

File: A171/21

Applicant: Lino & Italia Arci

Address: 20 Cipriano Ct Woodbridge

Agent: None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
 Hearing Date: Thursday , September 30, 2021

***Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).**



Minor Variance Application

Agenda Item: 14

A171/21

Ward: 2

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday , September 30, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Lino & Italia Arci

Agent: None

Property: **20 Cipriano Ct Woodbridge**

Zoning: The subject lands are zoned R1, Residential and subject to the provisions of Exception 9(665) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 10.0 metres is required [Exception 9(665)].	1. To permit a minimum rear yard setback of 1.22 m for an accessory structure (taken to the exterior wall/post of structure).
2. A minimum interior side yard setback of 1.8 metres is required [Exception 9(665)].	2. To permit a minimum westerly interior setback of 1.22 m for an accessory structure (taken to the exterior wall/post of structure).
3. A minimum of 60 % (126.28 m2) of the portion of the rear yard in excess of 135 square metres shall be composed of soft landscaping (345.47m2-135m2 x 60% = 126.28 m2) [Subsection 4.1.2].	3. To permit a minimum of 58.4% (123.07 m2 of the area of the rear yard in excess of 135 square metres to be composed of soft landscaping.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on September 15, 2021

Applicant confirmed posting of signage on September 25, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2000 (Purchased 2004)

Applicant has advised that they cannot comply with By-law for the following reason(s):
The current setbacks create restrictions on the location of the cabana.

Adjournment Request: N/A...

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 21-113040 - New, Issue Date: (Not Yet Issued)

The applicant shall be advised that eave and gutter projections for the cabana shall not extend more than 0.5 metres into all required yards.

The Applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Building Inspections (Septic):

No comments received to date

Development Planning:

Official Plan: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is proposing to construct a cabana in the rear yard with a requested rear and interior side yard setback of 1.22 m, and a proposed reduction to the required rear yard soft landscaping.

The Development Planning Department has no concerns with Variances 1 and 2. The proposed cabana is covered and unenclosed and maintains the as-of-right height and area permissions, which helps mitigate impacts resulting from the reduced rear and interior side yard setbacks. The subject property also abuts an open space area at the rear, which is screened by existing cedar hedges within the subject property.

The Development Planning Department has no objection to Variance 3, as the requested reduction in the required soft landscaping in the rear yard is considered minor and will not have an impact on neighbouring properties. The Development Engineering Department has reviewed the application and has no concern with the reduction in soft landscaping.

In support of the application, the Owner has submitted a Tree Inventory and Protection Plan, prepared by The Urban Arborist Inc., dated July 22, 2021. Urban Design staff have reviewed the Tree Inventory and Protection Plan and concur with its recommendations.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Development Engineering:

The Development Engineering (DE) Department does not object to Minor Variance Application A171/21.

The owner is now proposing works that result in the increase in the hard landscaping area of lot coverage from 60% to 58.6% which result in the difference of 1.4%. The additional hard surface lot coverage will have an impact on storm water runoff. In order to minimize the water runoff, staff recommend the owner introduce Low-impact Development (LID) measures where suitable e.g., flower gardens, Bioswales, Permeable pavement, Infiltration trenches.

Parks Development - Forestry:

Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018. Arborist recommendations are to be followed as outlined in the Arborist Report.

By-Law and Compliance, Licensing and Permit Services:

No comments no concerns

Development Finance:

No comment no concerns

Fire Department:

No comments received to date

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: None

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

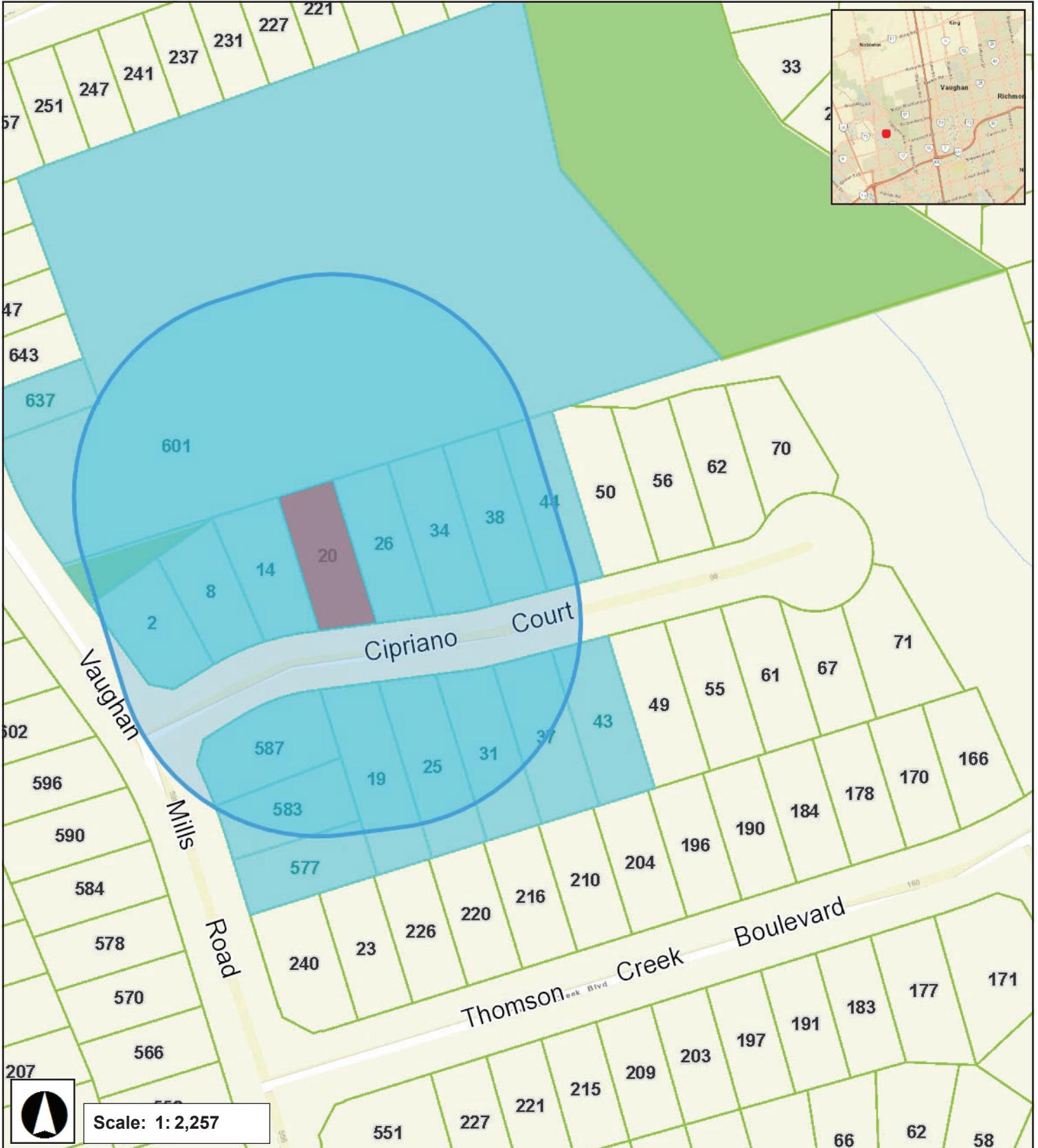
Location Map
Plans & Sketches

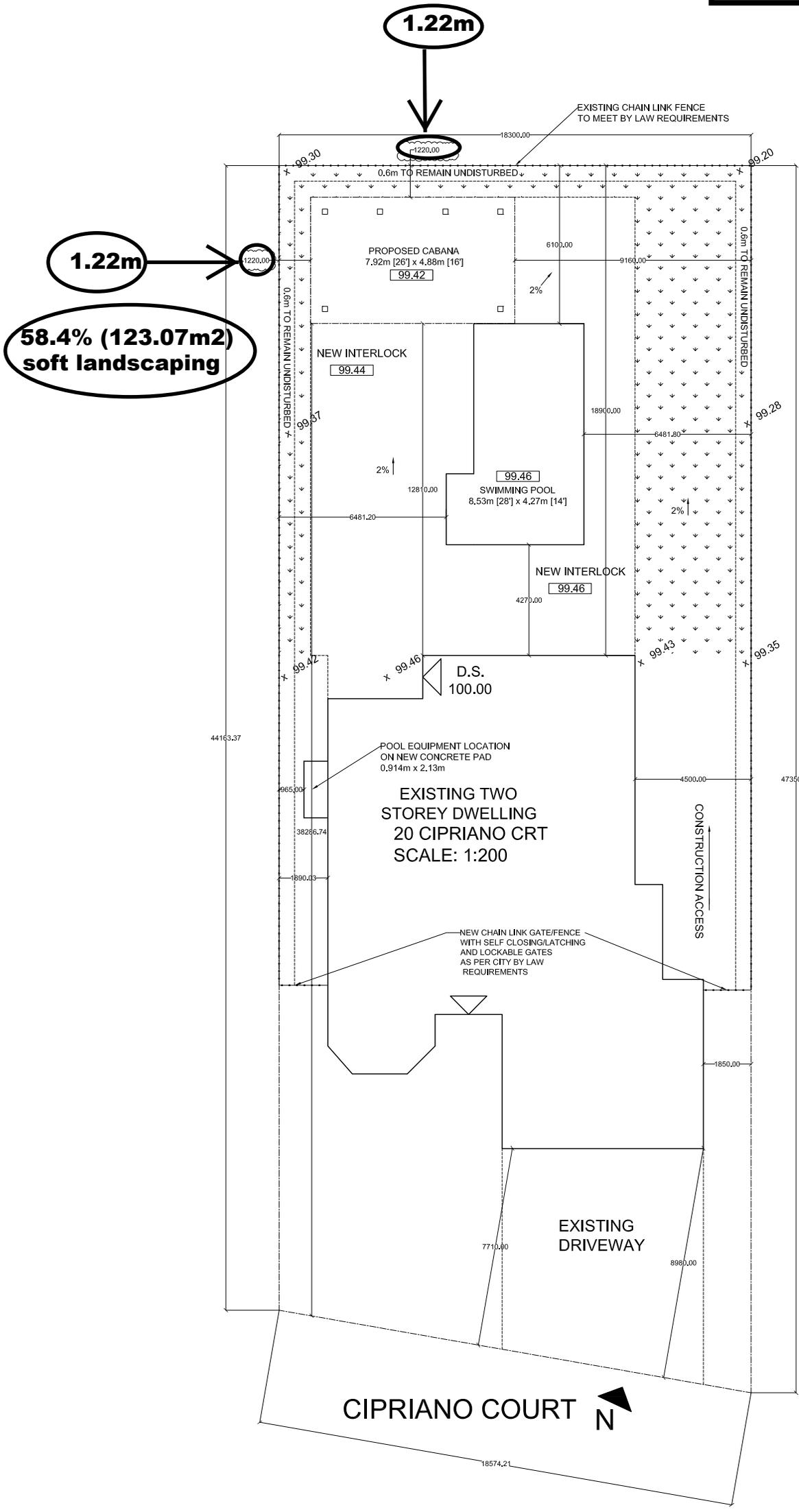


LOCATION MAP - A171/21

20 CIPRIANO COURT, WOODBRIDGE

Rutherford Road



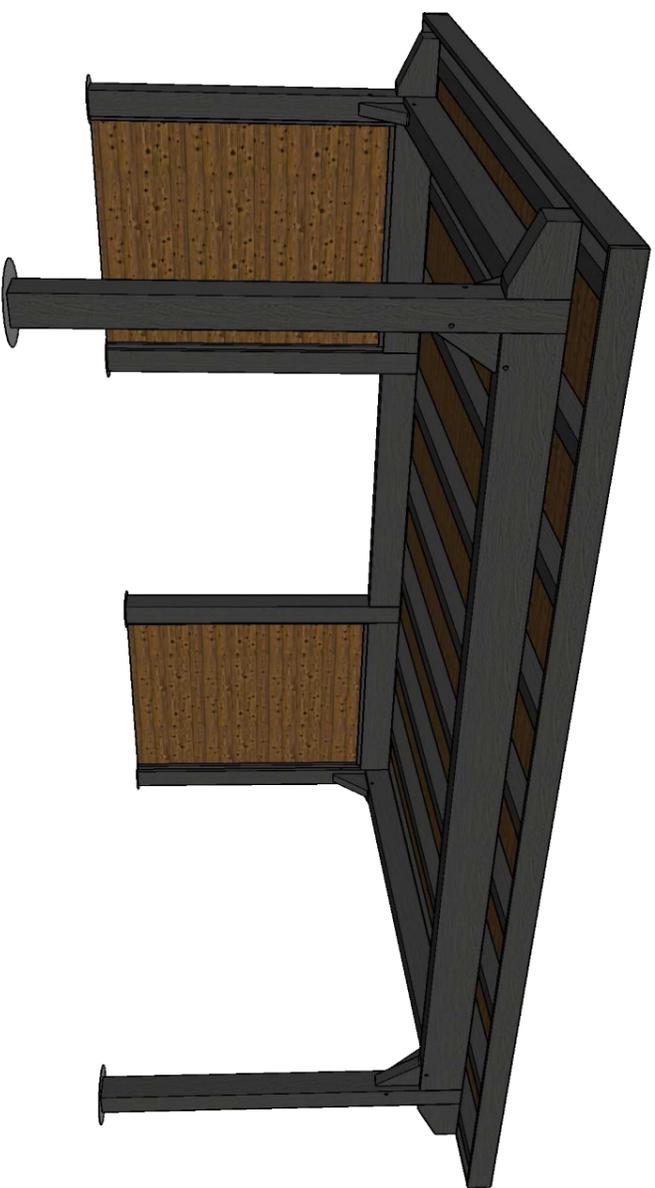


BACKYARD AREA: 345.47m ²	
Minus 135m ²	210.47 m ²
Softscape 60 %-	126.28m ² required
Pool Area-	39.35m ²
LANDSCAPE % EXISTING AND PROPOSED	
Hardscape:	183.05m ²
Softscape:	123.07m ²

LOT COVERAGE	
Total Lot Area	837.31m ²
Existing House	215.18m ²
Proposed Cabana	38.65m ²

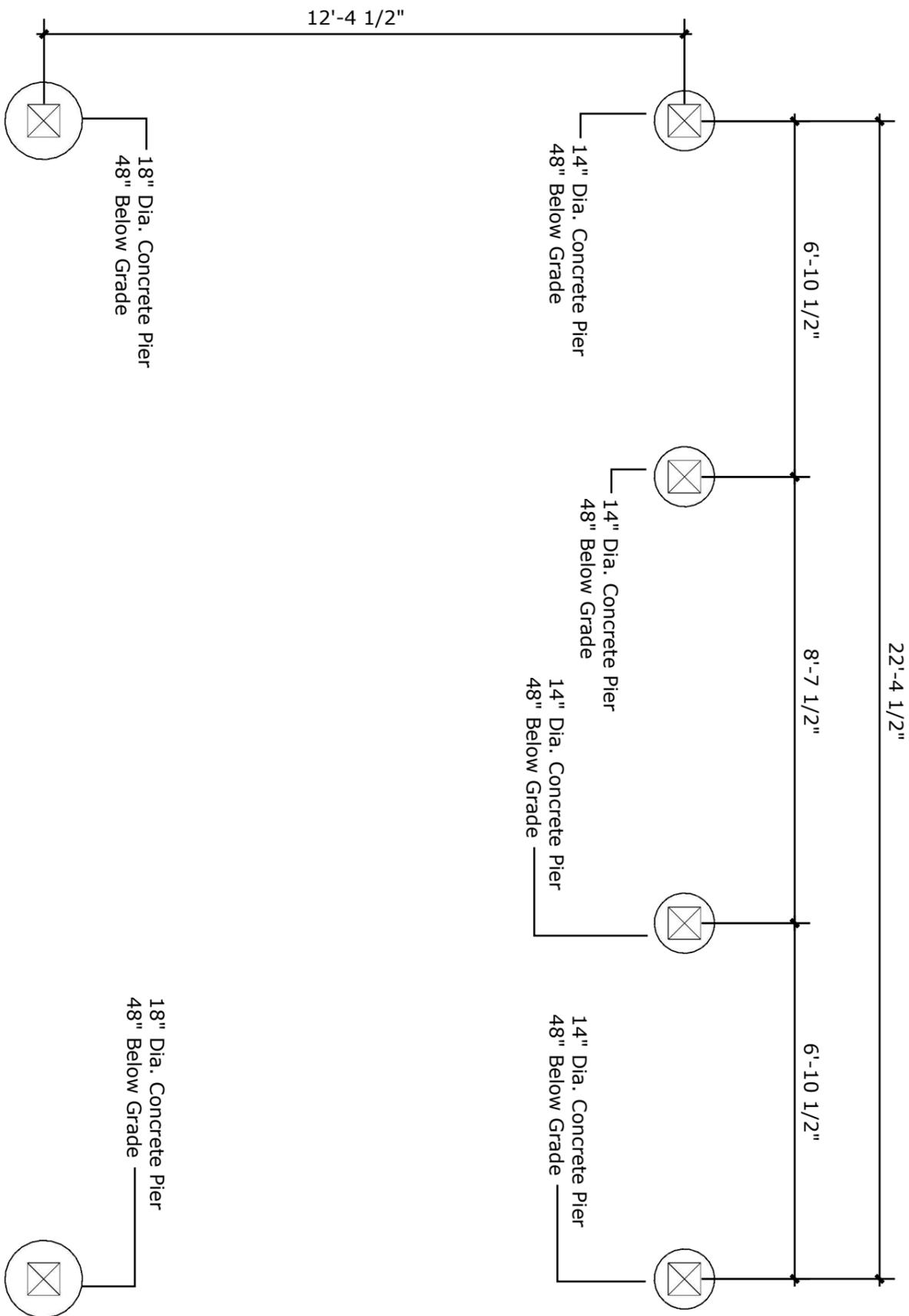
1.22m

58.4% (123.07m²) soft landscaping





ALL TIMBERS TO BE NO.1 GRADE DOUGLAS FIR D4S



1 FOUNDATION PLAN

A1 SCALE: 3/8" = 1'

FOUNDATION PLAN

Date: 04/11/2021
 Drawn By: MS

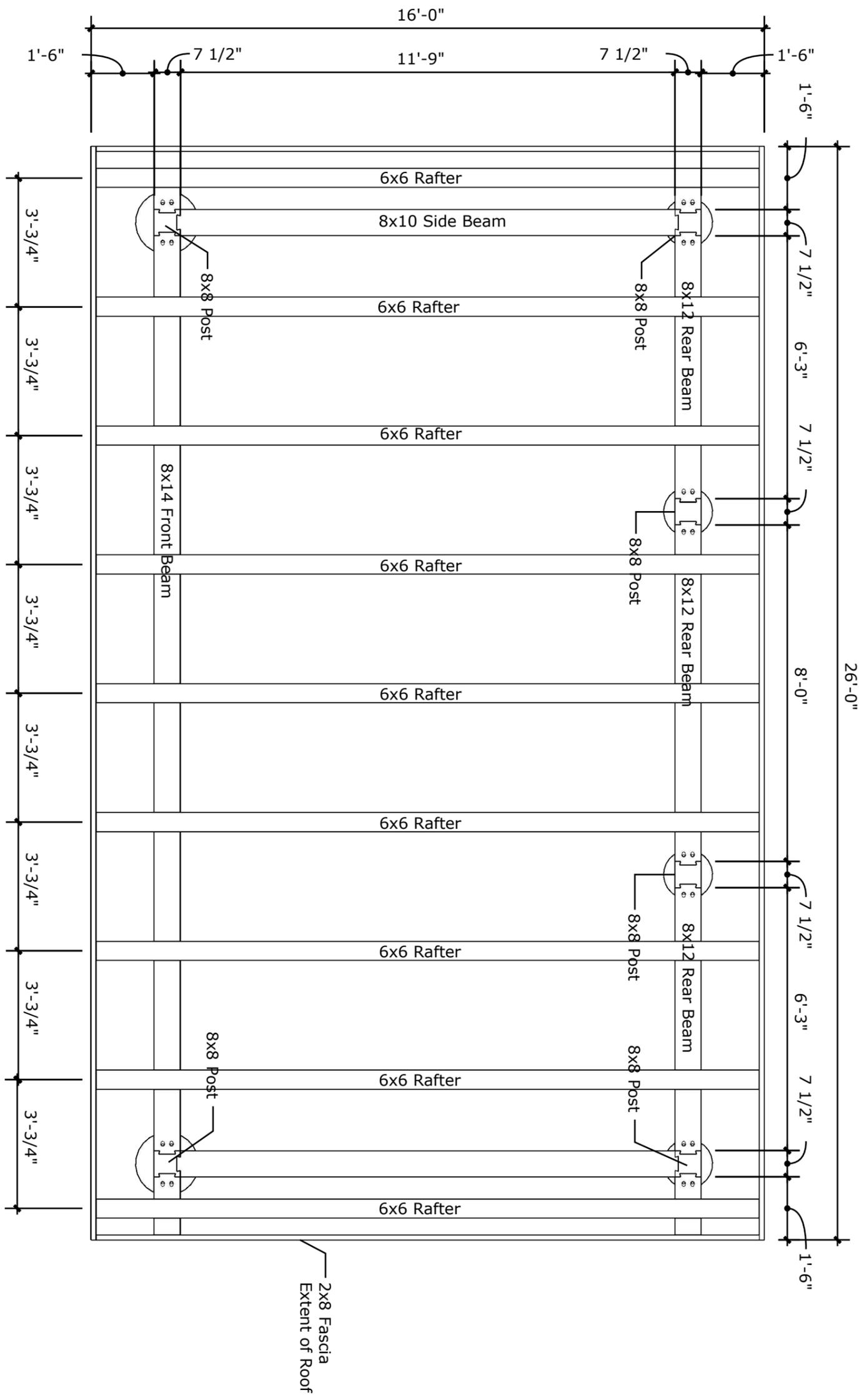
Client: Anthony Arci
 Client Address: 20 Cipriano Court
 Woodbridge, ON



A1



ALL TIMBERS TO BE NO.1 GRADE DOUGLAS FIR



1 PLAN VIEW

A2 SCALE: 3/8" : 1'

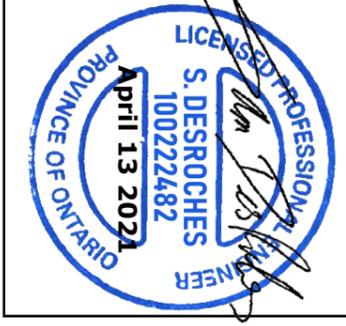
PLAN VIEW

A2

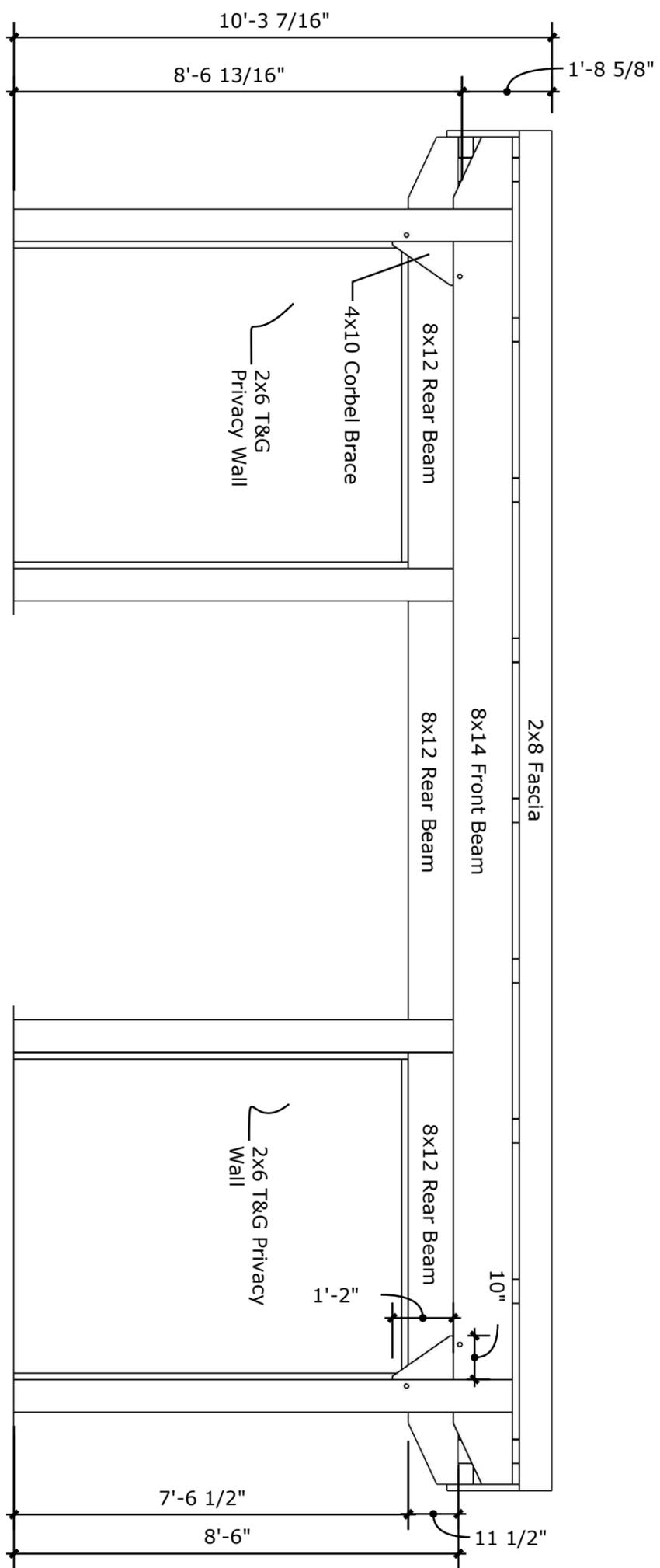
Date: 04/11/2021
 Drawn By: MS

Client: Anthony Arci
 Client Address: 20 Cipriano Court Woodbridge, ON





ALL TIMBERS TO BE NO.1 GRADE DOUGLAS FIR



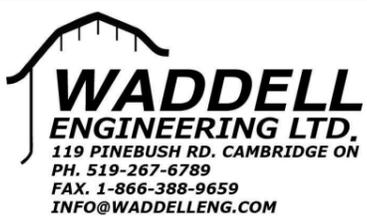
1 FRONT ELEVATION
A3 SCALE: 3/8" : 1'

A3

FRONT ELEVATION

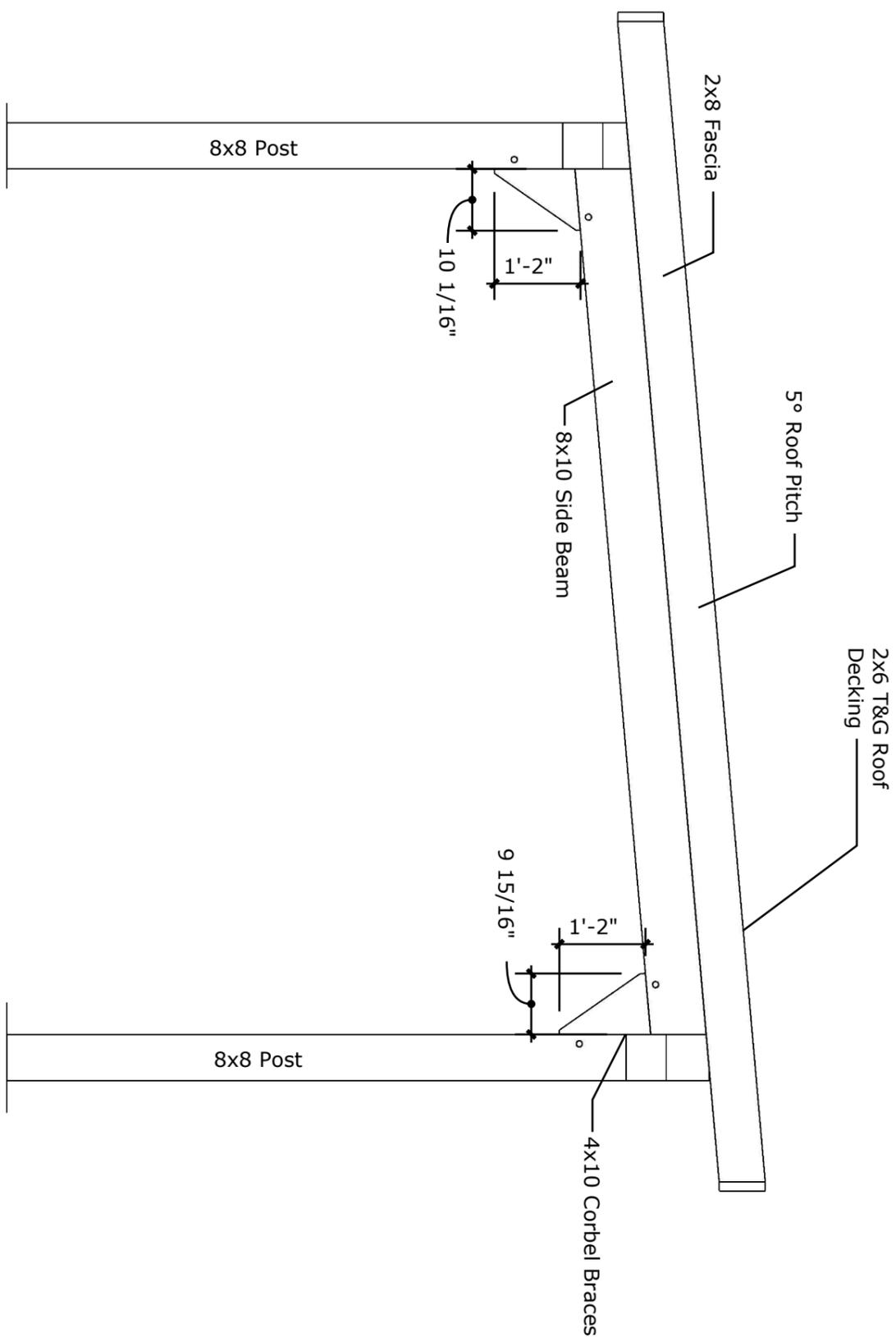
Date: 04/11/2021
Drawn By: MS

Client: Anthony Arci
Client Address: 20 Cipriano Court Woodbridge, ON





ALL TIMBERS TO BE NO.1 GRADE DOUGLAS FIR



1 LEFT ELEVATION
A4 SCALE: 1/2" : 1'

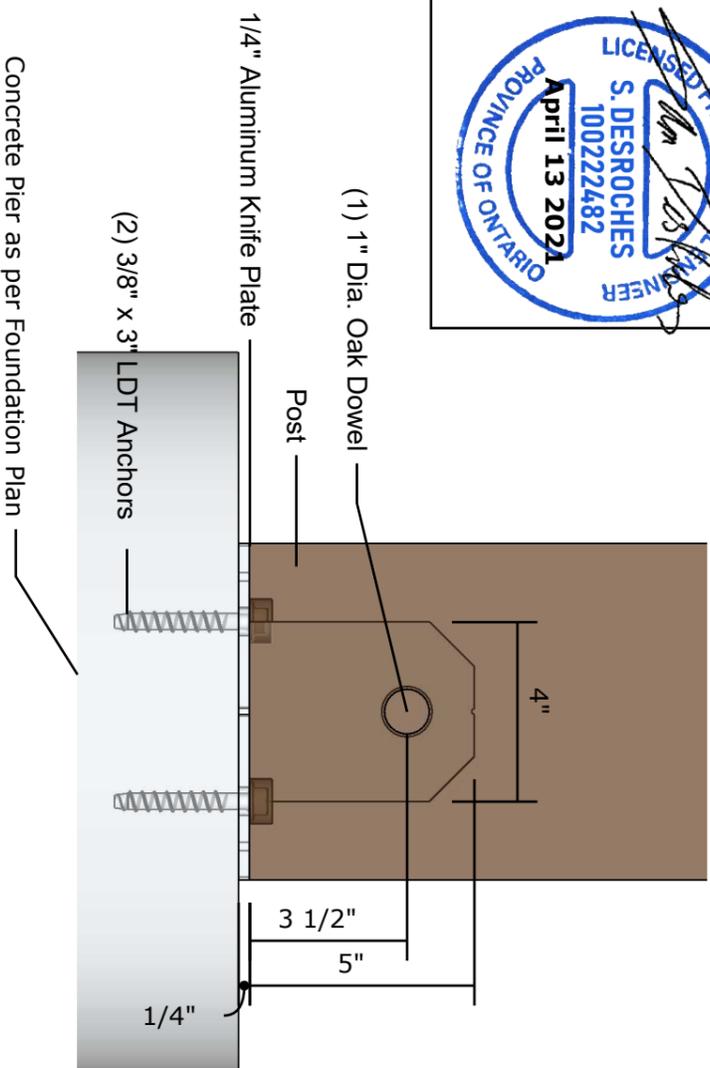
A4

LEFT ELEVATION

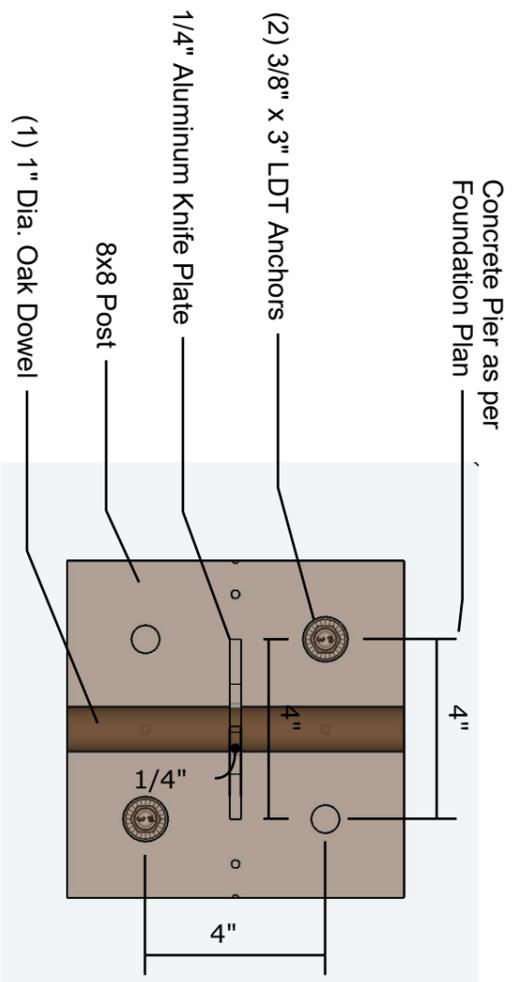
Date: 04/11/2021
Drawn By: MS

Client: Anthony Arci
Client Address: 20 Cipriano Court Woodbridge, ON

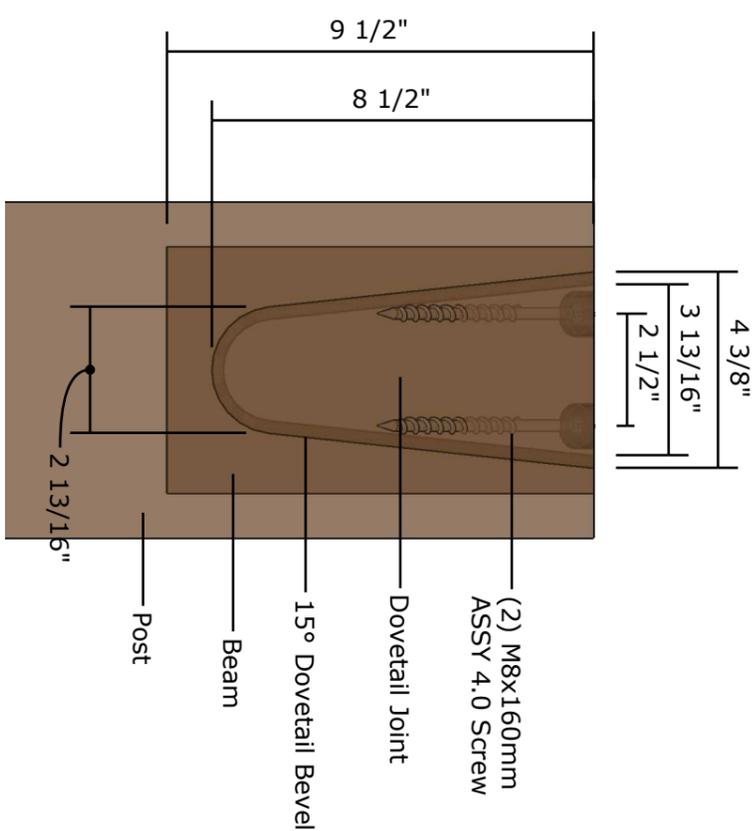




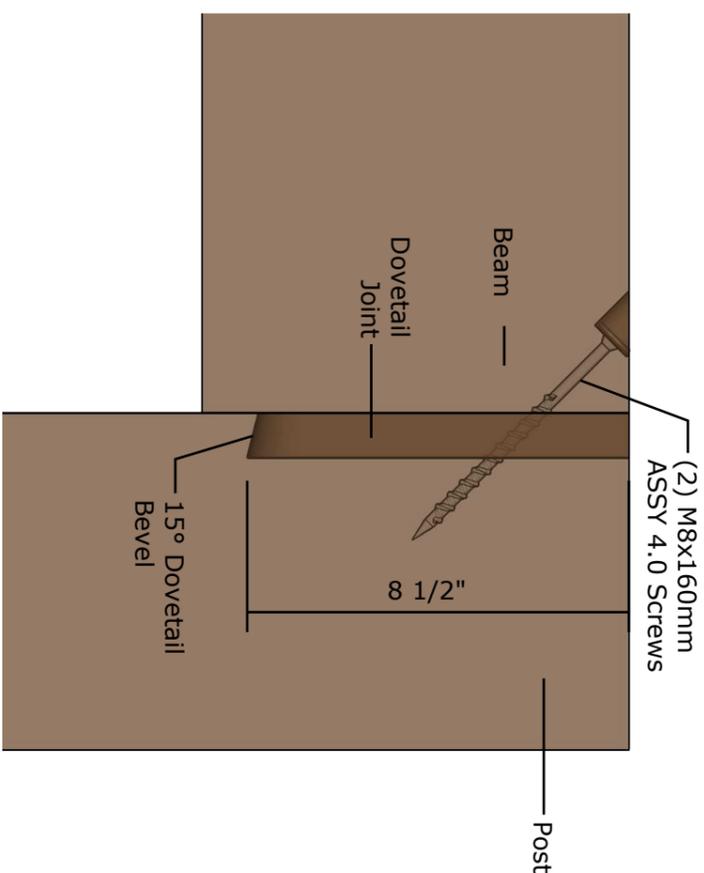
1 Knife Plate Detail 1
 D1 Scale: 3" : 1'



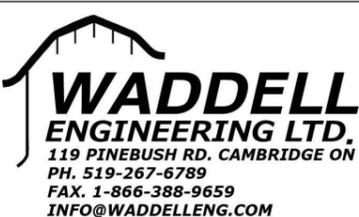
2 Knife Plate Detail 2
 D1 Scale: 3" : 1'



3 10" Deep Beam Detail 1
 D1 Scale: 3" : 1'



4 10" Deep Beam Detail 2
 D1 Scale: 3" : 1'

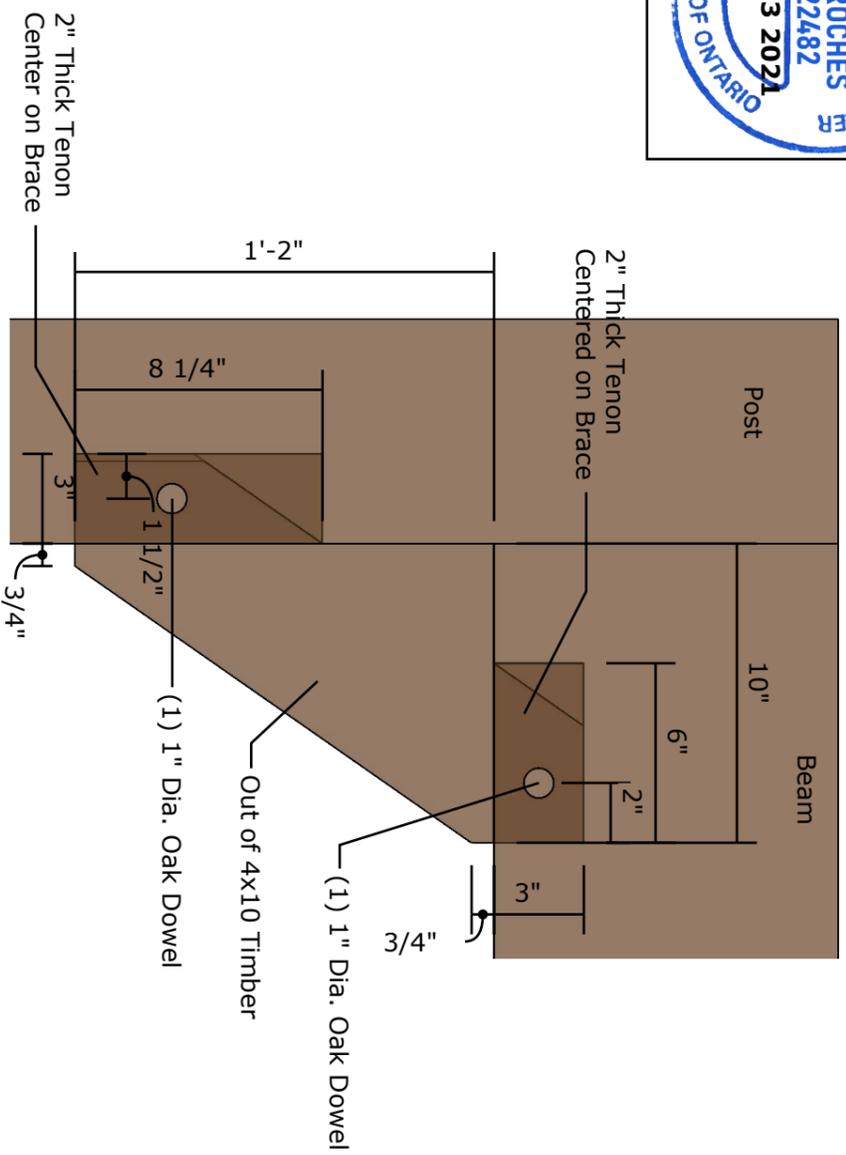


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 Woodbridge, ON

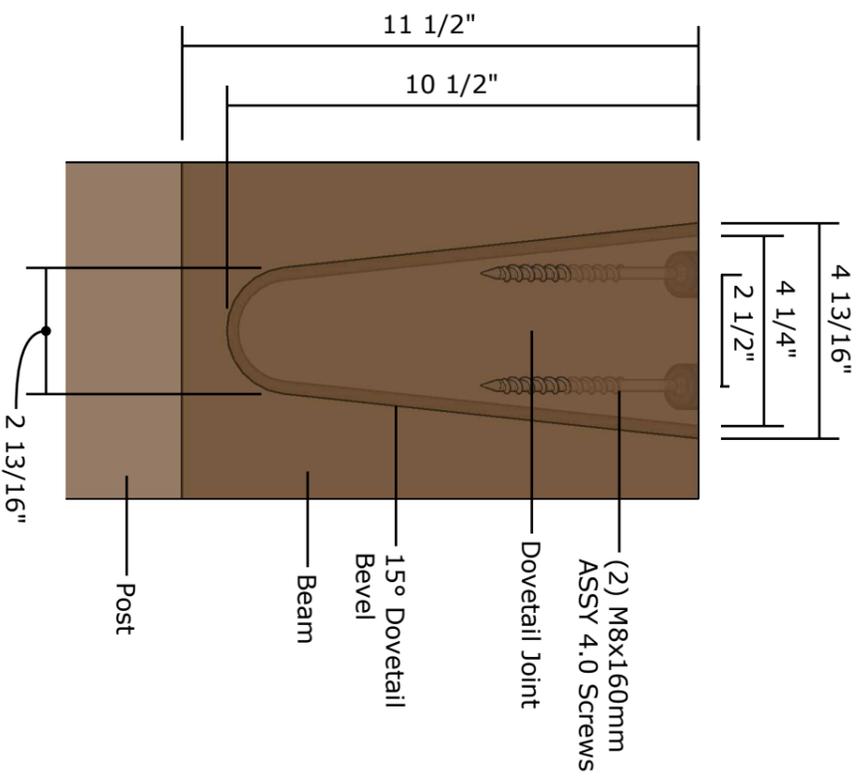
Date: 04/11/2021
 Drawn By: MS

Details 1

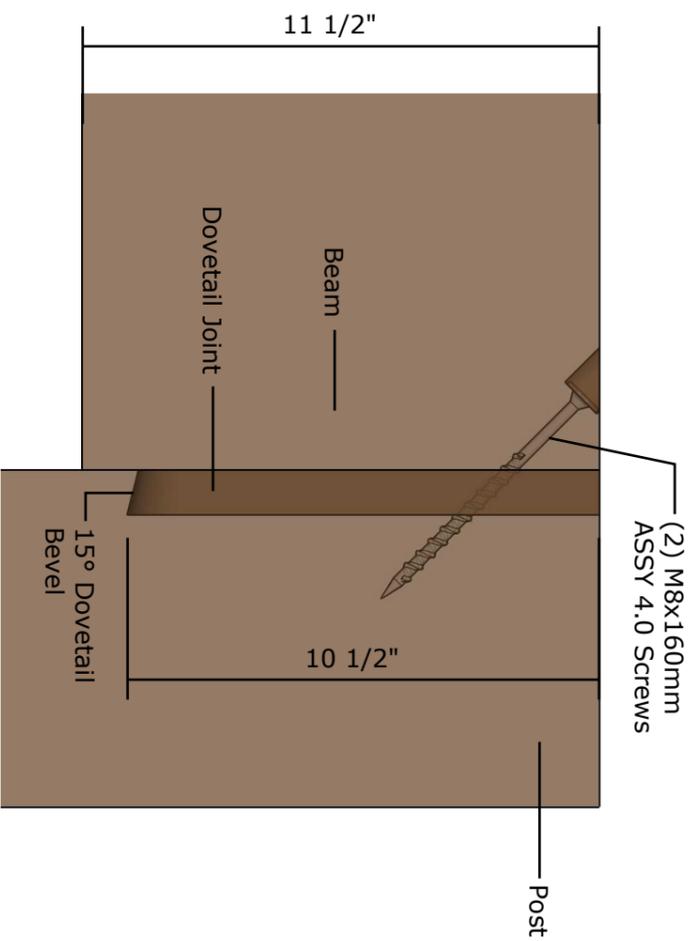
D1



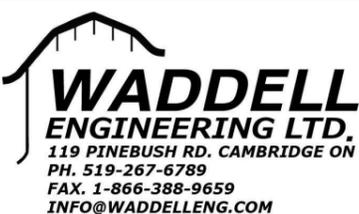
1 Corbel Brace Detail
 D2 Scale: 2" : 1'



2 12" Deep Beam Detail 1
 D2 Scale: 3" : 1'



3 12" Deep Beam Detail 2
 D2 Scale: 3" : 1'

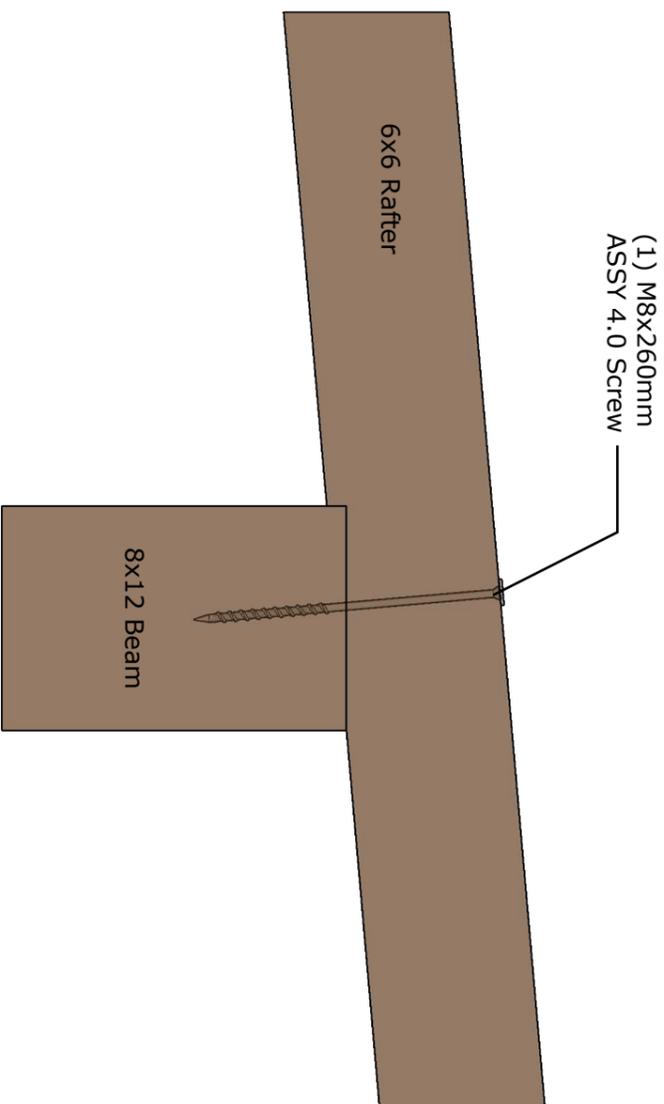


Client:
 Anthony Arci
Client Address:
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 Woodbridge, ON

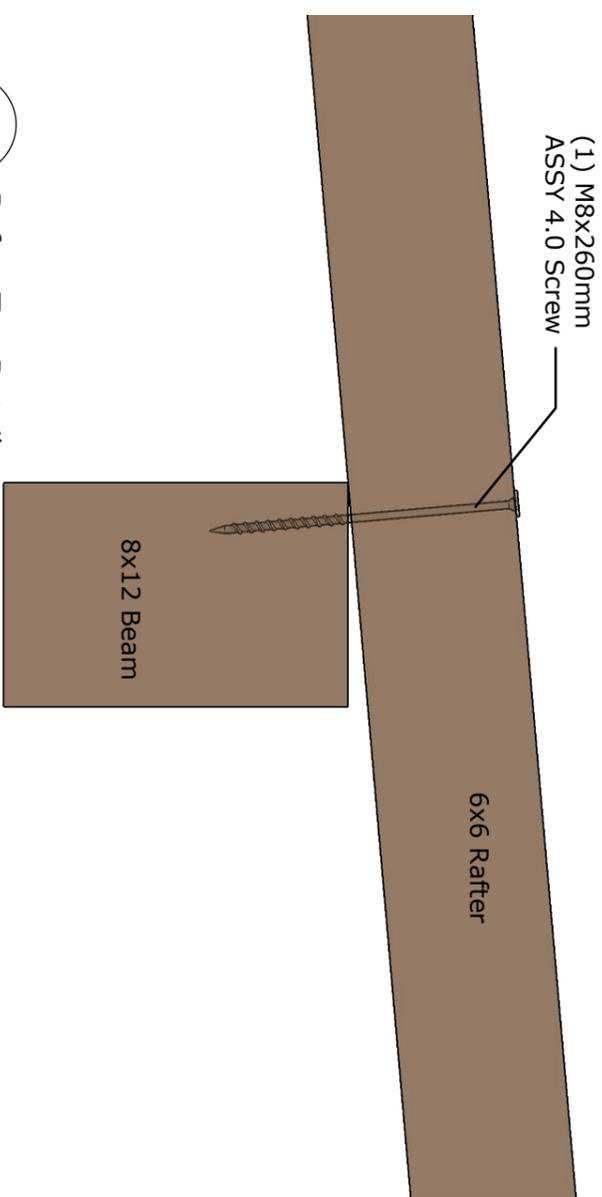
Date:
 04/11/2021
Drawn By:
 MS

Details 2

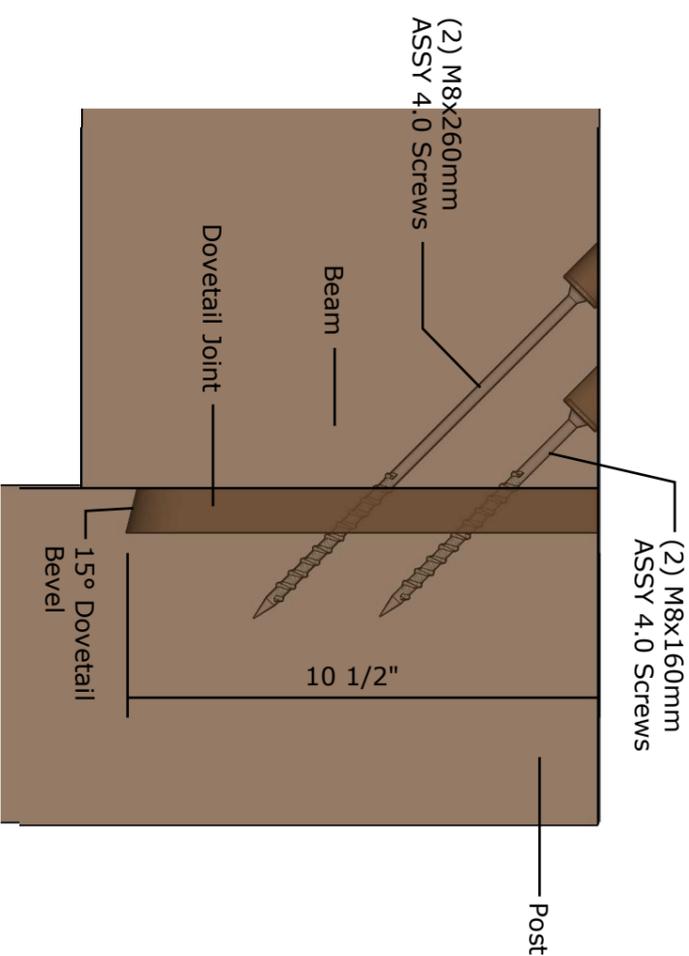
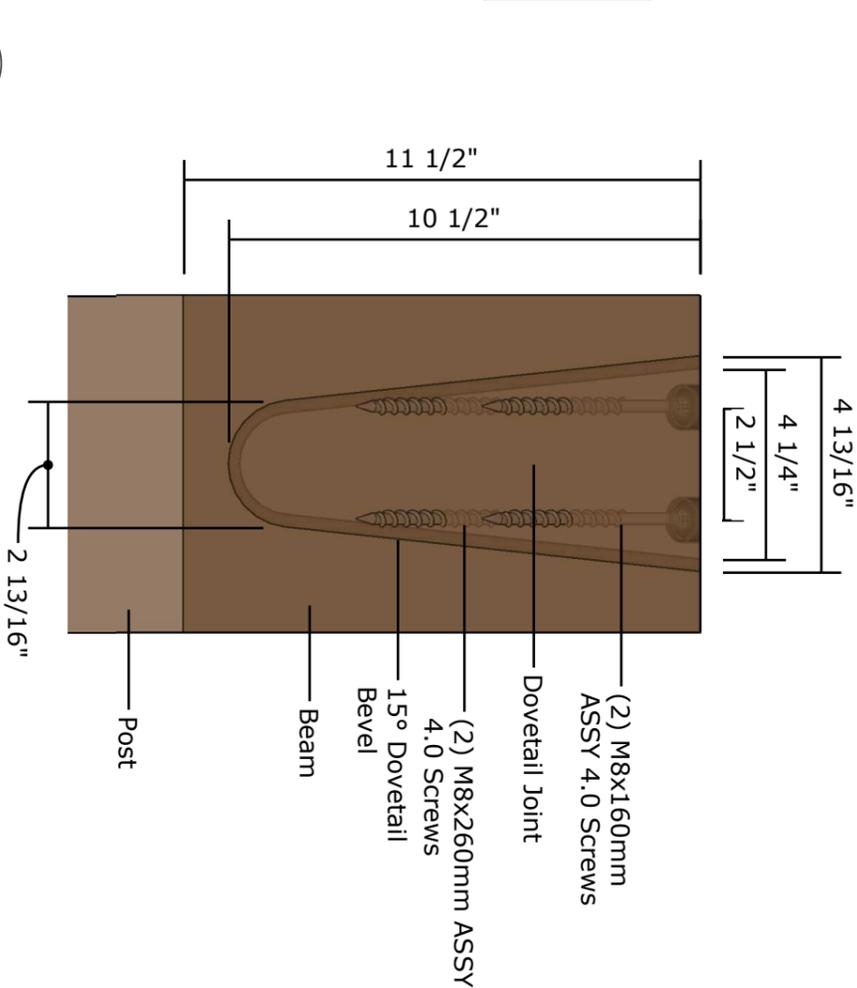
D2



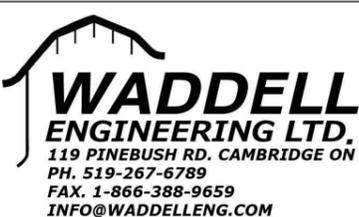
1 Rafter Bottom Detail
D3 Scale: 2" : 1'



2 Rafter Top Detail
D3 Scale: 2" : 1'



4 Front Beam to Post 2
D3 Scale: 3" : 1'



Client: Anthony Arci
Client Address: 20 Cipriano Court Woodbridge, ON

Date: 04/11/2021
Drawn By: MS

Details 3

D3



- LOADING**
1. ROOF LOADING:
 - 1.1. SNOW LOAD = $C_b \times S_s + 0.4 \text{ kPa}$. NOT LESS THAN 1 kPa (20.9 psf), AS PER OBC 9.4.2.2
 $C_b = 0.55 \text{ kPa}$ FOR ROOF WIDTH > 4.3m
 $C_b = 0.45 \text{ kPa}$ FOR ROOF WIDTH <= 4.3m
 $S_s = 1\text{-IN-}50 \text{ GROUND SNOW LOAD in kPa}$
 - 1.2. DEAD LOAD = 0.29 kPa (6 psf) (ROOF RAFTERS/ JOISTS OR TRUSS TOP CHORDS)
 2. CEILING LOADING:
 - 2.1. ATTIC OR ROOF SPACE WITH LIMITED ACCESSIBILITY (CEILING JOISTS/TRUSS BOTTOM CHORDS), AS PER OBC 9.4.2.4. (1)
 TOTAL SPECIFIED LOAD = 0.35 kPa (7.3 psf)
 - 2.2. ACCESSIBLE ATTIC = SEE FLOOR LOADING
 3. FLOOR LOADING:
 - 3.1. LIVE LOAD = 1.92 kPa (40 psf),
 BEDROOMS = 1.44 kPa (30 psf)
 DEAD LOAD = 0.57 kPa (12 psf)
 - 3.2. ACCESSIBLE EXTERIOR PLATFORMS, AS PER OBC 9.4.2.3:
 LIVE LOAD = GREATER OF 1.92 kPa (40 psf) OR SNOW LOA
 - 4.1. GUARD LOADS: AS PER OBC 2012 4.1.5.14 (1)

GENERAL

1. DESIGN & CONSTRUCTION OF ALL WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING:
 - NATIONAL BUILDING CODE
 - ONTARIO BUILDING CODE
 - LOCAL REGULATIONS
 - OHSA REGULATIONS
2. THE STRUCTURAL ENGINEERING REVIEW BY WADDELL ENGINEERING LTD (WEL) IS FOR THE STRUCTURAL ITEMS NOTED ON THE STAMPED DRAWINGS FOR WHICH THERE ARE NO ONTARIO BUILDING CODE (OBC) PART 9 PROVISIONS.
3. THE SEALED DRAWINGS ARE ONLY FOR USE BY THE PARTY WITH WHOM WEL HAS ENTERED INTO A CONTRACT (THE CLIENT), AND ARE NOT TO BE USED BY OTHERS.
4. WEL'S REVIEW IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AT THE TIME OF OUR REVIEW. WEL IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THIS INFORMATION. IT IS THE CLIENT'S RESPONSIBILITY TO INFORM US OF ANY CHANGES, ADDITIONS OR CORRECTIONS REQUIRED ON OUR DRAWINGS.
5. THIS SPECIFICATION SHEET IS TO SUPPLEMENT THE STAMPED DRAWINGS AND OBC PART 9 REQUIREMENTS. PLEASE CONTACT THE LOCAL BUILDING DEPARTMENT OR WEL, IF FURTHER CLARIFICATION IS REQUIRED.
6. WEL ASSUMES THAT ALL REQUIRED INSPECTIONS WILL BE DONE BY THE LOCAL BUILDING DEPARTMENT. IF WEL IS REQUIRED TO PERFORM AN INSPECTION, CALL (519) 267-6789. ALLOW 24 HOURS NOTICE FOR ALL INSPECTIONS.
7. NO CHANGES SHALL BE MADE TO THE STAMPED DRAWINGS WITHOUT NOTIFYING WEL PRIOR TO MAKING THOSE CHANGES.
8. THE CLIENT SHALL CHECK AND VERIFY ALL SITE CONDITIONS AND MEASUREMENTS, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

WOOD-FRAME CONSTRUCTION

1. ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23 U.N.O. ON THE STAMPED DRAWINGS.
2. ALL STRUCTURAL COMPOSITE LUMBER (SCL) SHALL BE 2.0E WITH Fb=2950 OR BETTER. FASTEN MULTIPLE SCL BEAMS AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 3" MIN. BEARING LENGTH AT ENDS, U.N.O.:
3. ALL PRE-ENGINEERED SYSTEMS (I.E. ROOF TRUSSES, FLOOR JOISTS, ETC.) ARE TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER OF ONTARIO. PROVIDE LAYOUTS AND STAMPED DRAWINGS TO WEL AND THE LOCAL BUILDING DIVISION.
4. ENSURE THE EXTERIOR WALLS ARE BRACED AS PER OBC 9.23.10.2 TO PROVIDE LATERAL SUPPORT FOR THE BUILDING.
5. PROVIDE SUFFICIENT LATERAL SUPPORT FOR THE TOP OF ALL DROPPED BEAMS AND LINTELS TO PREVENT LATERAL TORSIONAL BUCKLING.
- 5.1. AN EXAMPLE OF SUFFICIENT LATERAL SUPPORT IS (2) 3 1/4" NAILS PER JOIST FOR LEDGER STRIP TO WOOD BEAM CONNECTION (AS PER OBC TABLE 9.23.3.4).
6. ALL WOOD COLUMNS SHALL CONFORM TO OBC 9.17. U.N.O. PROVIDE A BUILT-UP WOOD STUD COLUMN EQUAL TO THE WIDTH OF BEAM/GIRDER TRUSS UNDER ALL BEAM/GIRDER TRUSSES MIN. U.N.O. CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS. BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
7. ALL LINTELS TO HAVE 1 JACK STUD, 1 KING STUD AT ENDS U.N.O.
8. ALL WOOD SHALL BE NO. 2 SPRUCE OR BETTER.
9. ALL GUARDS SHALL CONFORM TO OBC 9.8.8 AND SUPPLEMENTARY STANDARD SB-7 U.N.O.

MATERIALS

1. MATERIALS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS U.N.O. ON THE STAMPED DRAWINGS:
 - CONCRETE
 - REINFORCING STEEL
 - LUMBER & WOOD PRODUCTS
 - STEEL BEAMS
 - STEEL COLUMNS
 - ANCHOR BOLTS, STEEL PLATES & ROLLED SECTIONS
 - STEEL HSS & W-BEAMS
 - ALL OTHER STEEL
 - STRUCTURAL BOLTS

FOOTINGS AND FOUNDATIONS

1. ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO OBC 9.15 UNLESS NOTED OTHERWISE (U.N.O.) ON THE STAMPED DRAWINGS.
2. FOOTINGS TO BEAR ON SOUND SUB-GRADE SUITABLE FOR 95 kPa (2000 psf) ALLOWABLE SOIL BEARING CAPACITY. THE CLIENT IS TO INFORM WEL IF THE REQUIRED BEARING CAPACITY CANNOT BE ACHIEVED.
3. FOUNDATION WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED FOR THE LOADS PROVIDED

STRUCTURAL STEEL

1. ALL WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND CONFORM TO CSA STANDARD W59.
2. PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT LATERAL TORSIONAL BUCKLING. SUFFICIENT LATERAL SUPPORT EXAMPLES:
 - 2.1. DROPPED STEEL BEAM - AS PROVIDED IN OBC 9.23.4.3 (3). OR A 2x6 TOP PLATE w/ 3/8" THRU BOLTS c/w NUTS & WASHERS OR HILTI X-U FASTENERS @ 24" o.c., STAGGERED INTO THE TOP FLANGE & (2) 3 1/4" NAILS FROM EACH JOIST INTO THE TOP PLATE.
 - 2.2. FLUSH STEEL BEAM - SOLID BLOCKING (2x LUMBER AND PLYWOOD) BOLTED TO THE BEAM WEB WITH 1/2" DIA. THRU BOLTS AT 16" o.c., STAGGERED TOP AND BOTTOM AND APPROVED FACE MOUNT HANGERS FOR THE JOIST TO BLOCKING CONNECTION.
 3. WHERE A STEEL PLATE SUPPORTING MASONRY VENEER IS SPECIFIED, WELD TO THE TOP OR BOTTOM FLANGE OF THE BEAM WITH (2) ROWS OF 2" LONG FILLET WELDS @ 12" o.c. MIN., STAGGERED.
 4. ALL STEEL COLUMNS ARE TO BE LATERALLY SUPPORTED TOP & BOTTOM (I.E. BY CONCRETE SLAB ON GRADE, (2) 3/8"Ø BOLTS OR 2" OF 1/4" FILLET WELD MIN.); CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS. BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).

ROOF AND CEILING FRAMING

1. ALL ROOF AND CEILING FRAMING SHALL CONFORM TO OBC 9.23.13 U.N.O. ON THE STAMPED DRAWINGS.
2. ALL ROOF RAFTERS/JOISTS AND CEILING JOISTS SHALL CONFORM TO THE SPANS SHOWN IN OBC PART 9 TABLES A-3 TO A-7.
3. WHERE REQUIRED, PROVIDE INTERMEDIATE SUPPORT FOR ROOF RAFTERS/JOISTS AS PER OBC 9.23.13.7.
- 3.1. WEL ASSUMES THAT COLLAR TIES WILL BE USED TO PROVIDE INTERMEDIATE SUPPORT INSTEAD OF STRUTS OR DWARF WALLS U.N.O. (I.E. ALL ROOF RAFTERS/JOISTS BEAR ON EXTERIOR WALLS ONLY AND INTERIOR WALLS SUPPORT CEILING JOISTS ONLY U.N.O.).
4. WHERE THE RIDGE IS UNSUPPORTED, ROOF RAFTERS/JOISTS ARE TO BE TIED TO THE CEILING JOISTS (OR SOLID BLOCKING AT 3'-11" o.c. MAX.) AT THEIR BASE AND NAILED AS PER OBC TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT.
5. OVER-FRAMED AREAS ARE TO BE SUPPORTED ON LOWER ROOF RAFTERS/JOISTS BY 2x4 STRUTS @ 24" EACH WAY MIN., U.N.O.
6. WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH OBC 9.23.13.11, OR PART 4 IF THEIR SPAN EXCEEDS 40'-0" (AS PER OBC 9.23.1.1).
- 6.1. IF THE TRUSSES ARE DESIGNED IN ACCORDANCE WITH OBC PART 4, THE DESIGN OF UPLIFT ANCHORS SHALL BE PROVIDED BY THE TRUSS SUPPLIER ALONG WITH LAYOUTS AND STAMPED DRAWINGS.

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Date: August 27th , 2021

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A171-21**

Related Files:

Applicant Lino Arci and Italia Arci

Location 20 Cipriano Court



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COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Pravina Attwala

Subject: FW: REQUEST FOR COMMENTS - A171/21 (20 CIPRIANO COURT)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: September-02-21 1:49 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: REQUEST FOR COMMENTS - A171/21 (20 CIPRIANO COURT)

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca