

File: A149/21

Applicant: Azar & Ben Matin

Address: 51 Thornbank Rd Thornhill

Agent: Tricon Development Inc

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

| Commenting Department | <input checked="" type="checkbox"/> Positive Comment | Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
|---|--|---|
| | <input checked="" type="checkbox"/> Negative Comment | |
| Committee of Adjustment | <input checked="" type="checkbox"/> | |
| Building Standards | <input checked="" type="checkbox"/> | |
| Building Inspection | | |
| Development Planning | <input checked="" type="checkbox"/> | |
| Development Engineering | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Parks, Forestry and Horticulture Operations | | |
| By-law & Compliance | <input checked="" type="checkbox"/> | |
| Financial Planning & Development | <input checked="" type="checkbox"/> | |
| Fire Department | | |
| TRCA | <input checked="" type="checkbox"/> | |
| Ministry of Transportation | | |
| Region of York | <input checked="" type="checkbox"/> | |
| Alectra (Formerly PowerStream) | <input checked="" type="checkbox"/> | |
| Public Correspondence (see Schedule B) | | |

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday, August 12, 2021

***Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).**



Minor Variance Application

Agenda Item: 12

A149/21

Ward: 5

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday , August 12, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Azar & Ben Matin

Agent: Tricon Development Inc

Property: 51 Thornbank Rd Thornhill

Zoning: The subject lands are zoned R1V and subject to the provisions of Exception 9(662) under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010 ("VOP2010"): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed single-family dwelling, (existing) retaining wall and (proposed) pool house.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

| By-law Requirement | Proposal |
|--|--|
| 1. A minimum front yard setback of 29.5 metres is required (Schedule A, By-law 1-88a.a.). | 1. To permit a minimum front yard setback of 18.10 metres. |
| 2. A maximum lot coverage of 20% is permitted (Schedule A, By-law 1-88a.a.). | 2. To permit a maximum lot coverage of 21% (Dwelling 16.16%, Garage 2.83%, Pool House 2.01%) |
| 3. A maximum building height of 9.5 metres for the single family detached dwelling is permitted (Schedule A, By-law 1-88a.a.). | 3. To permit a maximum building height of 11.00 metres for the single family detached dwelling. |
| 4. A maximum building height of 3.0 metres from average finished grade to the nearest part of the roof for the accessory structure (Pool house) is permitted (Section 4.1.1, By-law 1-88a.a.). | 4. To permit a maximum building height of 4.31 metres from average finished grade to the nearest part of the roof for the accessory structure (Pool house). |
| 5. A minimum rear yard setback of 1.95 metres to the proposed retaining wall is required (Section 4.1.2, By-law 1-88a.a.). | 5. To permit a minimum rear yard setback of 1.85 metres to the proposed retaining wall. |
| 6. A minimum interior side yard setback of 1.95 metres to the proposed retaining wall is required (Section 4.1.1, By-law 1-88a.a.). | 6. To permit a minimum interior side yard setback of 1.61 metres to the proposed retaining wall. *Revised from 1.85m, revised Notice issued August 4, 2021 |

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A**Staff & Agency Comments**

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on July 28, 2021

Applicant confirmed posting of signage on July 27, 2021

| Property Information | |
|----------------------|-----------------------|
| Existing Structures | Year Constructed |
| Dwelling | 1987 (Purchased 2021) |

Applicant has advised that they cannot comply with By-law for the following reason(s):

Due to the vastly elevated rear yard we need to bring the main dwelling and garage forward to allow a desirable use of the rear yard. This is as well in line with other new dwellings on the same street.

To achieve a functional floor plan. This is as well in line with other new dwellings on the same street.

Regarding the area of the proposed house, lowering the height of building will have an adverse effect on the appearance from the street. Due to the lot grade we are in a reverse slope to the back and would make for an undesirable elevation. This is as well in line with other new dwellings on the same street.

Due to the land being extremely and instantly sloped on the East side of the property line, we would like to hide the east side retaining wall and have a congruous accessory building with the main building. It should be noted that with this adjustment the highest point of the accessory building will still only be about 1.0m higher than the East neighbours grade, which normally it is allowed to be 4.5m higher.

This retaining wall already exists, and we would like to repair it.

Adjournment Request: The following comments were provided to the applicant on July 27, 2021 by Development Planning:

- DP Department is not in position to support variances 1, 3 and 4 given they are not desirable and appropriate for the development of lot and do not maintain the intent of the Zoning By-law.
- Additionally, DP has been informed by urban design staff who require additional time to complete their comments but have concerns with variances 1, 3 and 4 as well.
- DP staff is requesting minor variance file A149/21 be **adjourned** until the next hearing date to permit the Owner to work with planning staff.

The applicant submitted a revised application and Zoning Waiver Form (to address Development Planning comments) to proceed to the August 12, 2021 Committee of Adjustment hearing.

Zoning provided revised comments on August 4, 2021 confirming that variance #6 is 1.61m not 1.85m. A revised public notice was issued on August 4, 2021.

Building Standards (Zoning Review):

There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

The minimum required front yard setback is 29.5 metres [existing 32.8 less 10% (3.28) = 29.5].

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Official Plan: Vaughan Official Plan 2010 ("VOP2010"): "Low-Rise Residential"

The Owner is requesting permission to construct a 2-storey single family dwelling with an attached garage and accessory structure (pool house) in the rear with the above noted variances.

This established large-lot neighbourhood is characterized by lots with frontages greater than 30m and are made up of existing bungalows dwellings and newly constructed two-storey homes. Development Planning staff worked with the Owner to reduce the maximum building height from 11.43 m to 11 m, eliminate a driveway variance and increase the minimum front yard setback from 15.2 m to 18.1 m in order to preserve the existing character of the neighbourhood and establish a footprint that maintains the general intent of the Zoning By-law.

The Development Planning Department has no objection to the proposed variances, as the dwelling is more central to the lot and the overall scale has been reduced to limit the impact onto the streetscape. The increase in lot coverage and height are minor in nature and do not cause any impacts onto the adjoining lots. Both the main dwelling and pool house comply with interior and rear yard setbacks to ensure adequate distance to and from the surrounding properties. The Development Engineering Department has reviewed the variances required for the retaining wall and have no objection to the height and location relative to the lot.

In support of this application, the Owner submitted an Arborist Report, prepared by Al Miley and Associates, dated July 28, 2021. Urban Design staff have reviewed the report and are satisfied that revisions related to the Arborist Report and tree planting plan will be updated to the satisfaction of the Parks, Forestry and Horticulture Operations Department.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for the pool permit.

The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert.

Please visit

https://www.vaughan.ca/services/residential/transportation/roads/culvert_installation/Pages/default.aspx for more information.

As the proposed structures in the subject property are over 10 m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit.

The Development Engineering (DE) Department does not object to variance application A149/21 subject to the following condition(s):

The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

Parks Development - Forestry:

No comments received to date.

By-Law and Compliance, Licensing and Permit Services: Prepared by: Andrew Enns

No comments received to date

Development Finance:

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Fire Department:

No comments received to date

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

TRCA – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required:

| | Department/Agency | Condition |
|---|---|---|
| 1 | Committee of Adjustment Christine Vigneault 905-832-8585 x 8332 christine.vigneault@vaughan.ca | Applicant to provide payment of Adjournment Fee (see Fee Schedule) prior to the rescheduling of Application A149/21, if required. |

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

| | Department/Agency | Condition |
|---|--|---|
| 1 | Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca | The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Page/default.aspx to learn how to apply for lot grading and/or servicing approval. |

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

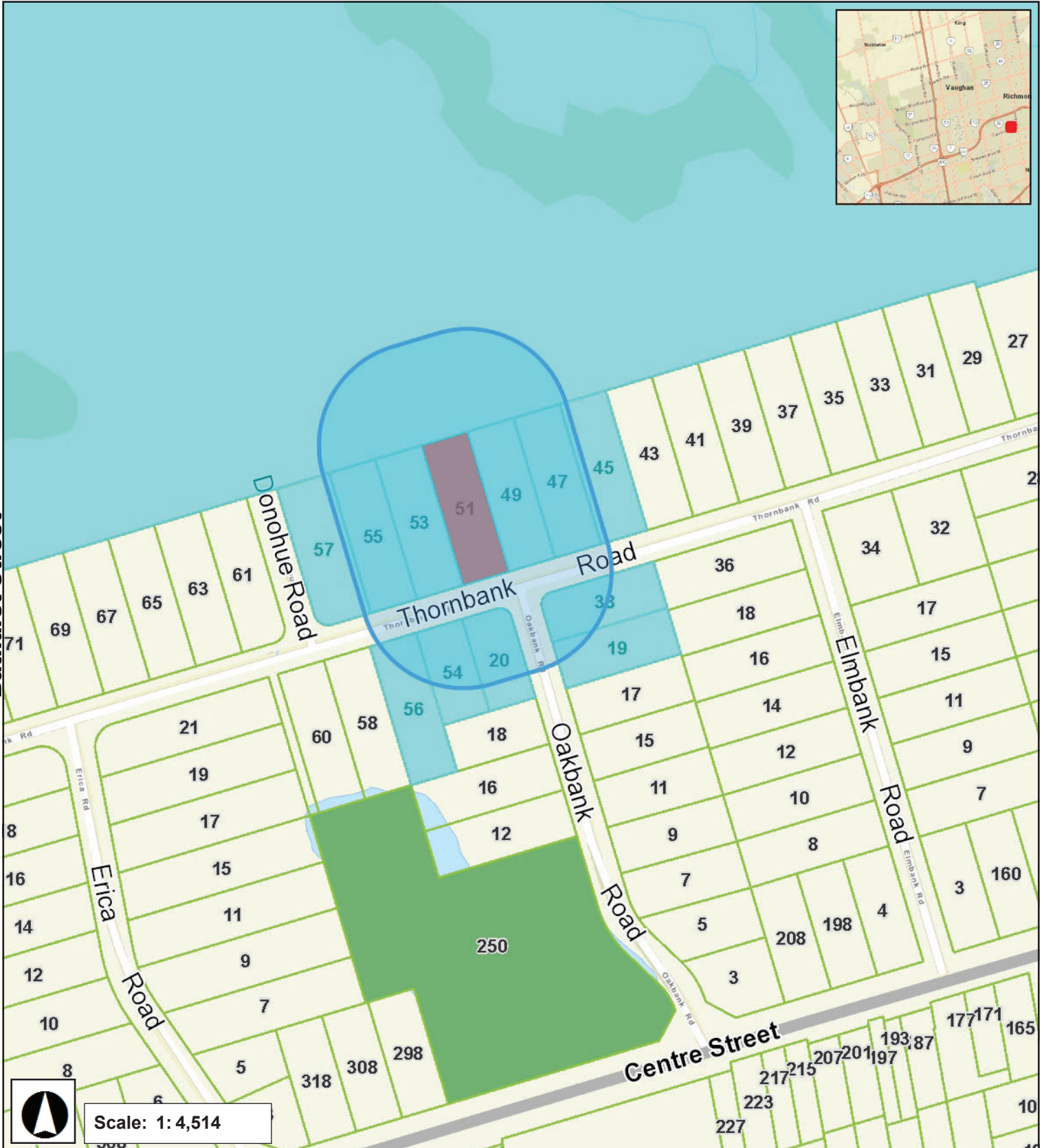
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

**Location Map
Plans & Sketches**



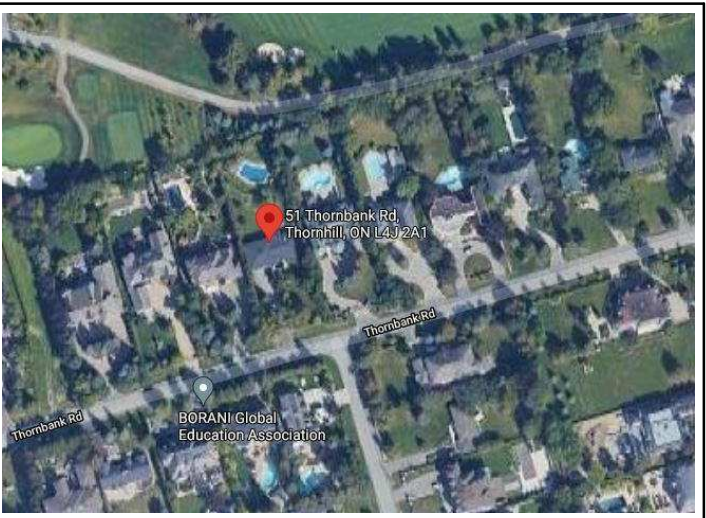
LOCATION MAP A149/21

51 THORNBANK ROAD, THORNHILL



51 THORNBANK RD. VAUGHAN ONTARIO L4J 2A1

TRICON
DEVELOPMENT



PRIVATE RESIDENCE
51 THORNBANK RD.
VAUGHAN ONTARIO L4J 2A1

NOTES:

- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER.
- THE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OTHER THAN THE ONE ASSIGNED WITHOUT THE CONSENT OF THE DESIGNER.
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REVISIONS:

| VER. # | ISSUED TO | DATE |
|--------|--|------------|
| 01 | ISSUED FOR CLIENT REVIEW | 2021-05-30 |
| 02 | ISSUED FOR CITY REVIEW | 2021-06-08 |
| 03 | ISSUED FOR C of A | 2021-06-22 |
| 04 | ISSUED FOR C of A | 2021-07-14 |
| 05 | ISSUED FOR C of A (FRONT SETBACK & HEIGHT REDUCED) | 2021-07-28 |
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DESIGNED BY:
Tricon Development Inc.
6021 Yonge St. #323
Toronto, ON, M2M 3W2
Tel: 647.802.3212
kayvon@tricondevelopment.ca
arvin@tricondevelopment.ca

CONCEPTUAL DESIGN BY:
Arvin Heidari
&
Kayvon Heidari

SHEET NAME:

COVER SHEET

SHEET NUMBER:

A000

SCALE:

1 : 1





PRIVATE RESIDENCE
51 THORNBANK RD.
VAUGHAN ONTARIO L4J 2A1

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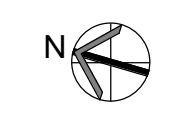
DESIGNED BY:
Tricon Development Inc.
 6021 Yonge St. #323
 Toronto, ON, M2M 3W2
 Tel: 647.802.3212
 kayvon@tricondevelopment.ca
 arvin@tricondevelopment.ca

CONCEPTUAL DESIGN BY:
 Arvin Heidari &
 Kayvon Heidari

SHEET NAME:
SITE PLAN

SHEET NUMBER:
A101

SCALE:
 1 : 128

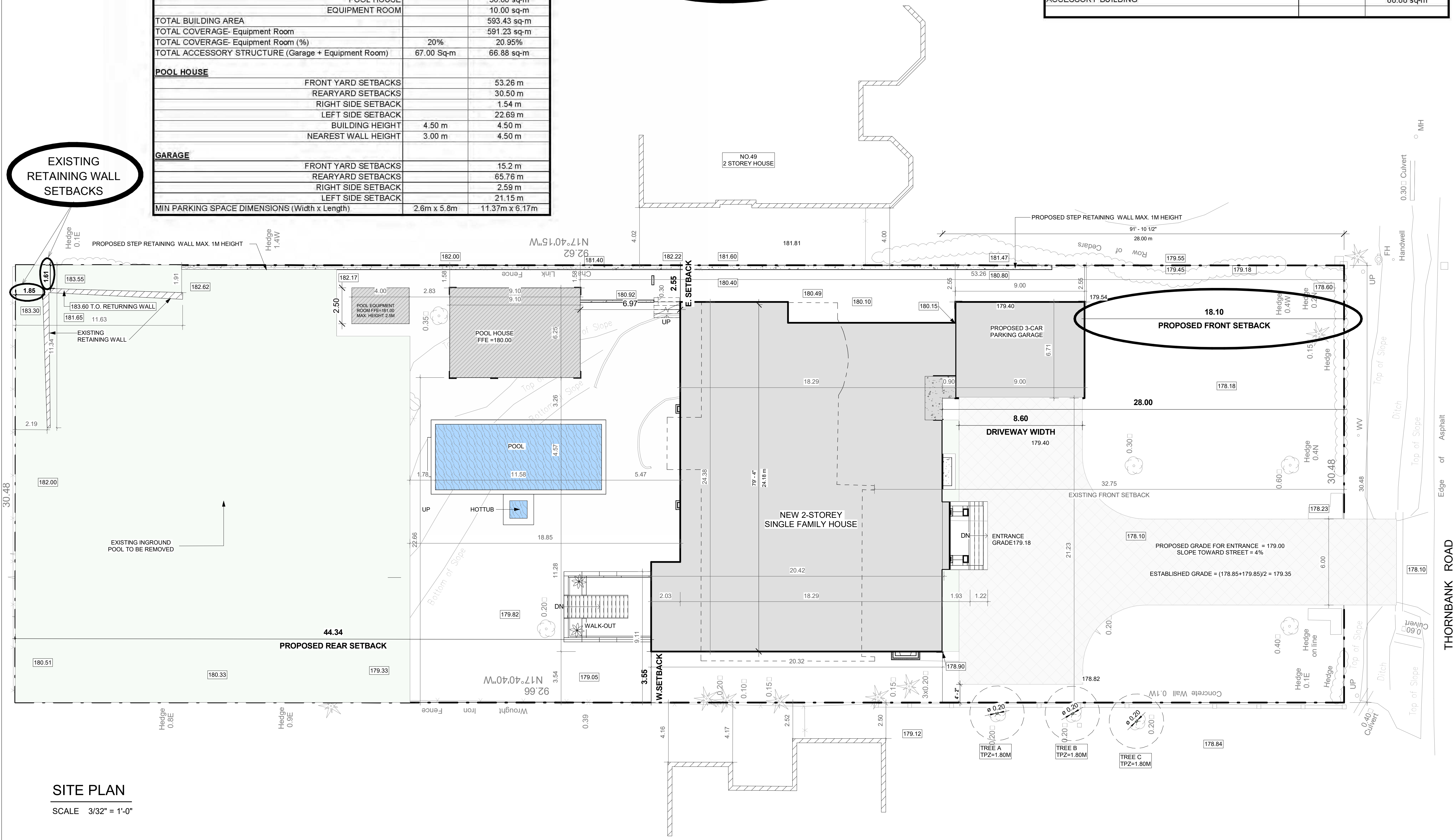


| LANDSCAPE STATISTICS | | |
|---|-------------|-------------|
| FRONT YARD LANDSCAPE | | |
| TOTAL FRONT YARD AREA | | 735.00 sq-m |
| REQUIRED FRONT YARD LANDSCAPE AREA 50% | 367.5 sq-m | 386.00 sq-m |
| REQUIRED FRONT YARD SOFT LANDSCAPE AREA 60% OF LANDSCAPE AREA | 220.50 sq-m | 362.00 sq-m |
| FRONT DRIVEWAY AREA | | 325.00 sq-m |
| FRONT PORCH STEPS & WINDOW WELL AREA | | 24.00 sq-m |
| REAR YARD LANDSCAPE | | |
| REAR YARD AREA | | 1394 |
| REQUIRED MIN REAR YARD SOFT LANDSCAPING AREA (60% X (REAR YARD AREA - 135 m ²)) | 755.40 sq-m | 854.44 sq-m |
| HARD LANDSCAPE | | 420 sq-m |
| WALK-OUT | | 29.79 sq-m |
| POOL HOUSE | | 56.88 sq-m |
| ACCESSORY BUILDING | | 68.88 sq-m |

21% LOT COVERGE
 (DWELLING 16.16%,
 GARAGE 2.83%,
 POOLHOUSE 2.01%)

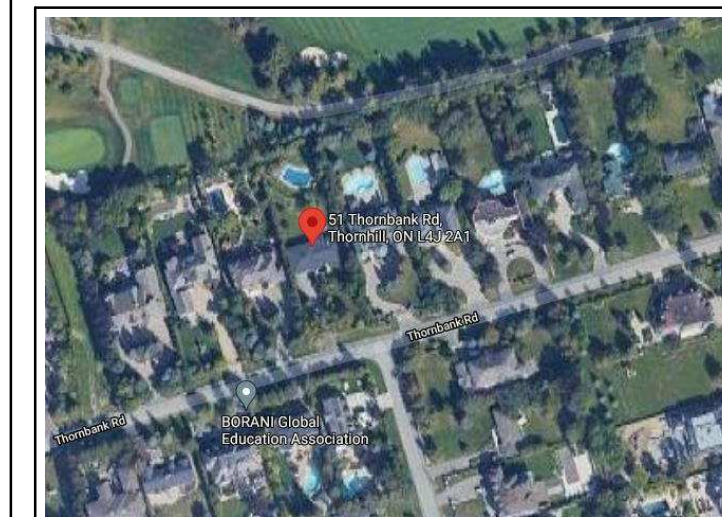
| SITE STATISTICS FOR 51 THORNBANK ROAD | | |
|--|-------------|----------------|
| ESTABLISHED GRADE ELEVATION=(LEFTSIDE 178.9 + RIGHT SIDE 180.15)/2=179.53M | | |
| | REQUIRED | PROPOSED |
| LOT AREA | 845.55 | 2823.67 sq-m |
| LOT FRONTAGE | 30.00 m | 30.48 m |
| FRONT YARD SETBACKS | 29.48 m | 28.55 m |
| FRONT YARD SETBACKS FROM GARAGE WALL | | 15.2 m |
| REARYARD SETBACKS | 15.55 m | 44.34 m |
| RIGHT SIDE SETBACK | 2.50 m | 2.55 m |
| LEFT SIDE SETBACK | 3.50 m | 3.55 m |
| BUILDING HEIGHT | 9.50 M | 11.24 M |
| BUILDING AREA | | |
| HOUSE | | 454.54 sq-m |
| GARAGE | | 79.85 sq-m |
| POOL HOUSE | | 56.88 sq-m |
| EQUIPMENT ROOM | | 10.00 sq-m |
| TOTAL BUILDING AREA | | 593.43 sq-m |
| TOTAL COVERAGE- Equipment Room | | 591.23 sq-m |
| TOTAL COVERAGE- Equipment Room (%) | 20% | 20.95% |
| TOTAL ACCESSORY STRUCTURE (Garage + Equipment Room) | 67.00 Sq-m | 66.88 sq-m |
| POOL HOUSE | | |
| FRONT YARD SETBACKS | | 53.26 m |
| REARYARD SETBACKS | | 30.50 m |
| RIGHT SIDE SETBACK | | 1.54 m |
| LEFT SIDE SETBACK | | 22.69 m |
| BUILDING HEIGHT | 4.50 m | 4.50 m |
| NEAREST WALL HEIGHT | 3.00 m | 4.50 m |
| GARAGE | | |
| FRONT YARD SETBACKS | | 15.2 m |
| REARYARD SETBACKS | | 65.76 m |
| RIGHT SIDE SETBACK | | 2.59 m |
| LEFT SIDE SETBACK | | 21.15 m |
| MIN PARKING SPACE DIMENSIONS (Width x Length) | 2.6m x 5.8m | 11.37m x 6.17m |

EXISTING RETAINING WALL SETBACKS



SITE PLAN
 SCALE 3/32" = 1'-0"

THORNBANK ROAD



PRIVATE RESIDENCE
51 THORNBANK RD.
VAUGHAN ONTARIO L4J 2A1

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REVISIONS:

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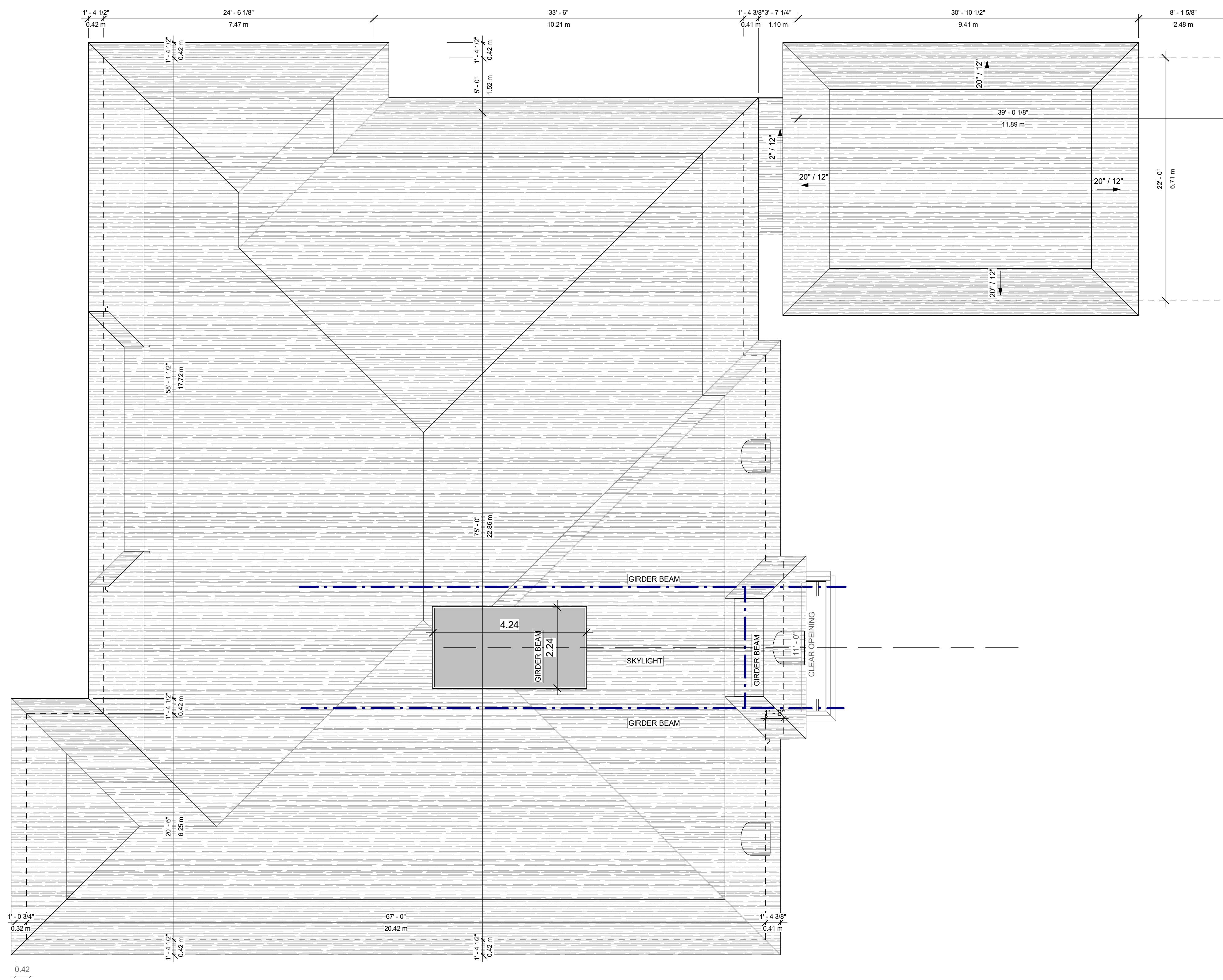
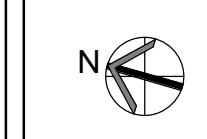
DESIGNED BY:
Tricon Development Inc.
6021 Yonge St. #323
Toronto, ON, M2M 3W2
Tel: 647.802.3212
kayvon@tricondevelopment.ca
arvin@tricondevelopment.ca

CONCEPTUAL DESIGN BY:
Arvin Heidari
&
Kayvon Heidari

SHEET NAME:
ROOF PLAN

SHEET NUMBER:
A105

SCALE:
1 : 64





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| 04 | ISSUED FOR C of A | 2021-07-14 |
| 05 | ISSUED FOR C of A (FRONT SETBACK & HEIGHT REDUCED) | 2021-07-28 |
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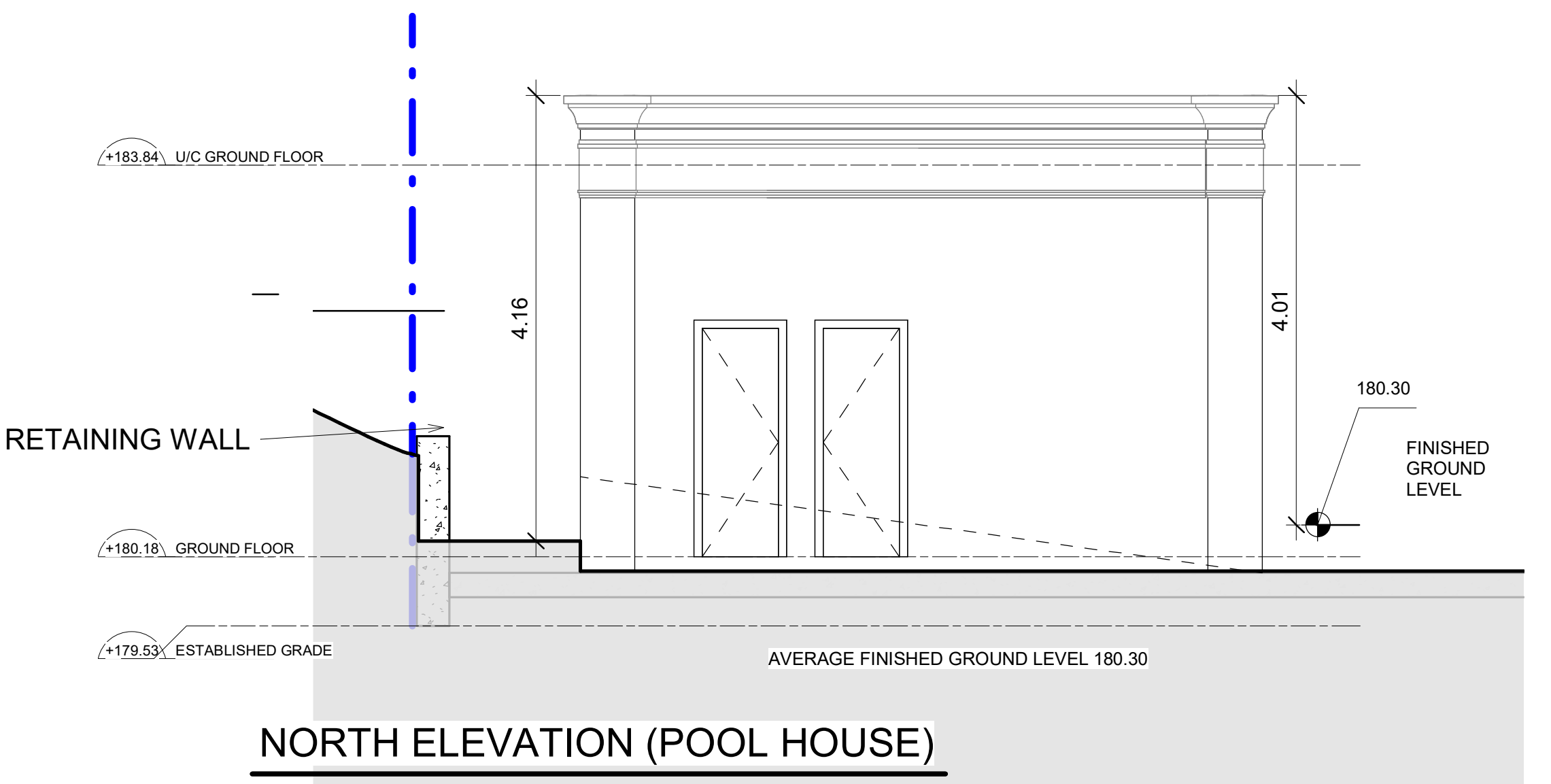
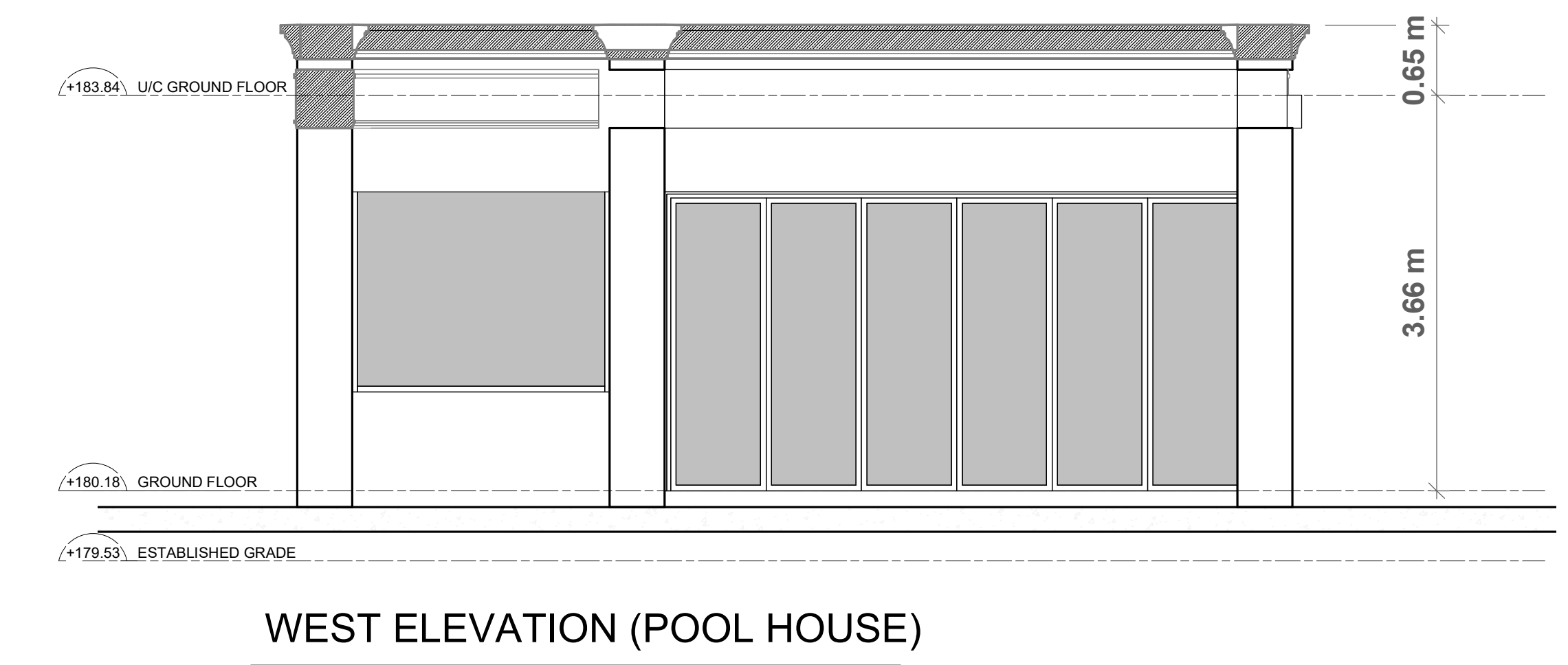
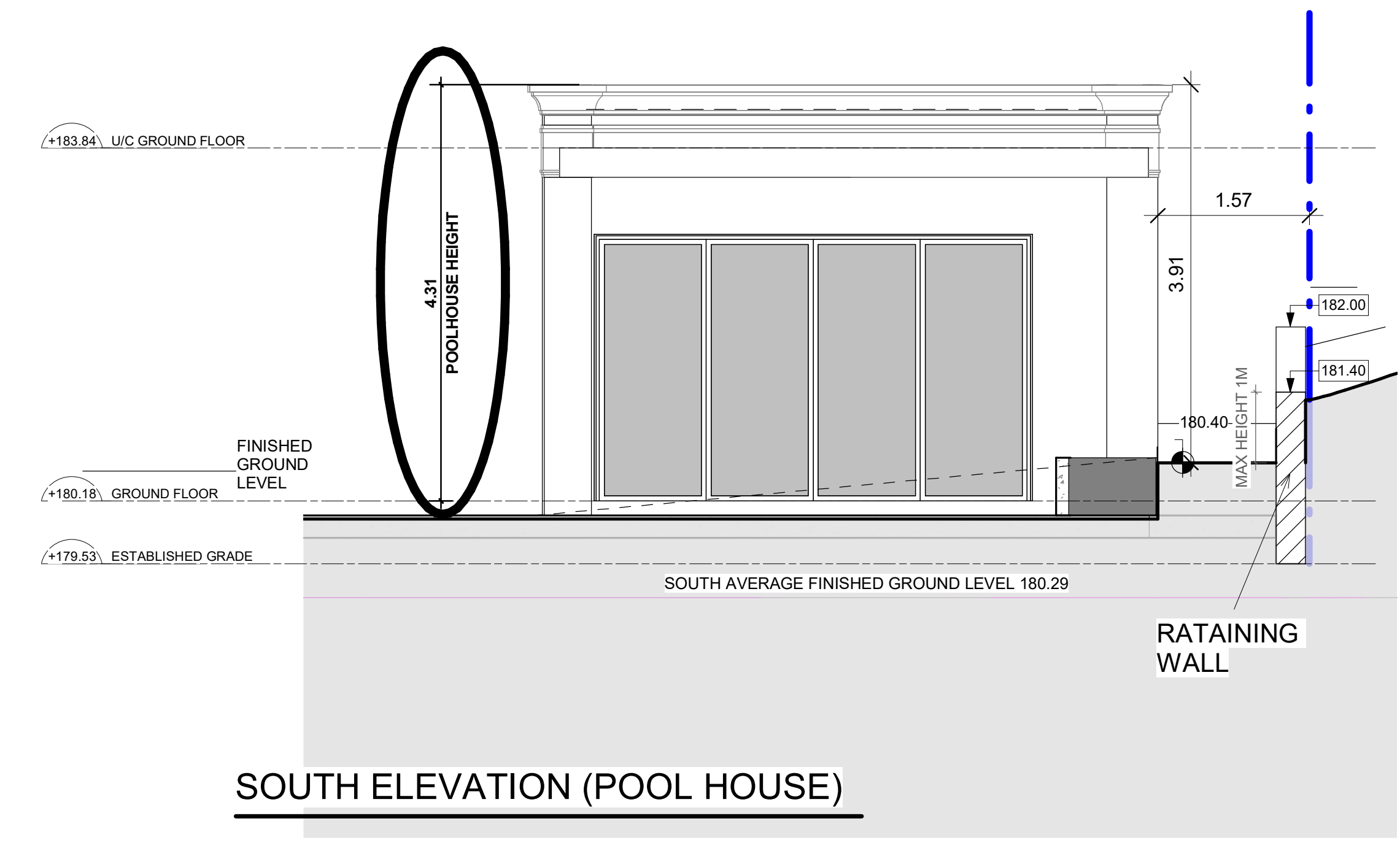
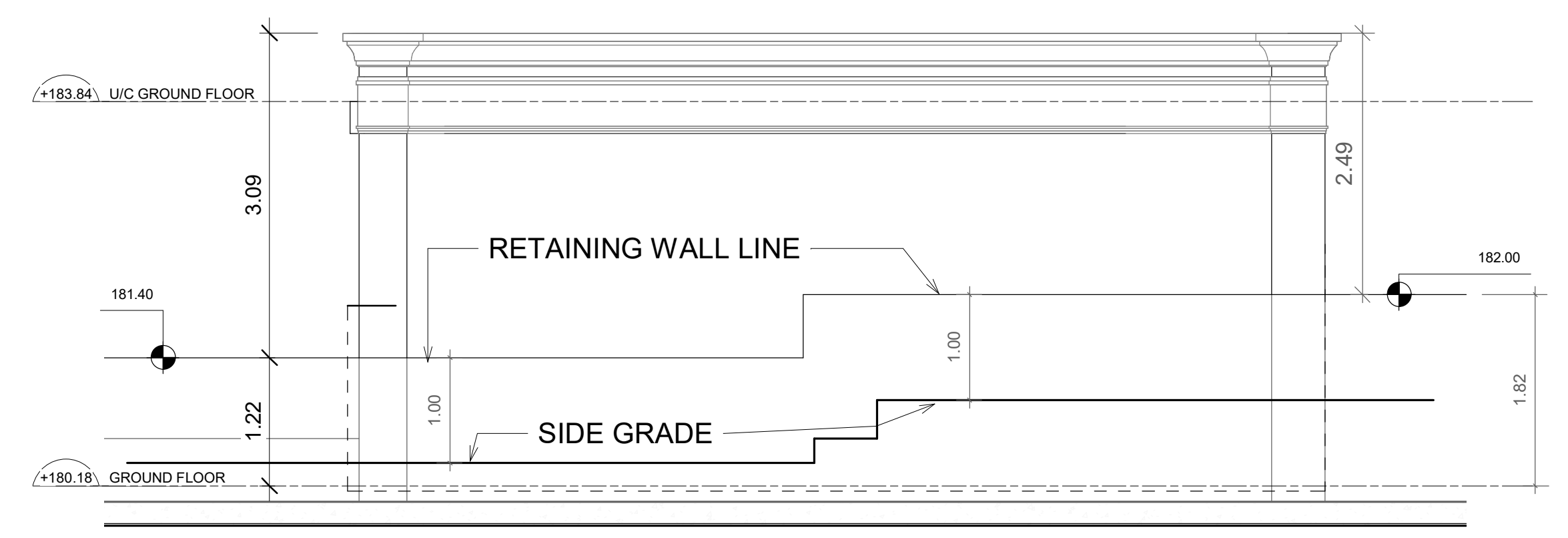
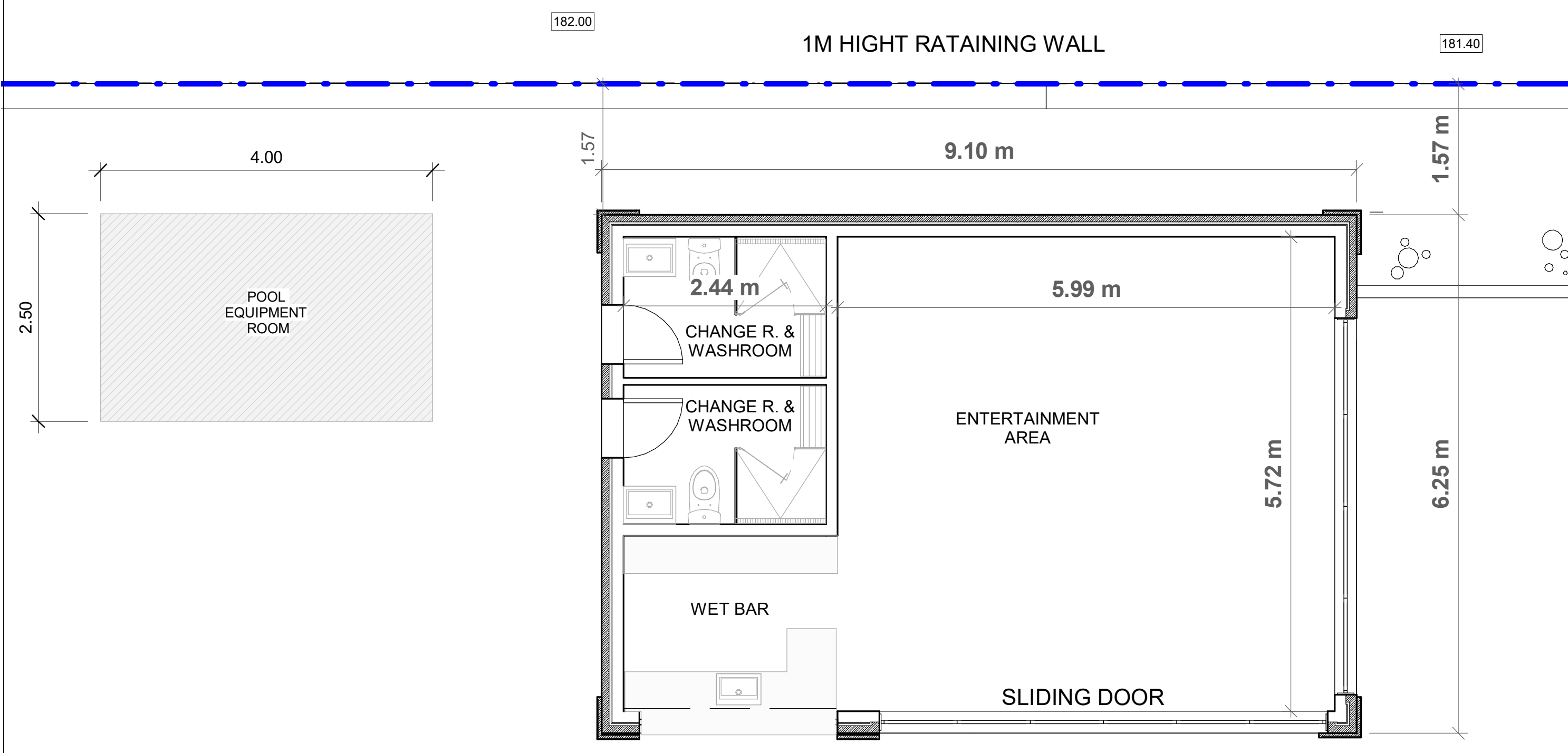
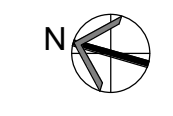
DESIGNED BY:
Tricon Development Inc.
 6021 Yonge St. #323
 Toronto, ON, M2M 3W2
 Tel: 647.802.3212
 kayvon@tricondevelopment.ca
 arvin@tricondevelopment.ca

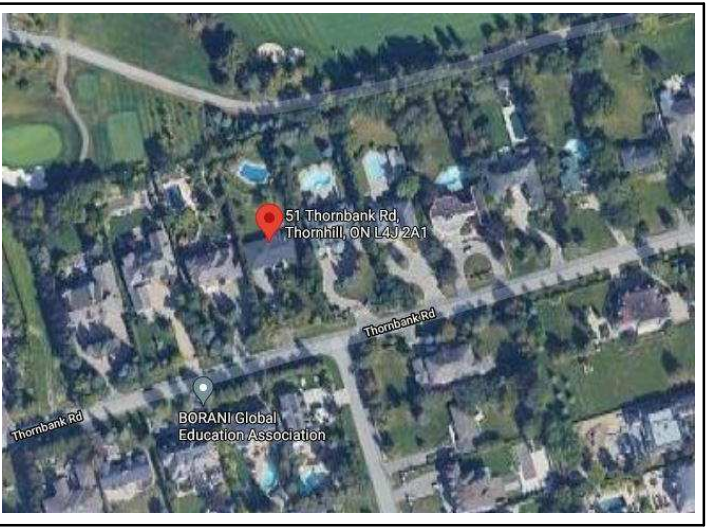
CONCEPTUAL DESIGN BY:
 Arvin Heidari
 &
 Kayvon Heidari

SHEET NAME:
POOL HOUSE DRAWINGS

SHEET NUMBER:
A107

SCALE:
1 : 48





PRIVATE RESIDENCE
51 THORNBANK RD.
VAUGHAN ONTARIO L4J 2A1

NOTES:

- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER.
- THE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OTHER THAN THE ONE ASSIGNED WITHOUT THE CONSENT OF THE DESIGNER.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE DESIGNER.
- DO NOT PROCEED WITH WORK WITHOUT THE APPROVED REVISION TO THE DRAWING.

REVISIONS:

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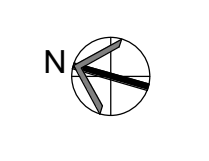
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 arvin@tricondevelopment.ca

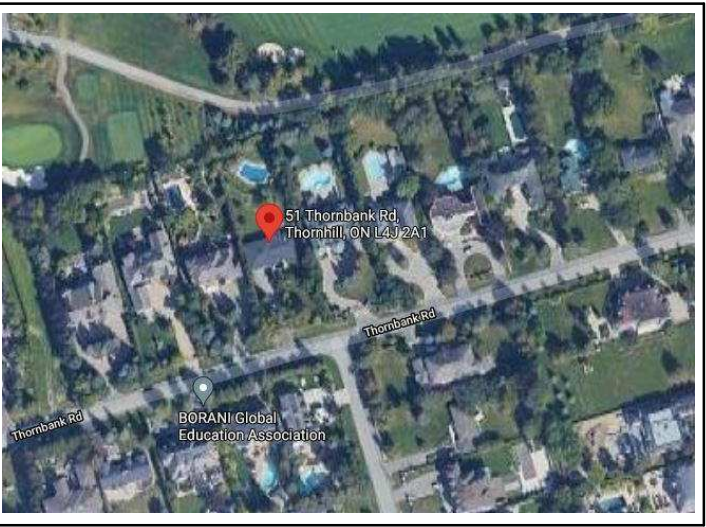
CONCEPTUAL DESIGN BY:
 Arvin Heidari
 &
 Kayvon Heidari

SHEET NAME:
SOUTH (MAIN) ELEVATION

SHEET NUMBER:
A200

SCALE:
1 : 64





PRIVATE RESIDENCE
51 THORNBANK RD.
VAUGHAN ONTARIO L4J 2A1

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DESIGNED BY:
Tricon Development Inc.

6021 Yonge St. #323
Toronto, ON, M2M 3W2
Tel: 647.802.3212
kayvon@tricondevelopment.ca
arvin@tricondevelopment.ca

CONCEPTUAL DESIGN BY:
Arvin Heidari
&
Kayvon Heidari

SHEET NAME:

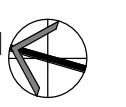
**NORTH (BACK SIDE)
ELEVATION**

SHEET NUMBER:

A201

SCALE:

1 : 64





PRIVATE RESIDENCE
51 THORNBANK RD.
VAUGHAN ONTARIO L4J 2A1

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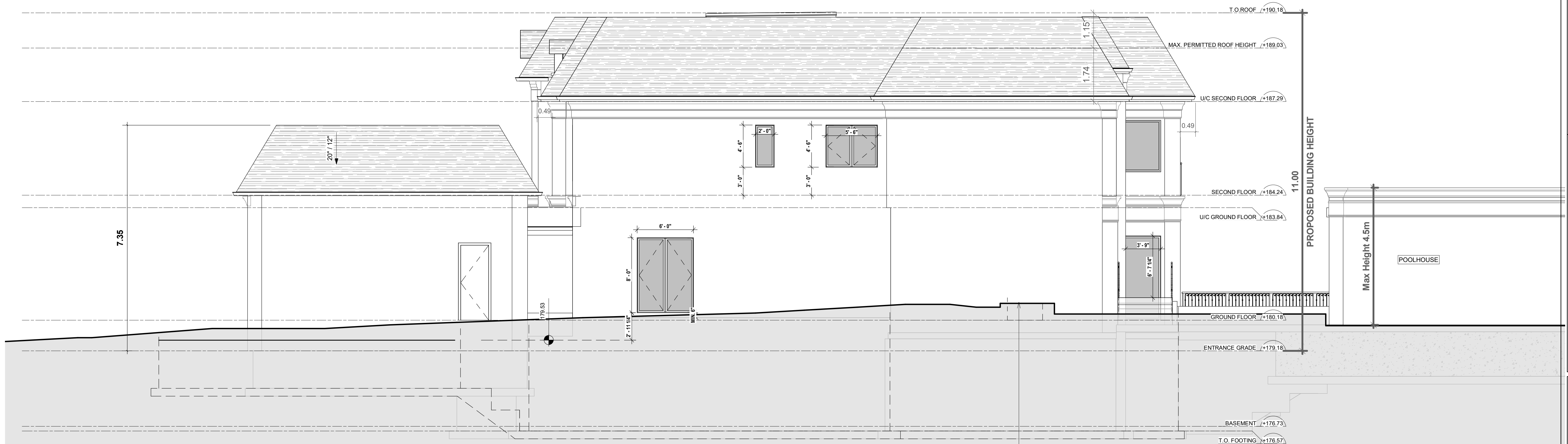
DESIGNED BY:
Tricon Development Inc.
 6021 Yonge St. #323
 Toronto, ON, M2M 3W2
 Tel: 647.802.3212
 kayvon@tricondevelopment.ca
 arvin@tricondevelopment.ca

CONCEPTUAL DESIGN BY:
 Arvin Heidari
 &
 Kayvon Heidari

SHEET NAME:
EAST ELEVATION

SHEET NUMBER:
A202

SCALE:
1 : 64



STEP FOOTINGS:
 MAX. VERTICAL RISE BETWEEN HORIZONTAL PORTIONS: (2'-0") FOR FIRM SOIL. (1'-4") FOR SAND OR GRAVEL.
 MIN. HORIZONTAL DISTANCE BETWEEN RISERS: (2'-0")

UNPROTECTED OPENINGS CALCULATIONS:
 EXPOSED BUILDING FACE: 192.80SM
 LIMITING DISTANCE: 2.55M
 UNPROTECTED OPENINGS PERMITTED 9% (13.90SM)
 (AS PER TABLE 9.10.14.1 O.B.C.)
 UNPROTECTED OPENINGS PROPOSED 9% (13.90SM)

LD > 20M
ALLOWED 100% OPENINGS



PRIVATE RESIDENCE
51 THORNBANK RD.
VAUGHAN ONTARIO L4J 2A1

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Tricon Development Inc.
 6021 Yonge St. #323
 Toronto, ON, M2M 3W2
 Tel: 647.802.3212
 kayvon@tricondevelopment.ca
 arvin@tricondevelopment.ca

CONCEPTUAL DESIGN BY:
 Arvin Heidari
 &
 Kayvon Heidari

SHEET NAME:

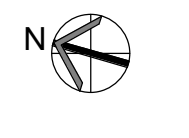
WEST ELEVATION

SHEET NUMBER:

A203

SCALE:

1 : 64



UNPROTECTED OPENINGS CALCULATIONS:

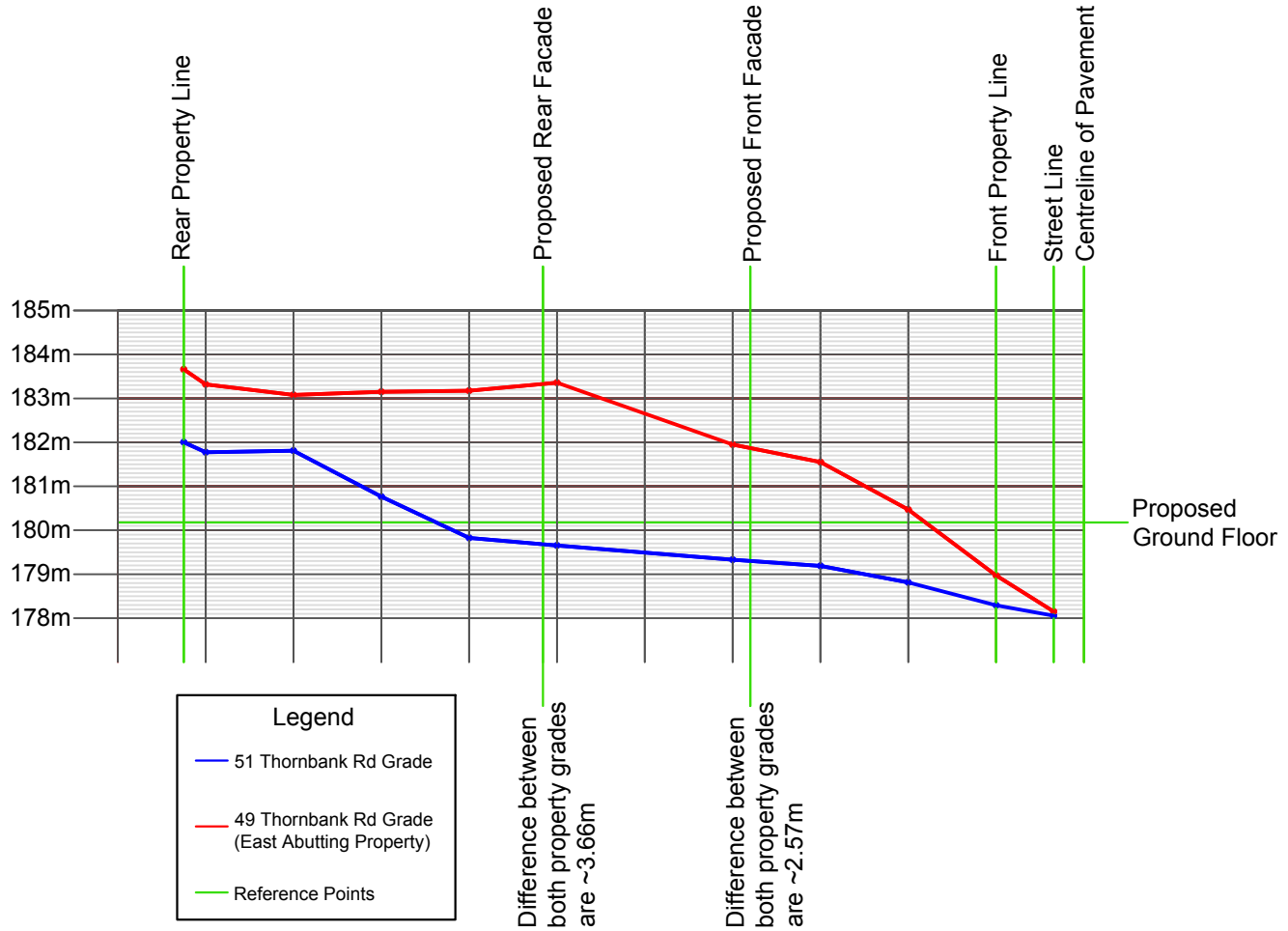
| | |
|--|--------------|
| EXPOSED BUILDING FACE: | 154SM |
| LIMITING DISTANCE | 3.55M |
| UNPROTECTED OPENINGS PERMITTED (AS PER TABLE 9.10.14.1 O.B.C.) | 10% (15.4SM) |
| UNPROTECTED OPENINGS PROPOSED | 3% (4.86 SM) |

RECEIVED

By RECEIVED at 10:09 am, Aug 03, 2021

51 Thornbank Rd

Grading Comparison with East Abutting Property





**49 Thornbank Rd
(East Abutting Property)**

51 Thornbank Rd



Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

TRCA – No concerns or objections

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Pravina Attwala

Subject: FW: A149/21 (51 THORNBANK ROAD) - REQUEST FOR COMMENTS (REVISED APPLICATION & BUILDING COMMENTS)

From: York Plan <yorkplan@trca.ca>

Sent: July-23-21 9:19 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: A149/21 (51 THORNBANK ROAD) - REQUEST FOR COMMENTS (REVISED APPLICATION & BUILDING COMMENTS)

TRCA has no concerns with regard to the above noted application.

Should further clarification be required, please contact the undersigned at your earliest convenience.

Mark Howard, BES, MLA, MCIP, RPP

Senior Planner – Vaughan Review Area

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:4166616600) ext 5269

E: mark.howard@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



Please note that TRCA's Offices are presently closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that development planning and permit applications and materials be submitted digitally in PDF format. Paper submissions are discouraged and may result in extended timeframes for review.

All digital submissions and documents can be submitted to the following e-mail addresses:

Enquiries/ applications within Peel Region municipalities – peelplan@trca.ca

Enquiries/ applications within York Region municipalities – yorkplan@trca.ca

We thank you for your cooperation as we respond to the current situation.

Pravina Attwala

Subject: FW: A149/21 (51 THORNBANK ROAD, THORNHILL) - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: July-21-21 9:29 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A149/21 (51 THORNBANK ROAD, THORNHILL) - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca