



File: A185/21

Applicant: 77 Woodstream Inc.

Address: 77 Woodstream Blvd, Woodbridge

Agent: Humphries Planning Group Inc

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Thursday, September 30, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



**Minor Variance
Application**

Agenda Item:20

A185/21

Ward: 2

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, September 30, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: 77 Woodstream Inc.

Agent: Humphries Planning Group Inc

Property: **77 Woodstream Blvd, Woodbridge**

Zoning: The subject lands are zoned RA3, Apartment Residential Zone, RM2, Multiple Residential Zone, and OS1, Open Space Conservation Zone, and subject to the provisions of Exception 9(1499) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Mixed-Use", with a maximum permitted building height of 15-storeys and maximum floor space index ('FSI') of 2.61 times the area of the lot.

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit a residential complex including two (2) high-rise condominium towers (ranging from 13 to 15 storeys) and three (3) townhouse blocks consisting of three-storey townhouse units. Relief is also required to facilitate related Site Plan Application DA.15.072.

The development proposes a total of 394 condominium units and 28 townhouse units.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum Outdoor amenity area of 2611 m2 is required [Exception 9(1499) ei)ii)].	1. To permit a minimum of 2496 m2 of outdoor amenity area external to Buildings 'A' and 'B'.
2. A maximum Building height of 11 metres is required (Schedule A).	2. To permit a maximum building height of 12.85 metres in the RM2 zone.
3. A minimum Lot area per unit of 37.7 m2 is required [Exception 9(1499) fi)j)].	3. To permit a minimum Lot Area of 35.1 m2 per unit.

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on September 15, 2021

Applicant confirmed posting of signage on – to be confirmed.

Property Information	
Existing Structures	Year Constructed
Residential Buildings and Townhomes	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s):
 Minimum Lot Area (Bylaw 087-2020 sc.fi.i) - required is 37.7 sqm per unit / proposed is 35.1 sqm per unit.
 Maximum Building Height for townhouse blocks (Bylaw 087-2020 fi.ii): required is 11.0 metres / proposed is 12.85 metres
 Minimum indoor amenity Area (By-law 087-2020 ei il)): required is 2,611 sqm / proposed 2,550 sqm.

Adjournment Request: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Building Inspections (Septic):

No comments or concerns

Development Planning:

City of Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Mixed-Use", with a maximum permitted building height of 15-storeys and maximum floor space index ('FSI') of 2.61 times the area of the lot.

The Owner is requesting permission to construct a mixed-use residential/commercial development consisting of 15 and 13-storey residential buildings, and three townhouse blocks (the 'Development') as identified in Official Plan Amendment File OP.11.003, Zoning By-law Amendment File Z.11.009, and Site Development File DA.15.072. Vaughan Council, on September 27, 2018, approved Files OP.11.003, Z.11.009 and DA.15.072 subject to conditions, and enacted Official Plan Amendment No. 31 and Bylaw 087-2020 on June 29, 2020. In accordance with the recommendations of the Committee of the Whole Report, ratified by Council on September 27, 2018, the Owner is permitted to apply for a Minor Variance application to permit minor adjustments to the in-effect Zoning By-law to the City and/or the Vaughan Committee of Adjustment, if required, before the second anniversary of the day on which the implementing Zoning By-law for the subject lands comes into full force and effect.

The Owner has provided a resubmission of File DA.15.072 to the Development Planning Department to facilitate minor revisions to the approved Development. The Development Planning Department can support the proposed variances, as they have been reviewed as part of the Site Development review process for File DA.15.072, and are considered appropriate.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A185/21 subject to the following condition(s):

The Owner/applicant shall obtain approval for the related Development Application (Site Plan Amendment Application DA.15.072) from the Development Engineering (DE) Department.

Additional Comments:

1. As there is a Development Application (DA.15.072) for the subject address, a condition is attached with the COA approval. After receiving the approval for DA.15.072 from Development Engineering Department, the applicant should notify the COA Engineering reviewer to clear the condition.

Parks Development - Forestry:

Forestry is currently working with Development Planning on this address.

By-Law and Compliance, Licensing and Permit Services:

No comments received to date

Development Finance:

1. That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.
2. That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.
3. That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.
4. That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Fire Department:

No comments received to date

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

Cover Letter

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

TRCA – comments with conditions

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	The Owner/applicant shall obtain approval for the related Development Application (Site Plan Amendment Application DA.15.072) from the Development Engineering (DE) Department.

	Department/Agency	Condition
2	TRCA Hamedeh Razavi 416-661-6600 x 5256 hamedeh.razavi@trca.ca	1. That the applicant provides the required fee amount of \$1,155.00 payable to the Toronto and Region Conservation Authority. 2. The applicant obtains a permit pursuant to Ontario Regulation 166/06 for the proposed development.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

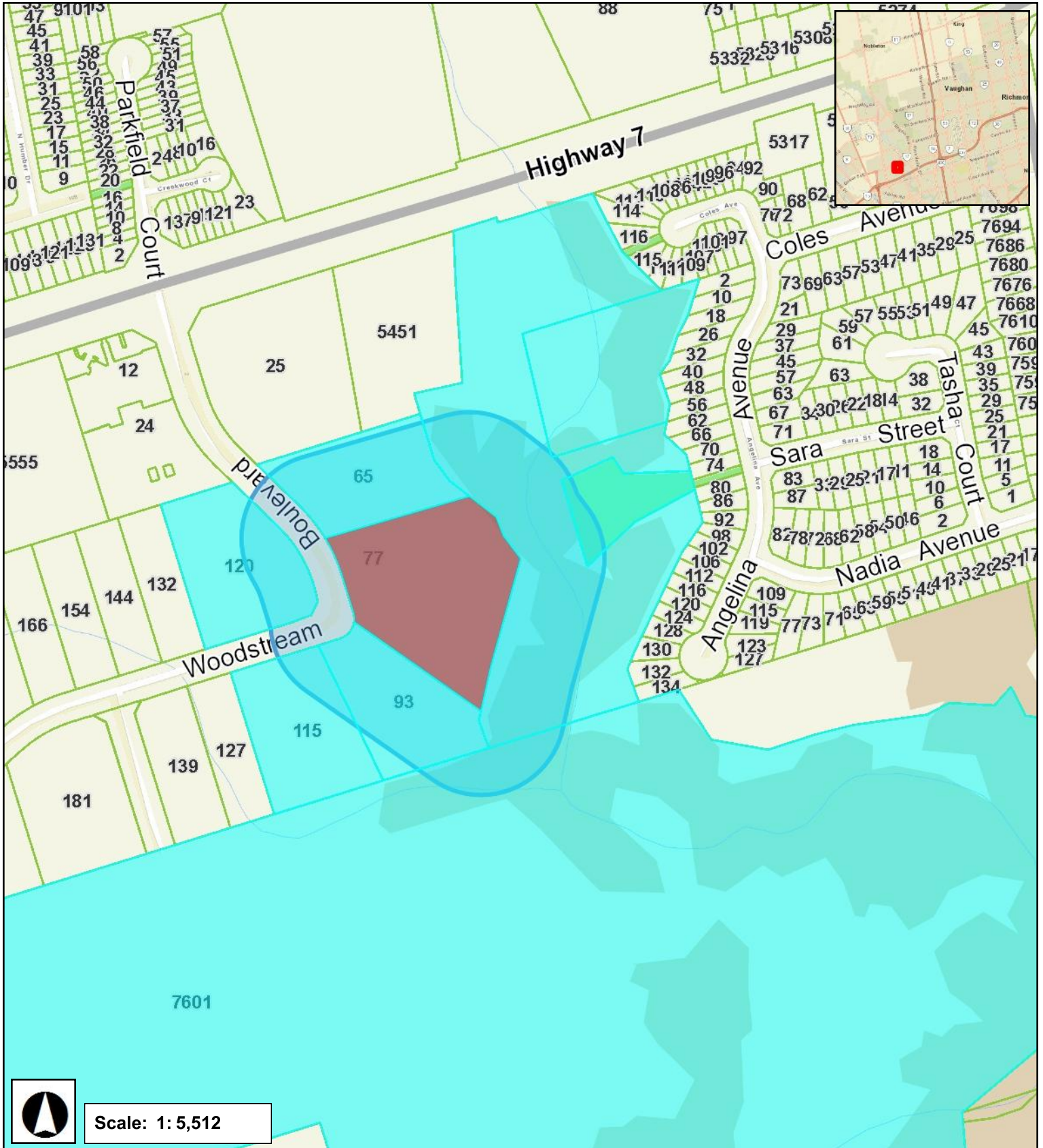
For further information please contact the City of Vaughan, Committee of Adjustment
Adriana MacPherson
T 905 832 8585 Extension 8360
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

**Location Map
Plans & Sketches**

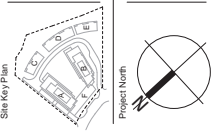
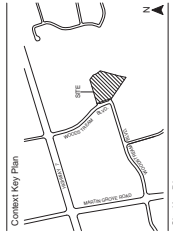
77 Woodstream Blvd, Woodbridge



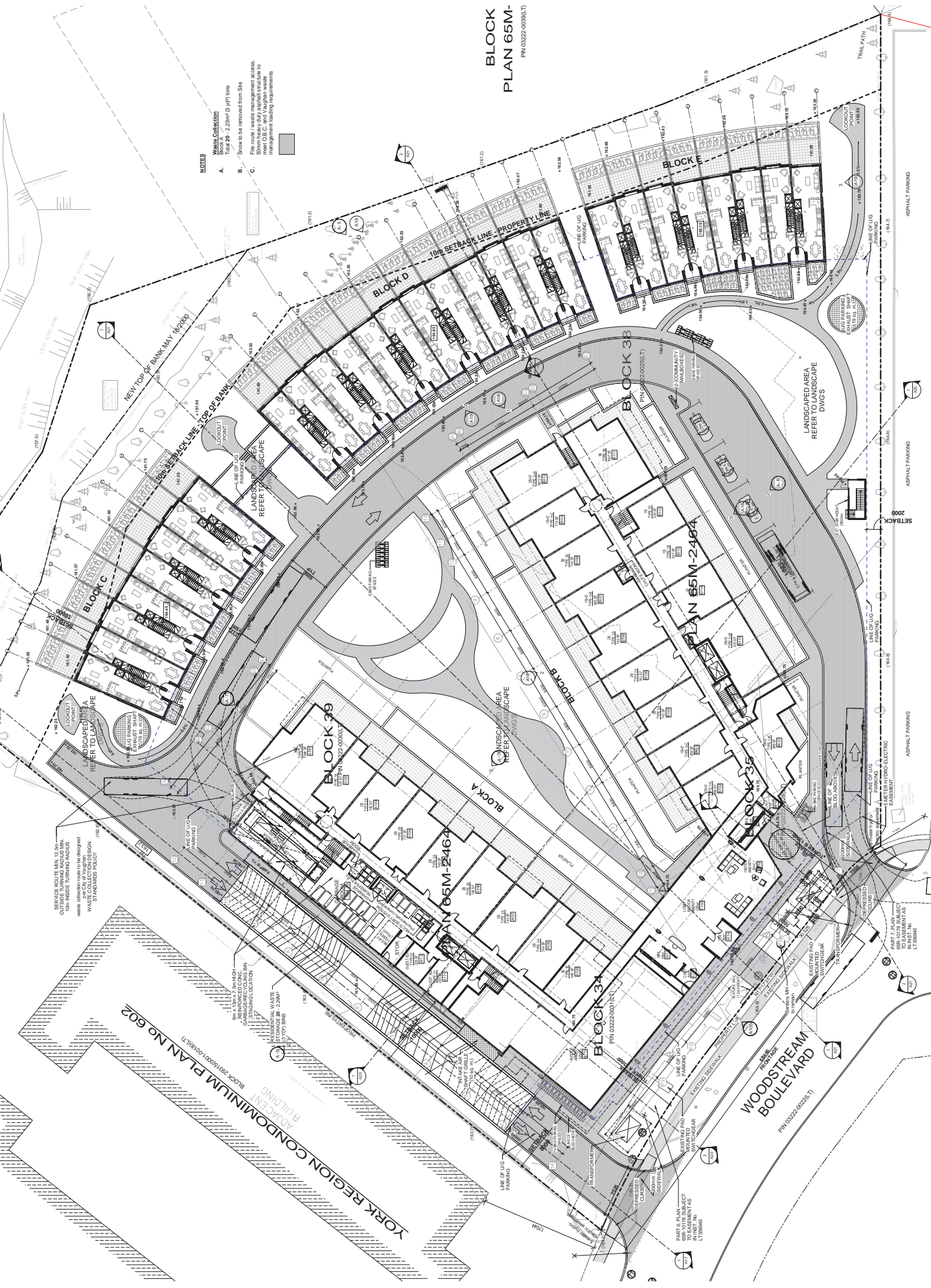
Client: 77 Woodstream Inc. (PIN 0222-0039LT)
 Consultant: KFA architects + planners inc. (PIN 0222-0039LT)
 No part of this document may be reproduced, stored in a retrieval system or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written permission of KFA Architects + Planners Inc. Drawings are to be used only for the project and site conditions shown. Drawings are not to be used for any other project or purpose. All work is subject to the relevant zoning bylaws and regulations.

No.	Description	Date
1	Revised for SFA	03/07/2017
2	Site Plan Re-submission	15/07/2017
3	Site Plan Re-submission	04/05/2017
4	Site Plan Re-submission	15/03/2016
5	Site Plan Re-submission	15/03/2016
6	Re-submitted for SFA	15/03/2016
7	Re-submitted for SFA	07/24/2015
8	Re-submitted for SFA	07/24/2015
9	Re-submitted for SFA	07/24/2015
10	Re-submitted for SFA	07/24/2015
11	Re-submitted for SFA	07/24/2015
12	Re-submitted for SFA	07/24/2015
13	Re-submitted for SFA	07/24/2015

- NOTES**
- A. Waste Collection
 Block A
 1. 1st 20' - 2.28m (3) yard line
 - B. Show to be removed from Site
 - C. Fire require: waste management access to meet O.B.C. and Vaughan waste management loading requirements



BLOCK PLAN 65M-2464
 PIN 0222-0039(LT)



Client
77 Woodstream Inc.
 VAUGHAN, ONTARIO



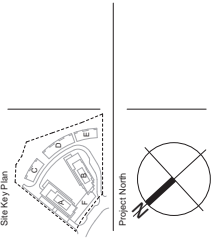
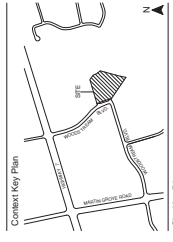
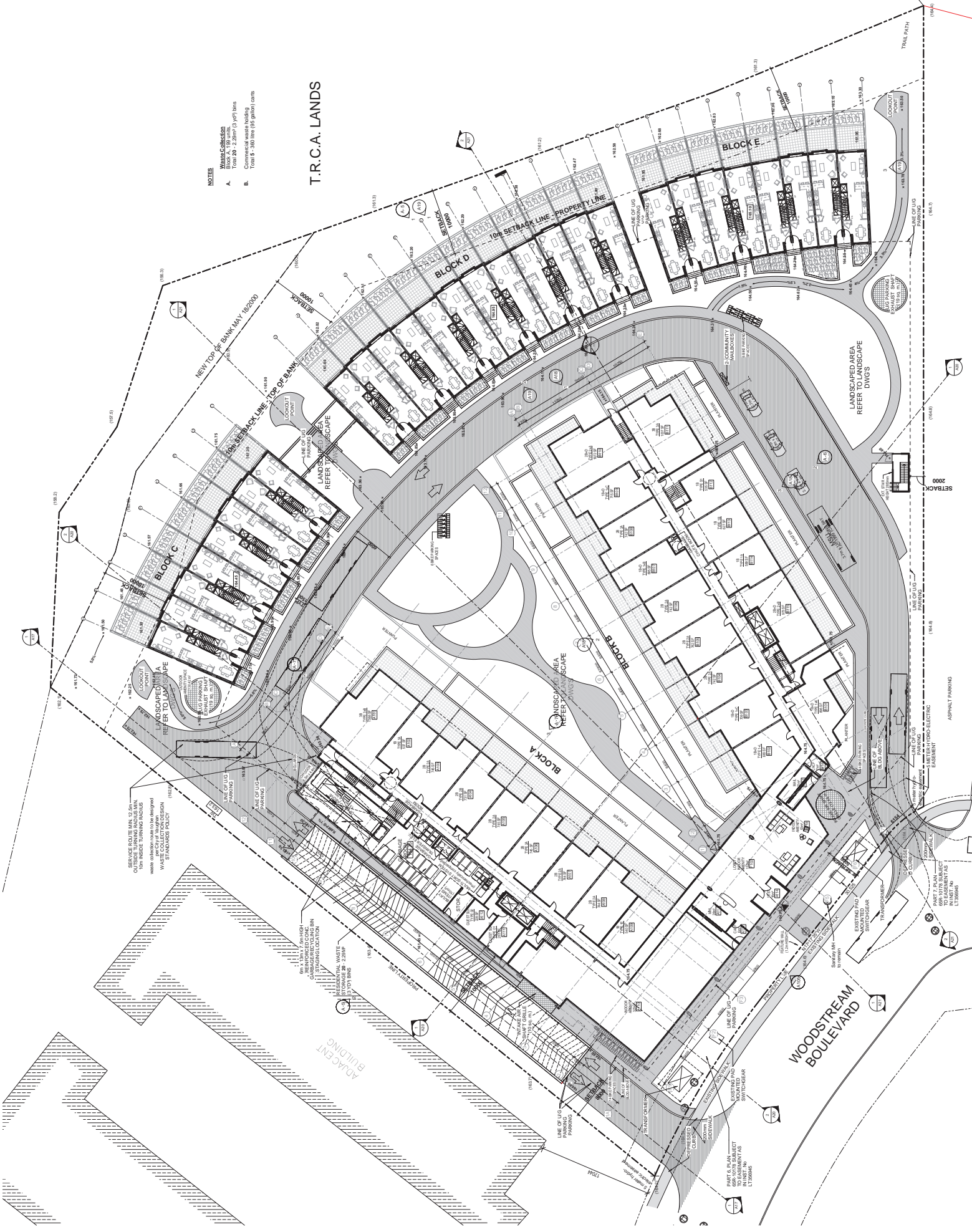
Project No: 08016
 Scale: 1 : 200
 Date: April 21, 2021
 Drawn by: MK
 Drawing Title: Site Plan

Consultant's drawings are prepared by the firm named herein and are not to be used for any other project without the written consent of the firm. All rights are reserved. No part of this document may be reproduced, stored in a retrieval system or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written permission of KFA Architects Inc. Drawings are to be used only for the project and site conditions shown. Drawings are to be used only for the project and site conditions shown. Drawings are to be used only for the project and site conditions shown.

No.	Description	Date
1	Issued for SPA	03/07/2017
2	Site Plan Re-submission	13/07/2017
3	Site Plan Re-submission	04/05/2017
4	Re-issued for SPA	15/03/2017
5	Re-issued for SPA	02/02/2017
6	Re-issued for SPA	02/02/2017
7	Re-issued for SPA	02/02/2017
8	Re-issued for SPA	02/02/2017
9	Re-issued for SPA	02/02/2017
10	Re-issued for SPA	02/02/2017
11	Re-issued for SPA	04/21/2021
12	Issued for Coordination	05/19/2021
13	Re-issued for SPA	07/08/2021

NOTES
Mass Collection
 Block A: 150 units
 Block B: 220 units (5 per lot)
 Block C: 220 units (5 per lot)
 Block D: 300 units (5 per lot)

T.R.C.A. LANDS



Client
77 Woodstream Inc.
 VAUGHAN, ONTARIO
 Consultant



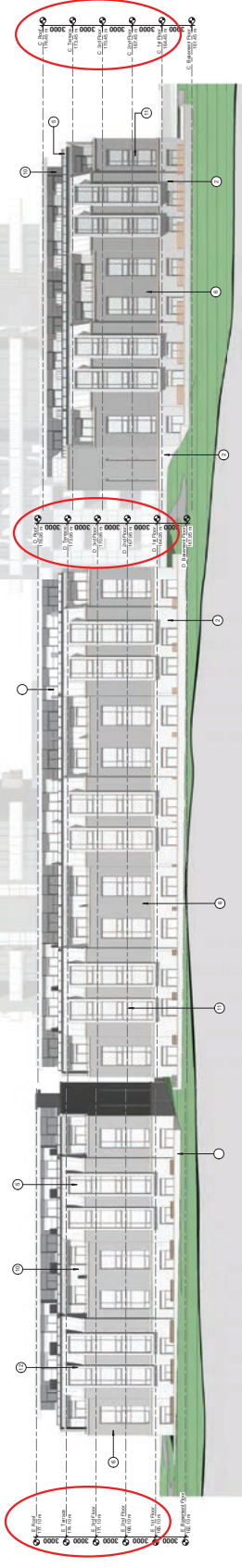
Project No: 08016
 Scale: 1 : 200
 Date: April 21, 2021
 Drawn by: MK
 Drawing Title: Ground Floor Plan

Ground Floor Plan

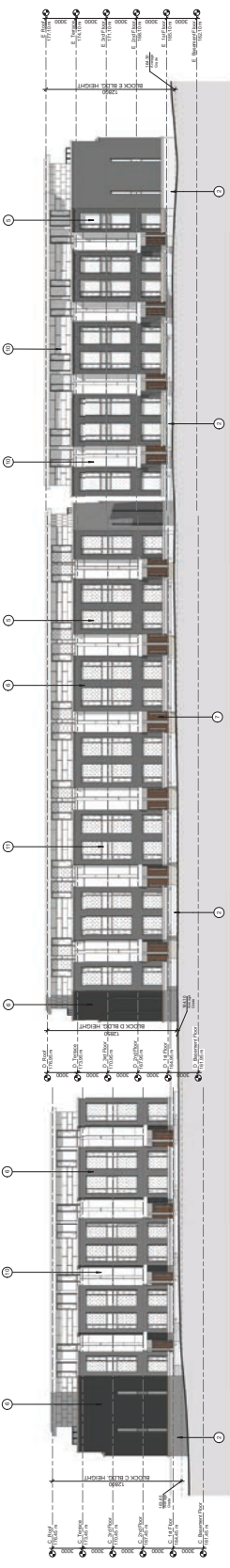
Drawing Number

Client: 77 Woodstream Inc. 77 Woodstream, 100 Woodstream Ave., Unit 100, Vaughan, Ontario L4L 1C8
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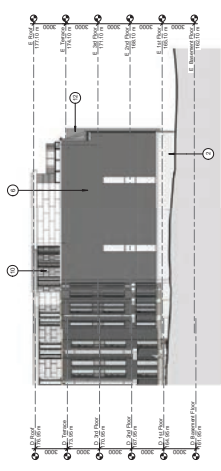
No.	Description	Date
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2	Site Plan Re-submission	13/07/2017
3	Site Plan Re-submission	04/09/2017
4	Re-issued for SPA	18/09/2017
7	Re-issued for SPA	04/10/2017
11	Re-issued for SPA	04/21/2021
12	Issued for Coordination	05/19/2021
13	Re-issued for SPA	07/06/2021



1 Block C, D - East Elevation
1:200

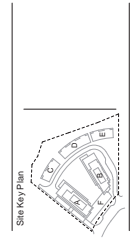


2 Block C, D and E - West Elevation
1:200



3 Block D - South Elevation Typ.
1:200

- MATERIAL LEGEND**
- 1 BRICK ASHORE BLACK
 - 2 BRICK ASHORE UNITS
 - 3 WINDOW WALL
 - 4 FROSTED GLASS BALCONY GUARD
 - 5 CURTAIN WALL
 - 6 BRICK ASHORE
 - 7 TERRAZZO WOOD PANEL
 - 8 BALCONY EDGE
 - 9 STONE CLADDING
 - 10 ANODIZED ALU. N. ROOF FINISH
 - 11 SPANDREL GLASS
 - 12 PREFINISHED ETAL
 - 13 PLASTER ON CONCRETE
- ALL WINDOWS MATCHED WITH THIS PATTERN
 ALL WALLS MATCHED WITH THIS PATTERN
 ALL BALCONY GLASS MATCHED WITH THIS PATTERN
 ALL TERRAZZO MATCHED WITH THIS PATTERN
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 ALL PLASTER ON CONCRETE MATCHED WITH THIS PATTERN



Client
77 Woodstream Inc.
 VAUGHAN, ONTARIO



Project No: 08016
 Scale: As indicated
 Date: April 21, 2021
 Drawn by: K
 Drawing Title: Elevations - Block C, D, E

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Cover Letter

August 17, 2021
HPGI File: 10236

Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan, Ontario
L6A 1T1

Attn: Pravina Attwala
Administrative Coordinator

Re: Minor Variance Application Cover Letter
Blocks 34, 35, 38 and Part of Block 39, Plan 65M-2464
77 Woodstream Boulevard
77 Woodstream Inc.
City File: DA.15.072

Humphries Planning Group Inc. ('HPGI') is the planning consultant for 77 Woodstream Inc., the legally registered owners of the lands described as Blocks 34, 35, 38 and Part of Block 39 within Plan 65M-2464 and municipally known as 77 and 87 Woodstream Boulevard, in the City of Vaughan (the "Subject Site").

A Minor Variance application is being submitted to permit the development as proposed per the current Site Plan Amendment application (DA.15.072) which includes a residential complex including two (2) high-rise condominium towers ranging from 13 – 15 storeys in height and three (3) townhouse blocks consisting of three-storey townhouse units with roof-top terraces. The development proposes a total of 394 condominium units and 28 townhouse units for a total unit count of 422 units. The development was draft approved by City of Vaughan Council through the Committee of the Whole Report on September 17, 2018. Following Council's decision, the associated Official Plan Amendment (OPA 31) and Zoning By-law Amendment (By-law 087-2020) were enacted on August 13, 2020.

Following the approval of the previous Site Plan, the owner submitted a Site Plan Amendment Application on March 8, 2021 in order to remove the commercial component and repurpose the first and second floor of the building's podium with additional residential units. The Site Plan amendment also adding additional parking spaces in Parking Level 3 (P3) and a mechanical room and roof-top terraces to the townhouse units.

In order to facilitate the development proposed in current Site Plan Amendment application, relief from the site-specific Zoning By-law 087-2020 is required, as confirmed from the Building Department memo dated April 6, 2021. The relief being requested from site-specific Zoning By-law 087-2020 is: Section fi.i – Minimum Lot Area, Section fi.ii – Maximum Building Height for Townhouse blocks and Section ei.ii – Minimum indoor amenity area.

Section fi.i of By-law 087-2020 permits a minimum lot area of 37.7 m² per unit, whereas the development proposes a minimum lot area of 35.1 m² per unit. The reduction in minimum lot area is required as the proposed development increased by 29 units which decreases the minimum lot area required for the Subject Site. It should be noted that the proposed size and massing of the condominium buildings have not changed which results in a net zero increase in building FSI and remains as approved at 2.61.

Section fi.ii of By-law 087-2020 permits a maximum building height for the RM2 (townhouse blocks) to 11 metres, whereas the development proposed a height of 12.85 metres for the townhouse units. The added height for the townhouse units allows for the addition of a mechanical room and accessible rooftop terrace adding private amenity space for residents.

Section ei.ii of By-law 087-2020 permits a minimum outdoor amenity space of 2,611 m², whereas the development proposes a minimum outdoor amenity space. The total amenity area of the proposed development has not been reduced rather a portion of the outdoor amenity has now been included indoors. The proposed development proposes a total amenity area of 3,545 m² which complies with the minimum amenity area in By-law 087-2020.

In support of the Minor Variance application, Humphries Planning Group Inc. is submitting the following materials:

Deliverable	Consultant	Date	Copies
Cover Letter	HPGI	August 16, 2021	1
Signed and Commissioned Minor Variance Application Form	Owner	August 13, 2021	1
Cheque, in the amount of \$3,060.00 , representing the required application fee	--	--	1
Site Plan (with highlighted variances)	KFA Architects + Planners	July 6, 2021	1

77 Woodstream Inc.

August 17, 2021

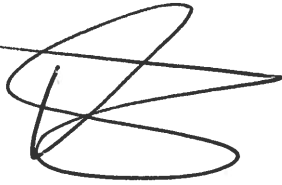
Page 3 of 2

Digital Submission	--	--	1
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We trust that the above is in order and constitutes a complete application for Minor Variance. We request that notice of such be issued and that the enclosed materials be circulated for review and a meeting be scheduled with the Committee of Adjustment.

Yours truly,

HUMPHRIES PLANNING GROUP INC.



Rosemarie L. Humphries BA, MCIP, RPP
President

cc. 77 Woodstream Inc.

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

TRCA – comments with conditions



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Adriana MacPherson

Subject: FW: A185/21 - Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: September-10-21 2:35 PM
To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A185/21 - Request for Comments

Good afternoon Adriana,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

September 20, 2021

CFN 64195.27
X-Ref CFN 55147.01, 45067.03

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A185.21
77 Woodstream Boulevard
Part Lot 5, Concession 8
City of Vaughan
Owner: 77 Woodstream Inc. c/o Phil Campione
Agent: Humphries Planning Group Inc. c/o Rosemarie Humphries**

This letter acknowledges receipt of the above noted application, received by Toronto and Region Conservation Authority (TRCA) on August 16, 2021. TRCA staff has reviewed the above noted application, and as per the "Living City Policies for Planning and Development within the Watersheds of the TRCA" (LCP), provides the following comments as part of TRCA's commenting role under the *Planning Act*; the Authority's delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA's Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

Background

It is our understanding that the purpose of the above-noted application is to request the following variances:

1. To permit a minimum of 2496 m² of outdoor amenity area external to Buildings 'A' and 'B'
2. To permit a maximum building height of 12.85 metres in the RM2 zone.
3. To permit a minimum Lot Area of 35.1 m² per unit.

Ontario Regulation 166/06:

The subject lands are partially located within TRCA's Regulated Area due to the presence of a valley corridor associated with the Humber River Watershed located on the eastern portion of the property. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected. In this regard, TRCA must be contacted prior to any works taking place in the Regulated Area.

Application-Specific Comments

TRCA has been involved with reviewing *Planning Act* applications for the subject development, including Official Plan Amendment OP.11.003, Zoning By-law Amendment Z.11.009, and Site Development Application DA.15.072. Through the review of these applications, TRCA's interests related to protecting the natural heritage system and avoiding natural hazards were addressed, and TRCA indicated to have no objections to the approval of the above-noted OPA and ZBA. However, TRCA has approved the Site Development Application DA.15.072 subject to the following conditions, which are still outstanding:

1. That a permit be obtained from the Toronto and Region Conservation Authority (TRCA), pursuant to Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alteration to Shorelines and Watercourses) prior to any works (i.e., site alteration, grading, servicing) being undertaken in TRCA's Regulated Area; and
2. That the portion of valley lands zoned OS1 be dedicated either to the City of Vaughan, or the TRCA, free of all charges and encumbrances.

Based on a review of the plans submitted with the Minor Variance Application A185.21, TRCA is satisfied that the noted works are consistent with the plans that were conditionally approved as a part of the Site Development Application DA.15.072. As such, TRCA has no concerns with the approval of the proposed variances.

Fees

By copy of this letter, the applicant is advised that TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$1,155.00 (*Minor Variance-Subdivision-Minor*) review fee. The applicant is responsible for the fee payment and should forward the application review fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A185.21 subject to the following conditions:

1. That the applicant provides the required fee amount of \$1,155.00 payable to the Toronto and Region Conservation Authority.
2. The applicant obtains a permit pursuant to Ontario Regulation 166/06 for the proposed development.

TRCA's conditional approval does not include any clearance and/or approvals for the Site Development Application DA.15.072.

We trust these comments are of assistance. Should you have any questions, please contact me at extension 5256 or at Hamedeh.Razavi@trca.ca

Sincerely,



Hamedeh Razavi
Planner I
Development Planning and Permits

HR/sb

Cc: Simbana, Roberto Roberto.Simbana@vaughan.ca
Holyday, Margaret Margaret.Holyday@vaughan.ca
Michael Torres Michael.Torres@vaughan.ca

Schedule D: Previous Approvals (Notice of Decision)

None