highway Corridor Management Section – Central Operations
159 Sir William Hearst Avenue | Ministry of Transportation
7th Floor, Building D | Downsview, Ontario | M3M 0B7
Phone: 437-533-9427
Colin.Mulrenin@ontario.ca