

36 CREEDMORE COURT, VAUGHAN

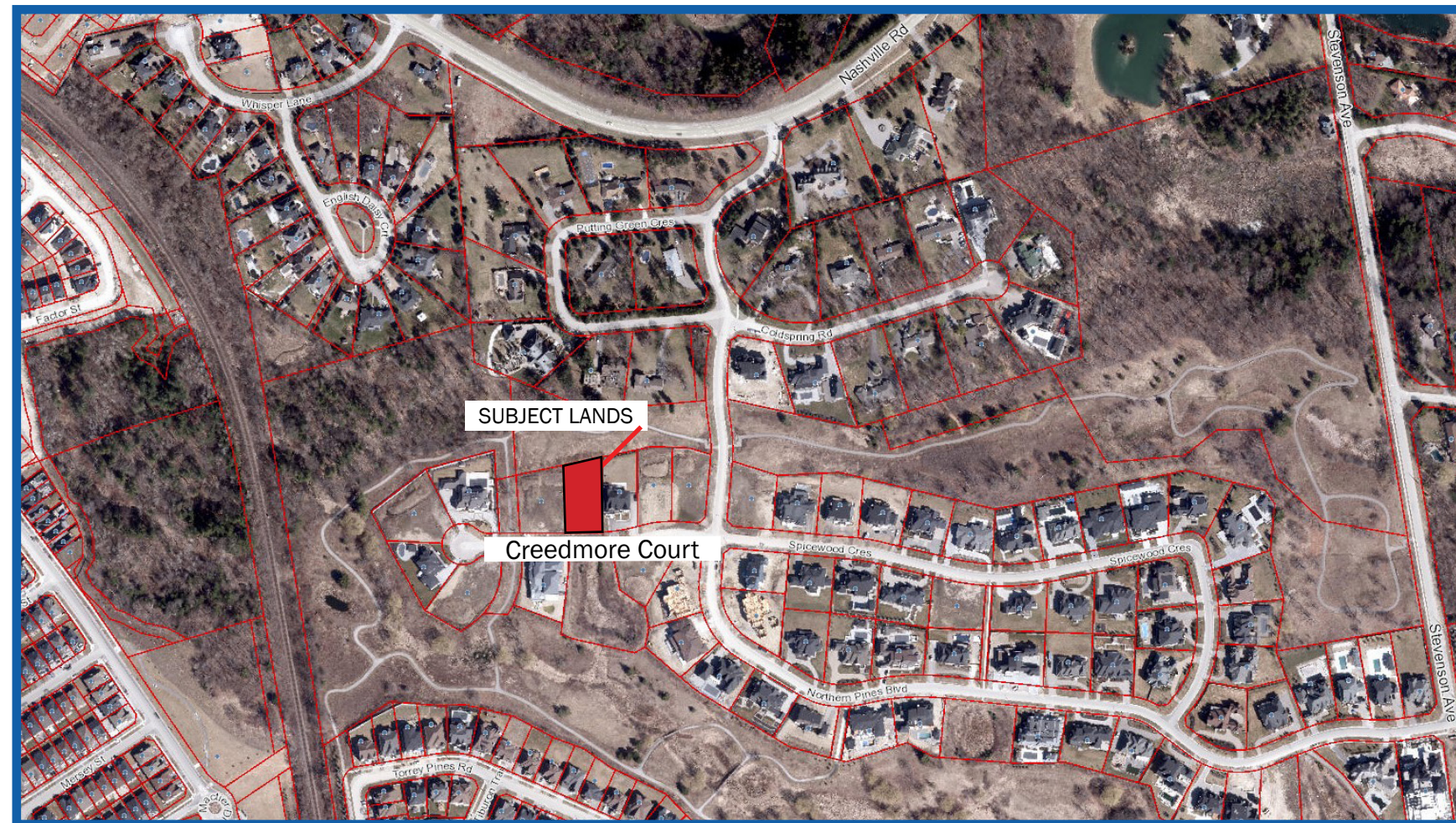
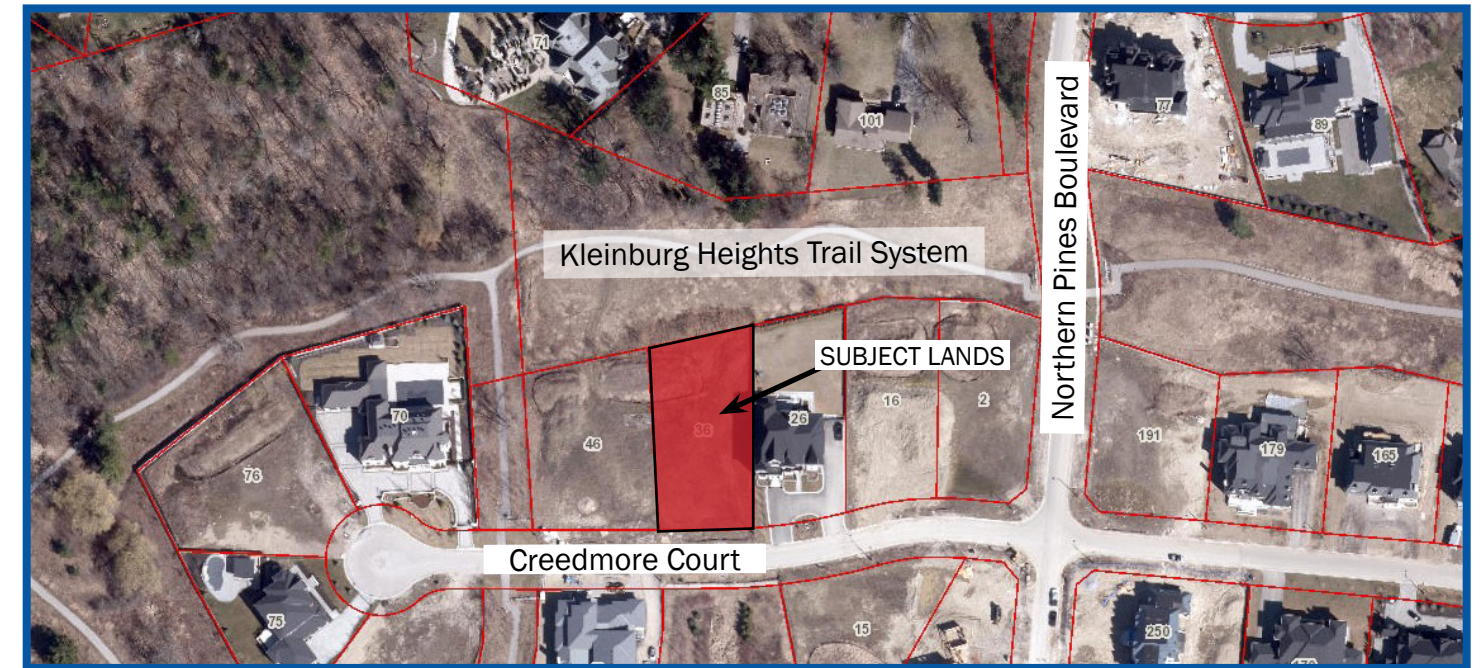
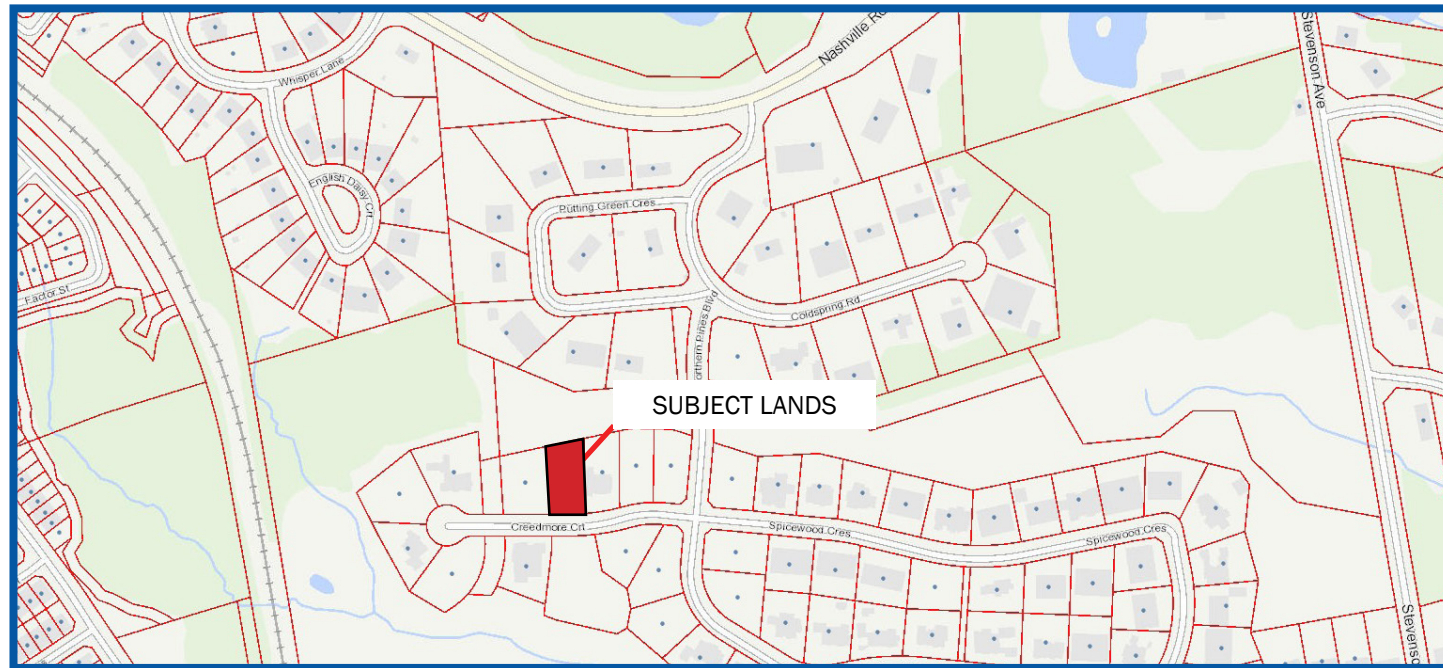
COUNCIL OF ADJUSTMENT MEETING

NOVEMBER 18, 2021

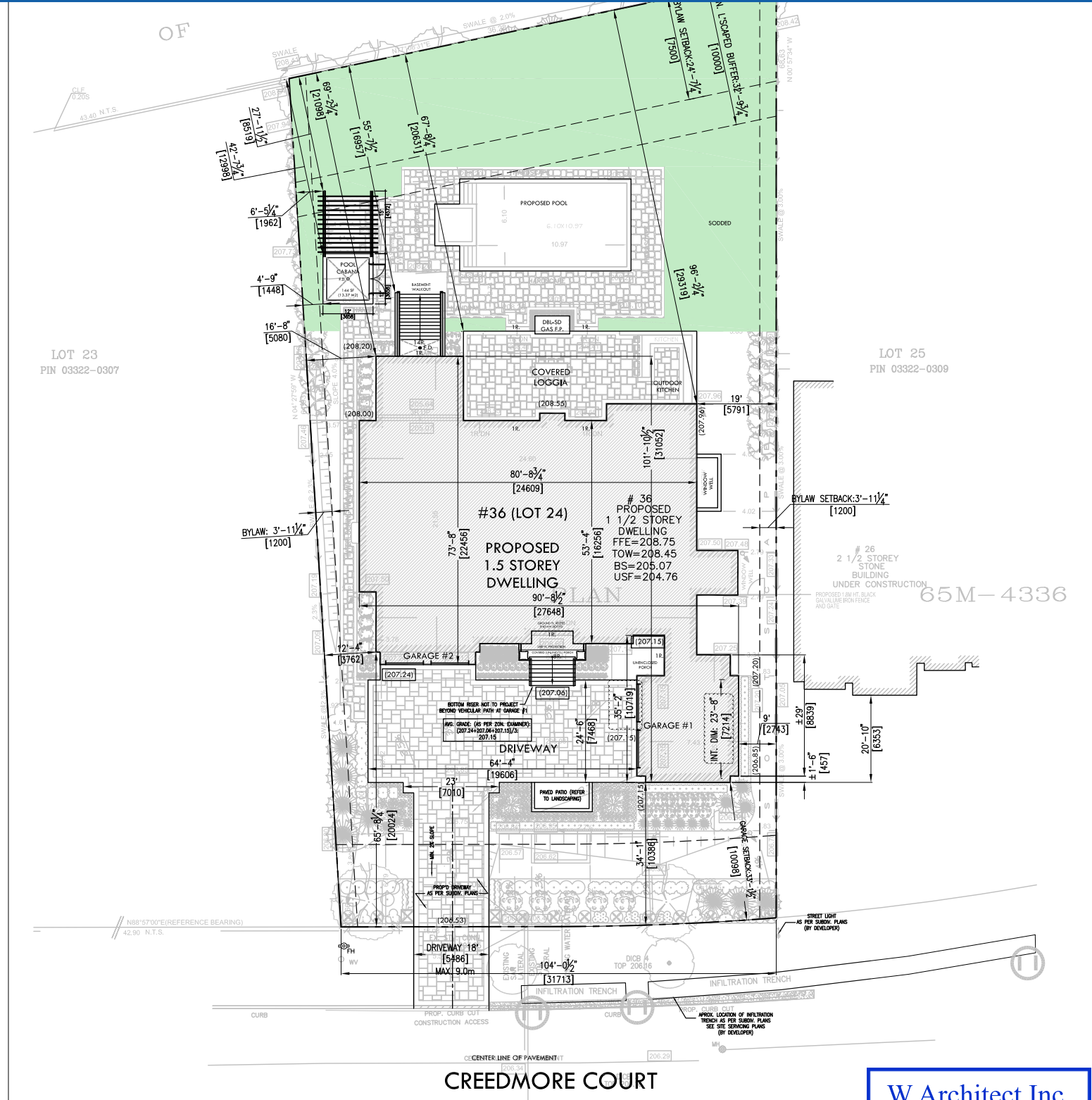
6:00 PM

File Number: A203/21

LOCATION AND SURROUNDING CONTEXT



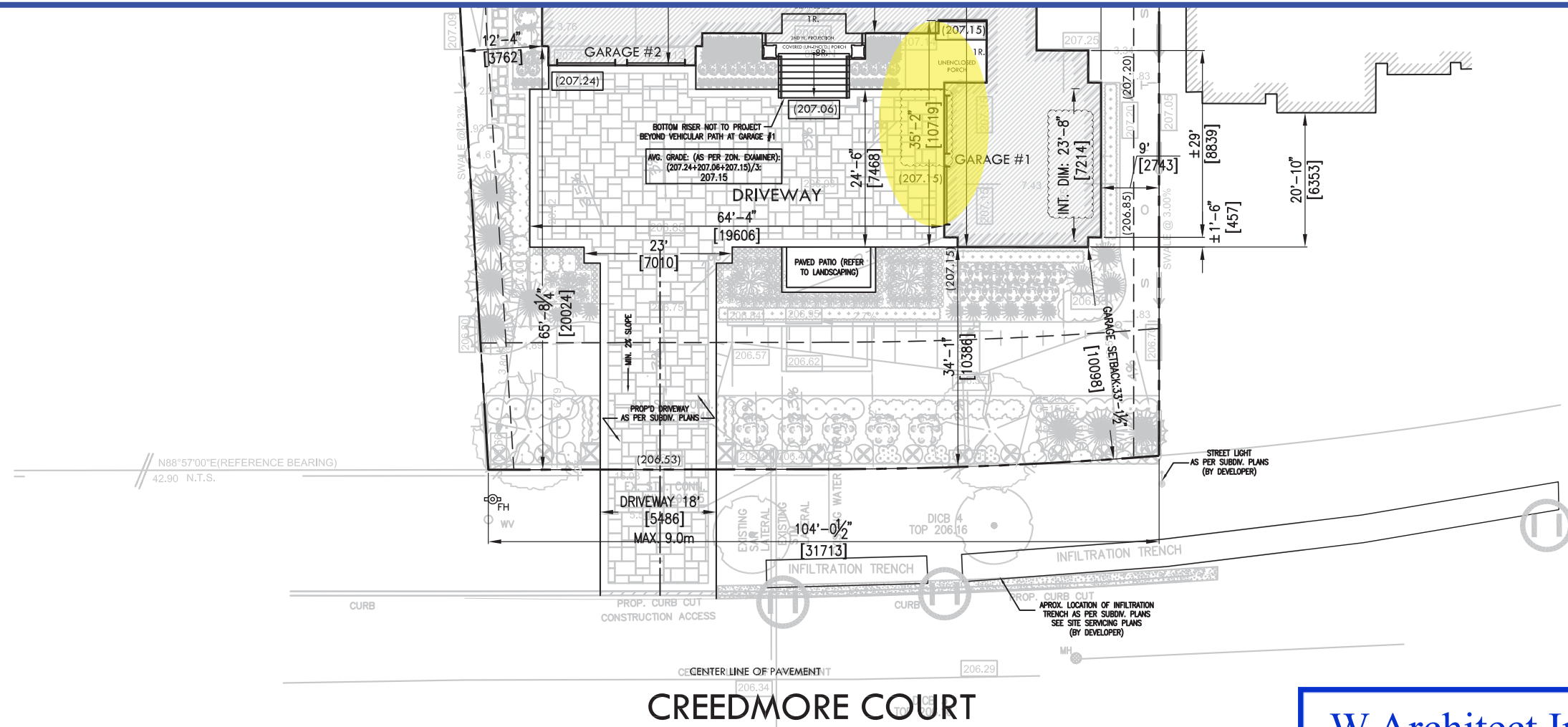
PROPOSED DEVELOPMENT



W Architect Inc.
DESIGN CONTROL REVIEW
OCT. 28, 2021
FINAL
RECERT BY: *Alli*
This stamp is only for the purposes of design control and carries no other professional obligations.

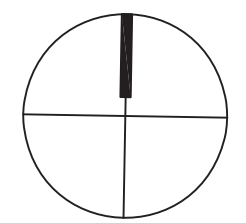
REQUESTED VARIANCES

VARIANCE 1 - To permit a maximum garage projection of 10.72 m.



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DESIGN CONTROL REVIEW
 OCT. 28, 2021
 FINAL
RECERT BY: *Alc.*
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Zanjani Architect Inc. 15 Allstate Pkwy, Unit 664 Markham, ON L3R 5B4 T: 416.917.8285 E: info@zanjanichitect.com	07	FOR ARCH. CONTROL APPROVAL	OCT. 26. 2021	S.Z.
	06	FOR C.O.A. RESUBMISSION	JUN. 08. 2021	S.Z.
	05	FOR C.O.A. RESUBMISSION	DEC. 22. 2020	S.Z.
	04	FOR C.O.A. SUBMISSION	NOV. 27. 2020	S.Z.
		ITEMS 1-3 NOT SHOWN		
Issued:				



A1

REQUESTED VARIANCES

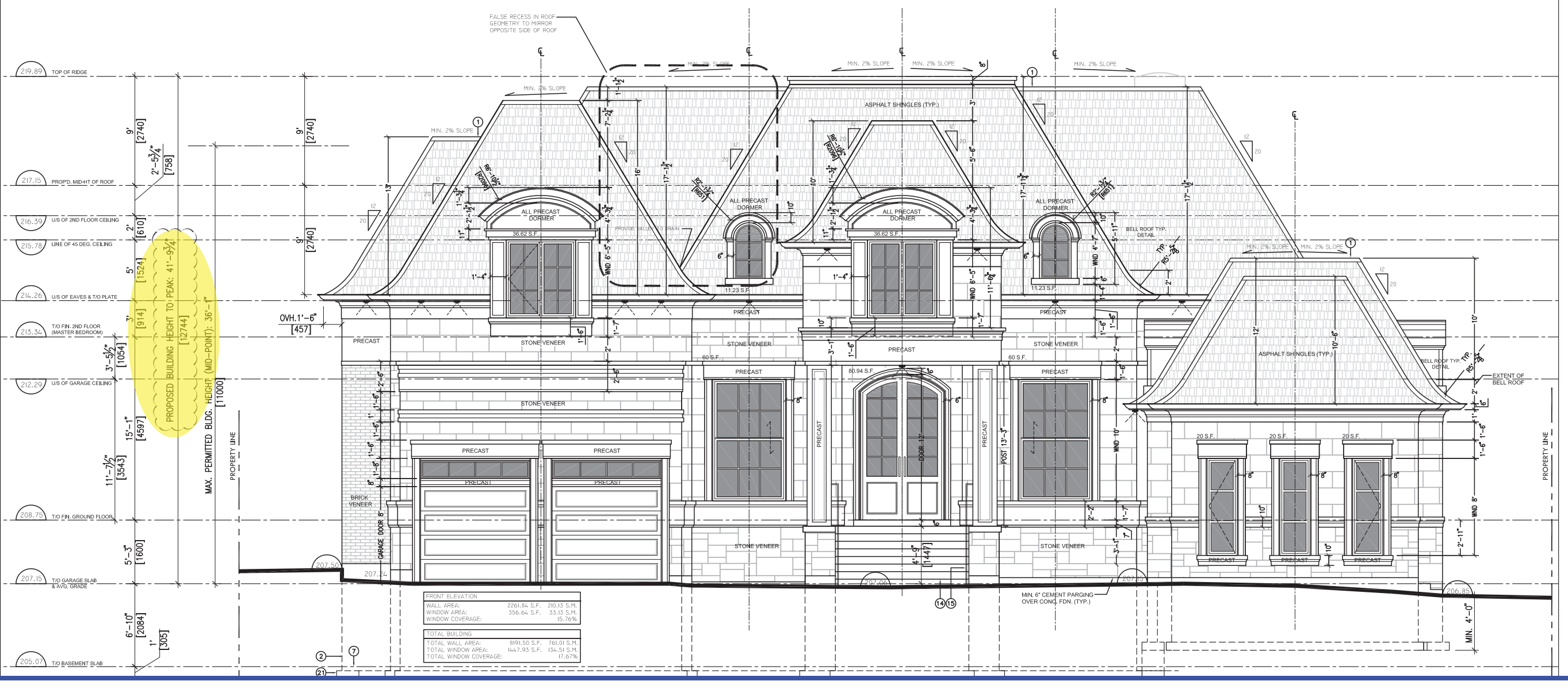
VARIANCE 2 - To permit a maximum height of 12.74 m for a dwelling.

W Architect Inc.
 DESIGN CONTROL REVIEW
 OCT. 28, 2021
 FINAL RECERT BY: *ALL*
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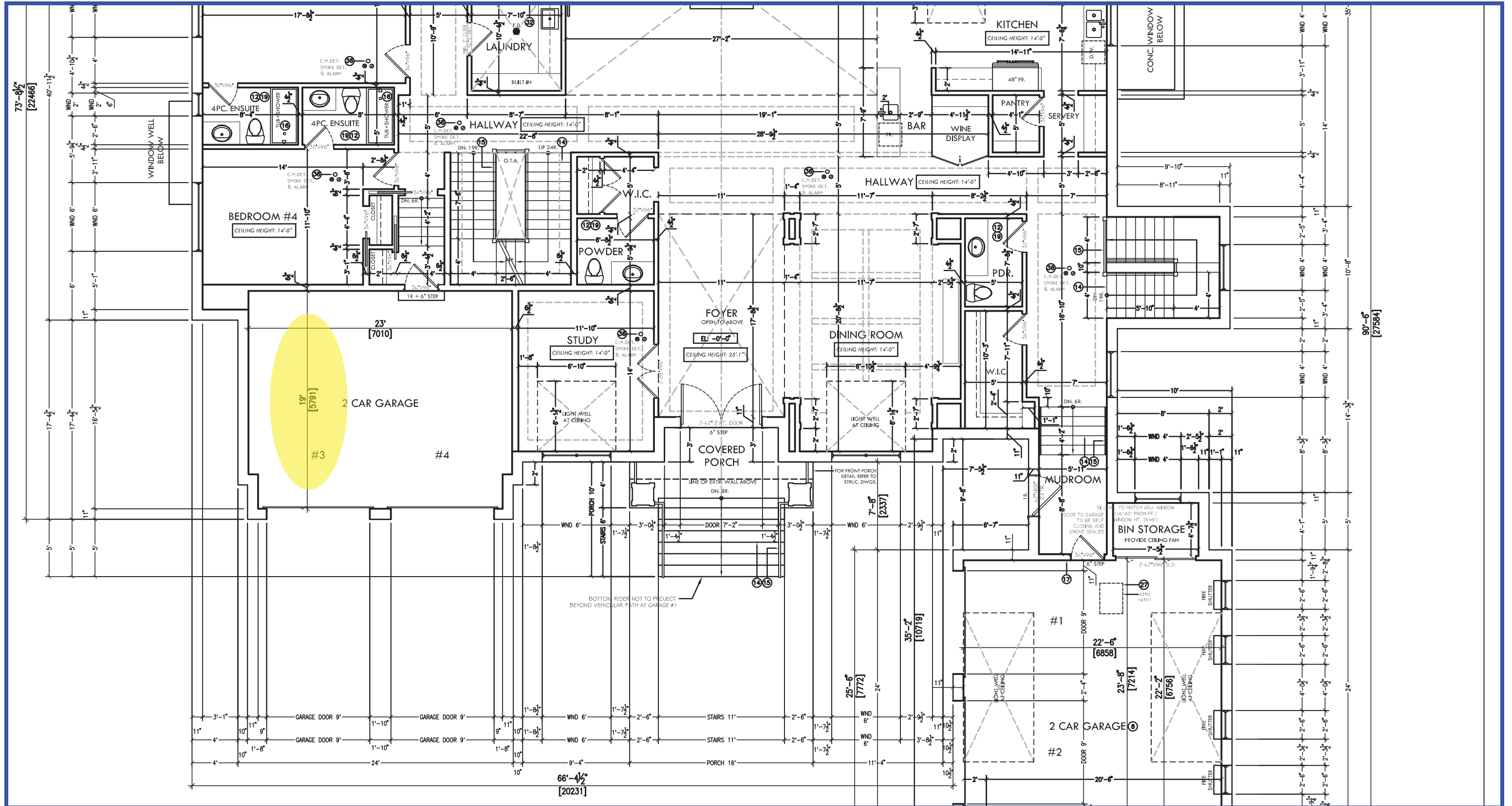
06	FOR ARCH. CONTROL APPROVAL	OCT. 26, 2021	S.Z.
05	FOR C.O.A. SUBMISSION	NOV. 27, 2020	S.Z.
01	FOR C.O.A.	APR. 12, 2020	S.Z.

PROPOSED 1.5-STOREY DWELLING 36 (LOT24) CREEDMORE CRT. FRONT (SOUTH) ELEVATION
 KLEINBURG, ON SCA



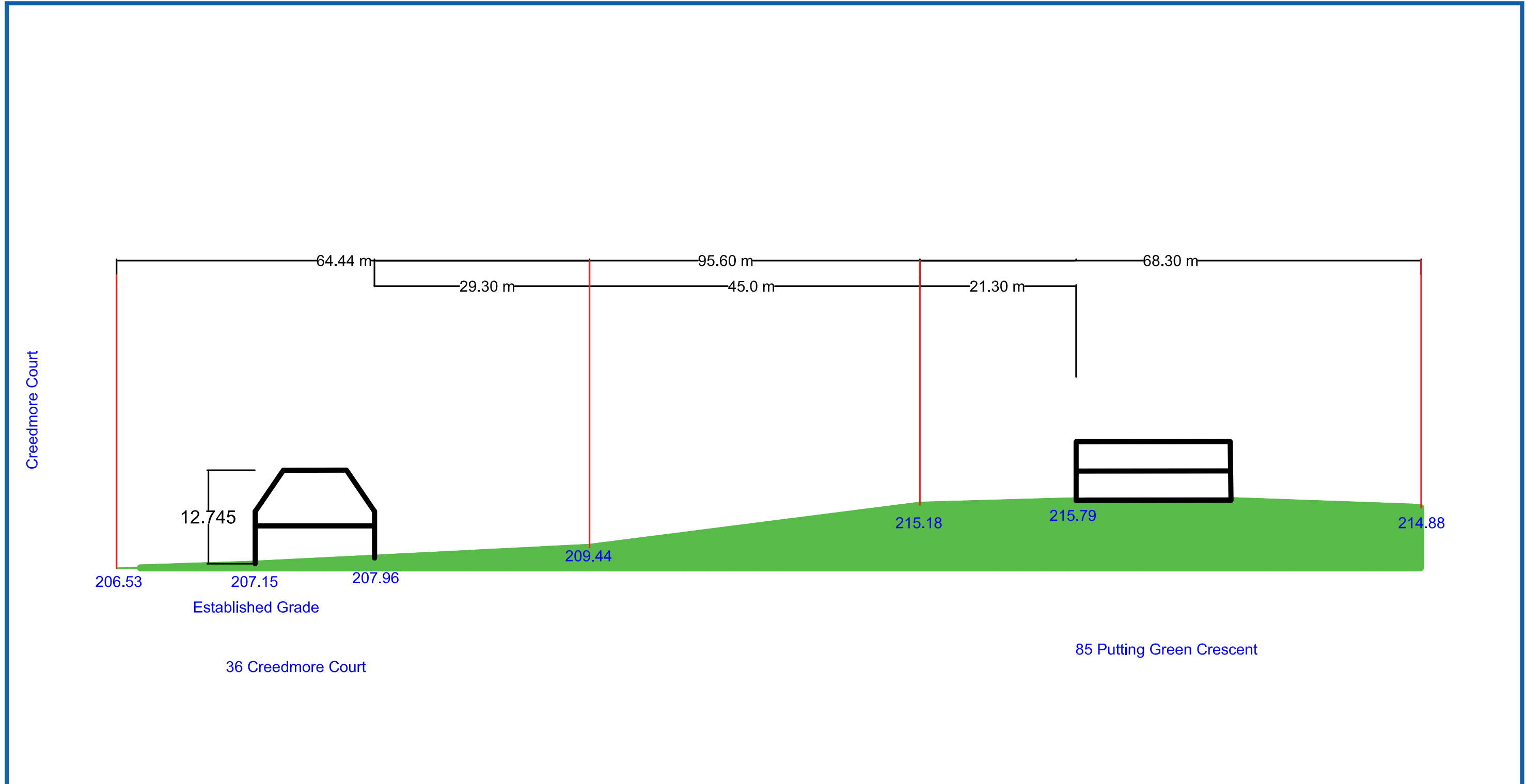
REQUESTED VARIANCES

VARIANCE 3 - To permit a garage with minimum interior garage dimensions of 7.01 m width x 5.79 m length.



THANK YOU

NORTHERN PINES BOULEVARD SECTION



NORTH VIEW TOWARDS 85 PUTTING GREEN CRESENT FROM SUBJECT LANDS



MULTIPLE VIEW OF KLEINBURG RIDGE TRAIL SYSTEM

