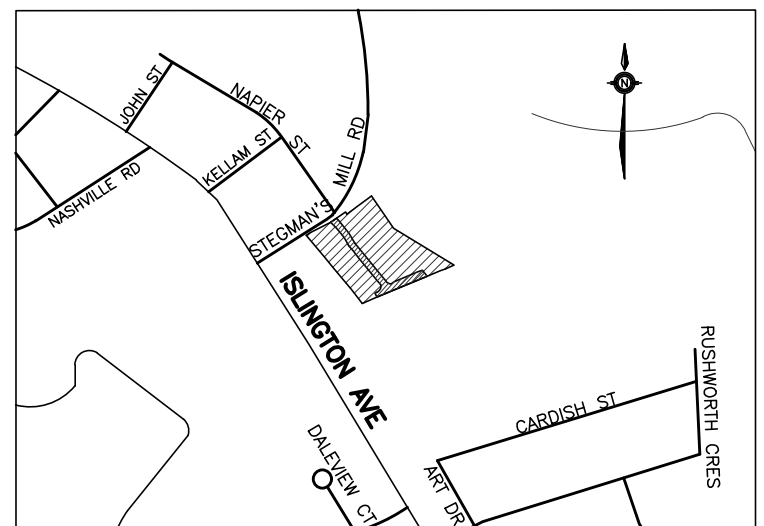




COVERAGE CALCULATIONS												
UNIT NUMBER	1	2	3	4	5	6	7	8	9	10	11	12
LOT AREA (m²)	993.07	409.01	462.15	380.42	307.30	668.89	534.82	623.48	501.09	492.45	490.61	489.34
BUILDING COVERAGE (including porch and deck) (m²)	238.72	238.72	199.18	199.18	160.13	220.61	307.02	196.03	238.72	238.72	238.72	238.72
LOT COVERAGE (%)	40.22	51.95	34.44	41.84	47.47	38.78	36.84	36.30	47.64	48.48	48.66	44.97

ATTACHMENT 3



KEY PLAN
NTS
SUBJECT LANDS

ELEVATIONS ARE GEODETIC AND ARE REFERENCED TO CITY OF VAUGHAN BENCH MARK NO. 54-5, HAVING AN ELEVATION OF 219.114m.

SITE STATISTICS

TOTAL NUMBER OF UNITS = 13
SITE AREA = 11.461 m²
= 1.146 ha approx.
= 2.83 acres approx.
LOT FRONTAGE = 63m
BUILDING COVERAGE = - m² = - %
PAVED AREA = - m² = - %
LANDSCAPED AREA = - m² = - %
PARKING MINIMUM PARKING SPACE = 3.00m X 6.00m
REQ'D PARKING = 2/UNIT
PARKING REQUIRED = 13 X 2 = 26 SPACES
PARKING PROVIDED = 52 SPACES

LEGEND:

- GRADE POINT
- BELL POLE
- HYDRO POLE
- STREET LIGHT
- FIRE HYDRANT
- TRANSFORMER
- VALVE CHAMBER
- WATER SERVICE
- STORM MANHOLE
- SANITARY MANHOLE
- CATCH BASIN
- STORM & SANITARY CONNECT
- SINGLE STORM & SANITARY
- RECESSED GAS METER
- RECESSED HYDRO METER
- SWALE DIRECTION
- CABLE TV PEDESTAL
- BELL PEDISTAL
- HYDRO
- SUPER MAIL BOX
- DROPPED GARAGE SLAB
- EXTERIOR DOOR LOCATION
- SIDE WINDOW LOCATION
- DOWNSPOUT LOCATION
- EMBANKMENT ± 1:1 SLOPE MAX
- AIR CONDITIONING UNIT REQ'D (AS PER NOISE REPORT)
- SLAB - LOWER FLOOR ELEVATION
- FINISHED FLOOR ELEVATION
- TBW TOP OF BASEMENT WALL
- BF BASEMENT FLOOR ELEVATION
- UPF UNDERSIDE OF FOOTING
- UPF UNDERSIDE OF FTG - GARAGE
- UPF UNDERSIDE OF FTG - REAR
- REV REVERSE PLANS
- 26.3R NUMBER OF RISERS
- PROPOSED ELEVATION
- EXISTING ELEVATION
- WOOD FENCE
- RETAINING WALL
- CHAIN LINK FENCE

No.	Description	Date	Rev.
1	ISSUED FOR SUBMISSION NO. 1	APRIL 27, 2021	AS
2	COORDINATED SITE PLAN WITH CIVIL BASE RECEIVED APRIL 22, 2021. LANDSCAPE PLAN RECEIVED APRIL 21, 2021. REVISED TURN AROUND TO AVOID RETAINING WALL ENCROACHMENT. ISSUED TO ALL CONSULTANTS.	APRIL 26, 2021	AS
3	COORDINATED SITE PLAN WITH CIVIL BASE RECEIVED MARCH 18, 2021. ELECTRICAL DESIGN RECEIVED MARCH 17, 2021. REVISED HOUSE TEMPLATES AS PER UNIT DESIGNS. ISSUED TO ALL CONSULTANTS.	APRIL 13, 2021	AS
4	COORDINATED SITE PLAN WITH CIVIL BASE RECEIVED MARCH 19, 2021. ISSUED TO ALL CONSULTANTS.	MARCH 16, 2021	AS
5	ISSUED SITE PLAN TO KLM FOR COORDINATION	NOV. 10, 2020	AS

Cassidy + Company
Residential Design Consultants

60 RANDALL DRIVE, SUITE 11, RICKERSON VILLAGE, AJAX, ONTARIO
(905) 619-1270 FAX (905) 619-1288

Client: KLEINBURG VILLAGE DEVELOPMENT CORPORATION

Project Name: PROPOSED DEVELOPMENT
357, 365, & 375 STEGMAN'S MILL ROAD
KLEINBURG, CITY OF VAUGHAN
DA.16.071

Legal Description: PART OF LOTS 22, 23 AND 24
REGISTERED PLAN 11
AND
PART OF LOT 24, CONCESSION 8
CITY OF VAUGHAN
(GEOGRAPHIC TOWNSHIP OF VAUGHAN)
THE REGIONAL MUNICIPALITY OF YORK

Drawn by: AS Checked by: PK Date printed: April 27, 2021

Sheet Title: SITE PLAN

Date: November, 2020 DWS: NO

Scale: 1 = 200 m Project No.: 2020-37 City File No.: PAC.20.061

SP1

