



File: A226/21

Applicant: Kevin Johnson

Address: 25 Tiana Court, Woodbridge

Agent: Square Design Group

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson  
Hearing Date: Thursday, November 18, 2021

**\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).**



**Minor Variance Application**

Agenda Item: 24

**A226/21**

Ward: 3

**Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer**

**Date & Time of Live Stream Hearing:** Thursday, November 18, 2021 at 6:00 p.m.  
 As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
 Office of the City Clerk – Committee of Adjustment  
 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

- Applicant:** Kevin Johnson
- Agent:** Square Design Group
- Property:** **25 Tiana Court, Woodbridge**
- Zoning:** The subject lands are zoned RD3 and subject to the provisions of Exception 9(1223) under By-law 1-88 as amended.
- OP Designation:** City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
- Related Files:** None
- Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1) The required interior side yard setback is 1.2 metres.	1) The proposed south interior side yard setback is 0.602 metres.
2) The required rear yard setback is 7.5 metres.	2) The proposed rear yard setback is 1.22 metres.

**Background (previous applications approved by the Committee on the subject land): None**

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

**Adjournment History: None**

**Staff & Agency Comments**

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**

Public notice was mailed on November 3, 2021

Applicant confirmed posting of signage on October 28, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2007
Cabana	TBC
Pool	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): Unable to comply with 7.5m rear yard setback, unable to comply with 4m side yard setback, unable to comply with roof overhang to property line setback. Exceeding maximum lot coverage of RD- 3 zone.

**Building Standards (Zoning Review):**

Stop Work Order(s) and Order(s) to Comply: Order No. 21-127808, Order to Comply - Issue Date: Oct 13, 2021

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Standards Recommended conditions of approval:

**Building Inspections (Septic):**

No comments or concerns

**Development Planning:**

Please see Schedule C for Development Planning comments/conditions.

**Development Engineering:**

The Development Engineering (DE) Department does not object to variance application A226/21 subject to the following condition:

The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for lot grading and/or servicing approval.

Additional comments:

As the proposed cabana in the subject property is 18.1 m<sup>2</sup>, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m<sup>2</sup> requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

**Parks Development - Forestry:**

No comments received to date.

**By-Law and Compliance, Licensing and Permit Services:**

No comments received to date

**Development Finance:**

No comment no concerns

**Fire Department:**

No comments received to date

**Schedule A – Plans & Sketches****Schedule B – Public Correspondence**

None

**Schedule C - Development Planning & Agency Comments**

Development Planning – Comments with Condition  
 Alectra (Formerly PowerStream) – No concerns or objections  
 Region of York – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	<b>Department/Agency</b>	<b>Condition</b>
1	Development Planning Michael Torres  905-832-8585 x 8933 <a href="mailto:Michael.Torres@vaughan.ca">Michael.Torres@vaughan.ca</a>	The Owner submit photographic evidence that four (4) 2500 mm tall hedge trees have been planted between the cabana and the rear yard fence, and that five (5) 2500 mm tall hedge trees have been planted between the cabana and the south interior side yard fence, which is to be reviewed and approved by the Urban Design Division of the Development Planning Department.
2	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

## Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://www.vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

**Adriana MacPherson**

T 905 832 8585 Extension 8360

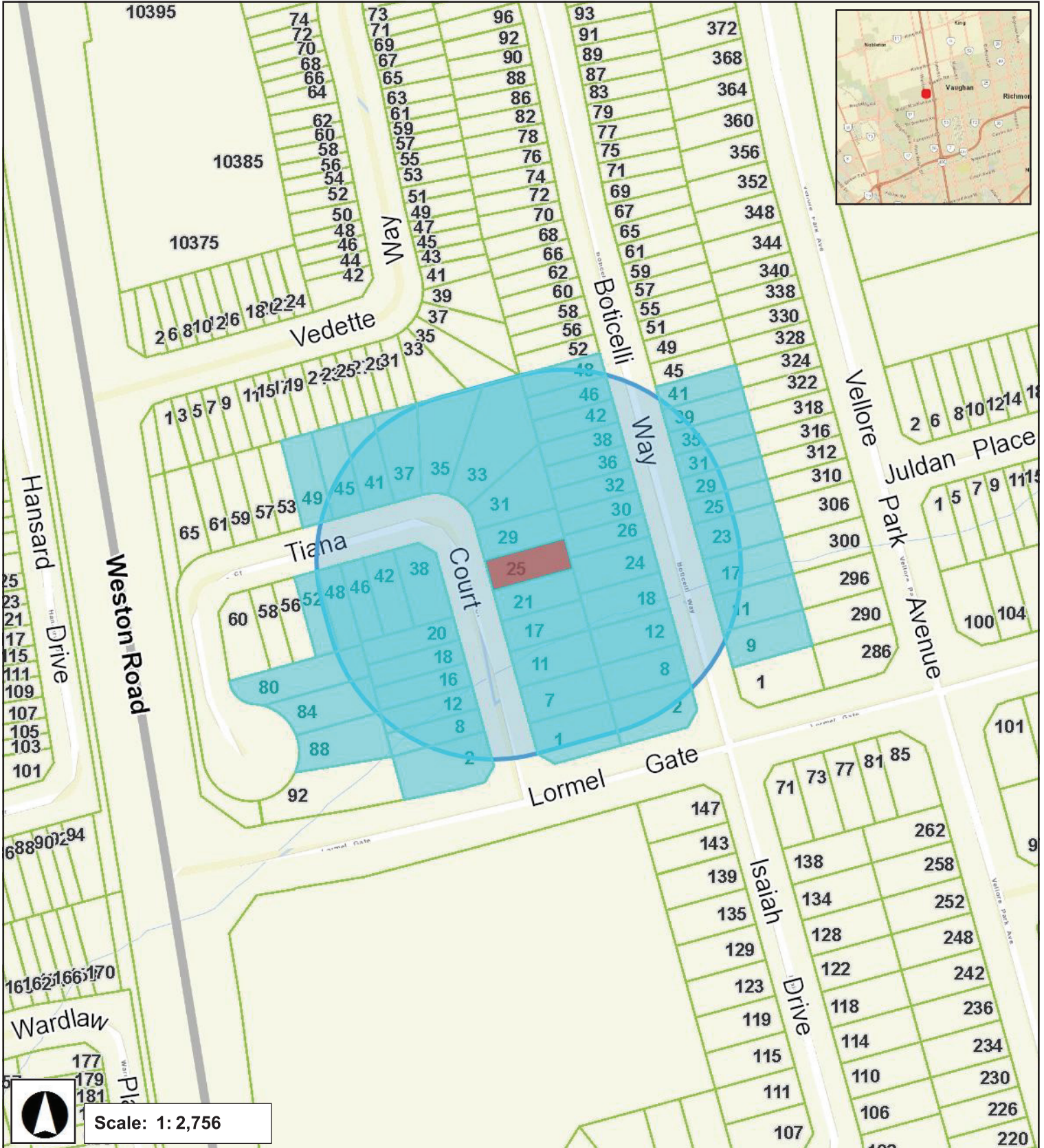
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

## **Schedule A: Plans & Sketches**

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

**Location Map  
Plans & Sketches**

25 Tiana Court, Woodbridge



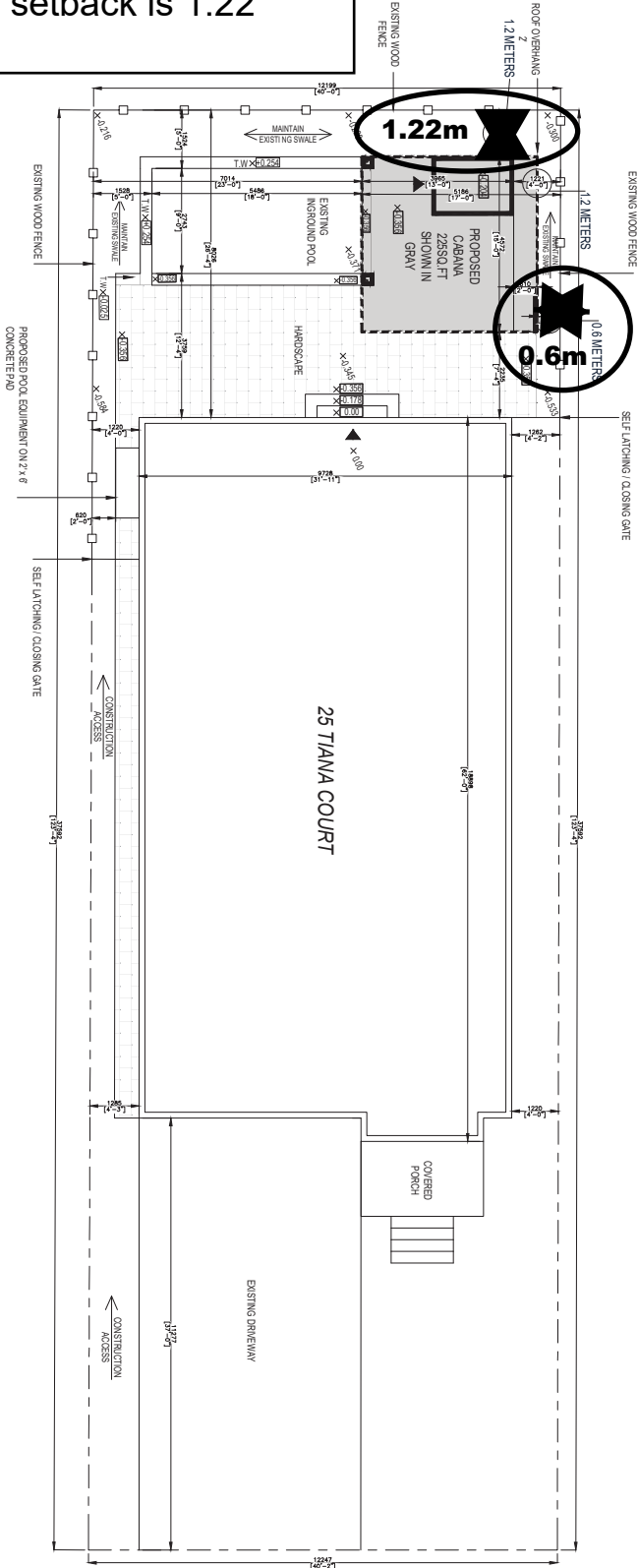
**Major Mackenzie Drive**

November 1, 2021 9:54 AM

**Proposal:**

- 1) The proposed south interior side yard setback is 0.6 metres.
- 2) The proposed rear yard setback is 1.22 metres.

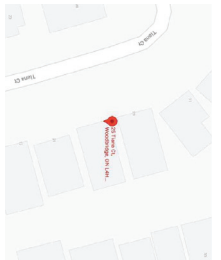
1:150  
Site Plan



**TIANA COURT**

SITE DEVELOPMENT	
LOT AREA	M2
TOTAL LOT AREA	459.2 m <sup>2</sup>
OVERALL LOT AREAS	M2
HOUSE FOOTPRINT	188.1 m <sup>2</sup>
CABANA FOOTPRINT	200.3 sqm
LOT COVERAGE	28.9%
EXISTING HOUSE	BY LAW
PROPOSED CABANA	44%
COVERED (BY LAW)	45%
LANDSCAPE AREA (REAR LOT)	BY LAW
TOTAL REAR AREA	N/A
SOFT LANDSCAPE AREA	289.4 sqm
HARD LANDSCAPE AREA	758.4 sqm
TOTAL LANDSCAPE AREA	N/A
TOTAL SOFTSCAPE (%)	28%
TOTAL LANDSCAPE AREA WHOLE LOT	BY LAW
TOTAL SOFT LANDSCAPE AREA	1343.4 sqm
TOTAL HARD LANDSCAPE AREA	N/A
TOTAL SOFTSCAPE (%) (WHOLE LOT)	27%

LEGEND	
	T.W. TYPING
	BY - Screen 0 m



NO.	DESCRIPTION
	ISSUED FOR CONSTRUCTION
	ISSUED FOR BID
	ISSUED FOR BUILDING PERMIT
	ISSUED FOR SITE PLAN APPROVAL
	DATE

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT PROCEEDING WITH CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER. DO NOT SCALE DRAWINGS.

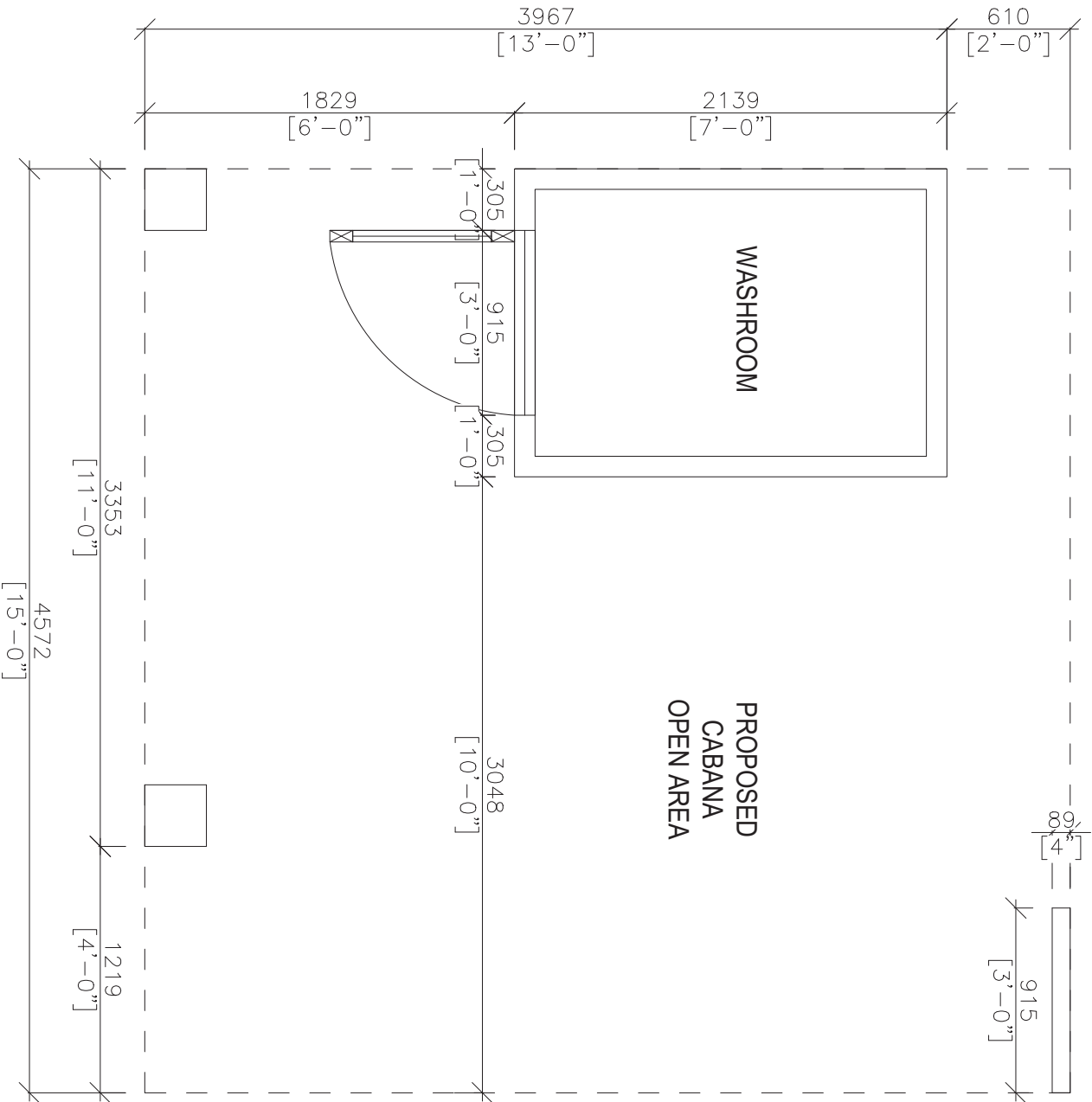


PROJECT:  
PROPOSED CABANA  
ON  
25 TIANA COURT  
VAUGHAN

DRAWING:  
SITE PLAN

PLOTTED:	PROJECT NO.
DATE:	2021-08-26
SCALE:	AS NOTED
DRAWN BY:	REVIEWED BY:
	DRAWING NO.
	<b>A1</b>





**A1.2**  
1:25  
**Cabana Floor Plan**

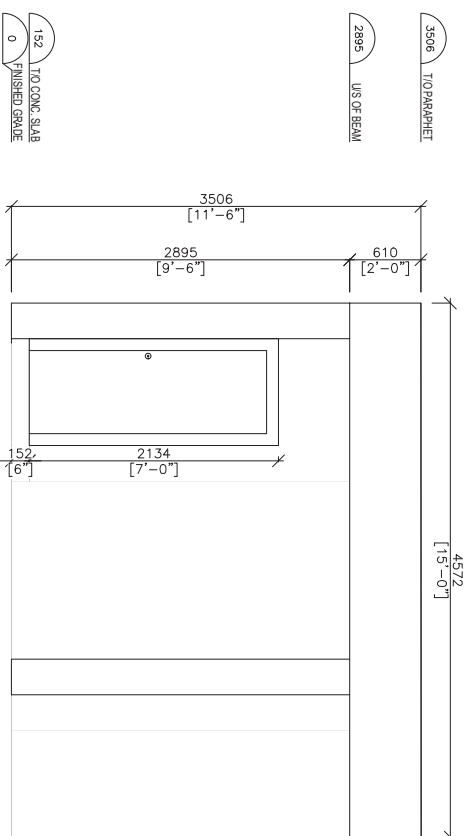
No.	DESCRIPTION	DATE
	ISSUED FOR CONSTRUCTION	
	ISSUED FOR BID	
	ISSUED FOR BUILDING PERMIT	
	ISSUED FOR SITE PLAN APPROVAL	
	SUBMITTALS	

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.  
DO NOT SCALE DRAWINGS.

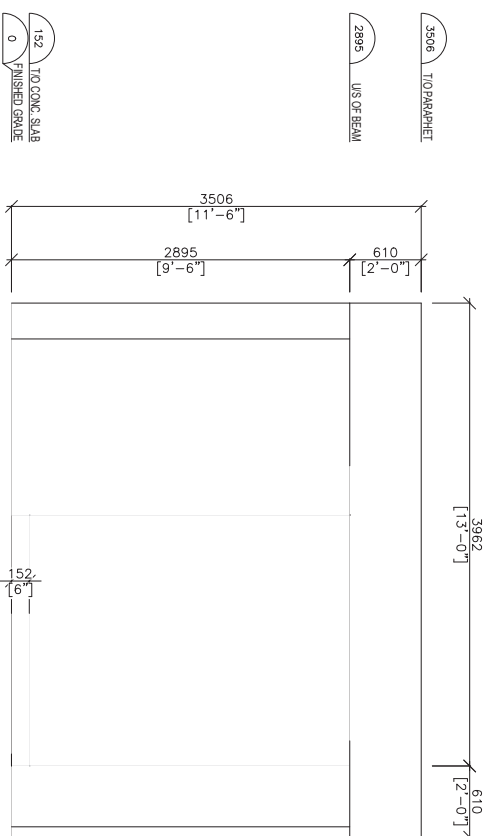


PROJECT: PROPOSED CABANA  
ON 25 TIANA COURT  
VAUGHAN

DRAWING: CABANA FLOOR PLAN	
DATE: 2021-08-26	PROJECT No.
SCALE: AS NOTED	DRAWING No.
DRAWN BY: REVIEWED BY:	
<b>A1.2</b>	



1  
A2  
1:50  
FRONT ELEVATION



2  
A2  
1:50  
SIDE ELEVATION

No.	DESCRIPTION	DATE
	ISSUED FOR CONSTRUCTION	
	ISSUED FOR BID	
	ISSUED FOR BUILDING PERMIT	
	ISSUED FOR SITE PLAN APPROVAL	
	SUBMITTALS	

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.  
DO NOT SCALE DRAWINGS.



PROJECT:  
PROPOSED CABANA  
ON  
25 TIANA COURT  
VAUGHAN

DRAWING:  
CABANA ELEVATIONS

PLOTTED:	PROJECT No.
DATE: 2021-08-26	
SCALE: AS NOTED	DRAWING No.
DRAWN BY: [REVIEWED BY:]	A2

## **Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None**

## **Schedule C: Development Planning & Agency Comments**

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

### **Development Planning – Comments with Conditions**

**Alectra (Formerly PowerStream) – No concerns or objections**

**Region of York – No concerns or objections**

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** November 18, 2021  
**Name of Owner:** Enzo and Giuseppe Aquilino  
**Location:** 205 Bourbon Street  
**File No.(s):** A212/21

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**Proposed Variance(s):**

1. To permit a minimum rear yard setback of 1.6 m for an accessory building (cabana).
2. To permit a minimum of 42.47% (48.92 m<sup>2</sup>) of that portion of the rear yard in excess of 135 square metres to be composed of soft landscaping.
3. To permit a maximum height of 3.57 m to the nearest part of the roof of an accessory structure (cabana), measured from finished grade.

**By-Law Requirement(s):**

1. A minimum rear yard setback of 7.5 m is required. [Schedule A]
2. In an R2 Zone, where the area of a rear yard of a lot is greater than 135 square metres, a minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 square metres shall be composed of soft landscaping. 250.18 m<sup>2</sup> - 135 m<sup>2</sup> x 60% = 69.11 m<sup>2</sup> required [4.1.2 b]
3. The nearest part of the roof shall not be more than three (3) m above finished grade. [4.1.1 b]

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is proposing to permit a cabana in the rear yard with the above-noted variances.

The Development Planning Department has no objection to the requested rear yard setback to the cabana. The requested rear yard setback of 1.6 m is measured to a pinch point and expands to 2.37 m at its greatest extent. Additional landscape screening in the form of hedge trees has been provided along the interior side yard and is also proposed between the cabana and the rear lot line, as shown on the submitted Site Plan, which will mitigate the visual impact of the structure.

The Development Planning Department does not object to Variance 2 as the Owner is proposing soft landscaping along the edge of the property which minimizes drainage impacts associated with an increase in hard landscaping. The Development Engineering (DE) Department has also reviewed the application and have no concern with the reduction in rear yard soft landscaping, subject to the condition that the Owner demonstrate appropriate Low-Impact Development (LID) measures to the satisfaction of DE to address the reduced soft landscaping coverage in the rear yard in order to mitigate potential impacts on the municipal storm water system.

A small portion of the roof of the cabana projects to a maximum height of 4.1 m, and the underside portion of the roof projection is measured at 3.57 m, for which a variance has been identified. Most of the structure is at a lower height which complies with both the total maximum height of 4.5 m for an accessory structure as well as the maximum height of 3 m measured to the nearest part of the roof of an accessory structure, for which the cabana provides 3.3 m and 2.7 m respectively. As the requested variance is only for a small portion of the roof, the Development Planning Department has no objection to Variance 3.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following condition(s) of approval are recommended:

None

**Comments Prepared by:**

Michael Torres, Planner I

Letizia D'Addario, Senior Planner

**COMMENTS:**

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Adriana MacPherson

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**Subject:** FW: A226/21 - Request for Comments

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>  
**Sent:** October-28-21 3:28 PM  
**To:** Adriana MacPherson <Adriana.MacPherson@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A226/21 - Request for Comments

Good afternoon Adriana,  
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst mcip rpp** | Community Planning and Development Services | The Regional Municipality of York | 1-877  
464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)