

**File:** A140/21

**Applicant:** Satish Thakkar

**Address:** 7850 King-Vaughan Rd Vaughan

**Agent:** Brandon Bell

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations		
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala  
Hearing Date: Thursday, August 12, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



**Minor Variance  
Application**

Agenda Item: 7

**A140/21**

Ward: 1

**Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer**

**Date & Time of Live Stream Hearing:** Thursday, August 12, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Satish Thakkar

**Agent:** Brandon Bell

**Property:** 7850 King-Vaughan Rd Vaughan

**Zoning:** The subject lands are zoned A, Agricultural under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Agricultural" & "Natural Areas"

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed single-family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A maximum building height of 11 metres is permitted [Schedule A].	To permit a maximum building height of 12.95 metres.

**Background (previous applications approved by the Committee on the subject land): N/A**

For information on the previous approvals listed above please visit [www.vaughan.ca](https://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

**Adjournment History: N/A**

**Staff & Agency Comments**

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**  
Public notice was mailed on July 28, 2021

Applicant confirmed posting of signage on July 26, 2021

Property Information	
Existing Structures	Year Constructed
Land	Purchased March 2017 (Dwelling to be constructed)

Applicant has advised that they cannot comply with By-law for the following reason(s): The proposed dwelling is influenced by French style which emphasizes in relation to size of dwelling to achieve a tasteful aesthetic. The roof design incorporates a hybrid sloped and flat roof. As the zoning by-law does not consider hybrid style, it must measure to the highest point where there is a flat roof (rather than mid point of a sloped design). The proposed design, despite the need for minor variance, will achieve a more appropriate massing and roof to wall ratio in comparison to an entirely sloped roof design style that would not complement the dwelling’s architecture.

**Adjournment Request:** None.

**Building Standards (Zoning Review):**

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit Application No. 21-106379 for Single Detached Dwelling - New Housing with Septic Approval, Issue Date: (Not Yet Issued)

The Applicant has previously been advised that Zoning has conducted a review of this application for a single family dwelling unit only. Written acknowledgement from the owner that the purpose of the proposed building is for the use of a Dwelling, Single Family Detached, as defined in Section 2.0 of Zoning By-law 1-88, has subsequently been provided.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

The subject lands appear to be located in the Greenbelt Area.

The Applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

**Building Inspections (Septic):**

No response

**Development Planning:**

Official Plan: City of Vaughan Official Plan 2010 ('VOP 2010'): “Agricultural” & “Natural Areas” within the Greenbelt Plan Area.

The Owner is proposing to construct a two-storey single-family dwelling with the above-noted variance.

The rear half of the subject lands are traversed by a stream corridor and located within the Greenbelt Plan Area. In accordance with VOP 2010, development and site alteration is typically not permitted within stream corridors or their Minimum Vegetation Protection Zone. Stream corridors are features regulated by the Toronto and Region Conservation Authority ('TRCA') under Ontario Regulation 166/06. Subsequently, the TRCA has reviewed the proposal and have no concerns as the proposed dwelling is setback a minimum of 10 m from the Long-Term Stable Top of Slope associated with the feature.

In support of the application, the Owner submitted an Arborist Report, Tree Preservation Plan, Tree Replacement Plan, and Landscape Restoration Plan and Details prepared by Canopy Consulting on November 27, 2018 and revised on June 30, 2021. The Arborist Report inventoried 80 trees affected, with 49 private-owned trees and one city-owned tree proposed to be removed. A total of 69 trees are proposed to be planted. The Urban Design Division concurs with the recommendations of the report subject to technical revisions required to address comments related to the quantity, placement, and species of new trees to be planted. A recommendation to this effect has been included in the Conditions of Approval.

At a proposed height of 12.95 m measured to the top of a flat roof, the Development Planning Department has no concerns considering the large size of the property and its location within an area characterized by agricultural and rural residential lots.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application, subject to the following condition:

That the Arborist Report, Tree Preservation Plan, Tree Replacement Plan, and Landscape Restoration Plan and Details, dated June 30, 2021, be approved to the satisfaction of the Development Planning Department.

**Development Engineering:**

The Development Engineering (DE) Department does not object to variance application A140/21.

The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert.

**Parks Development - Forestry:**

No comments received to date.

**By-Law and Compliance, Licensing and Permit Services:**

No comments no concerns

**Development Finance:**

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

**Fire Department:**

No comments received to date

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

Applicant Correspondence – Response to application review comments.

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections  
TRCA – comments with conditions , York Region - No concerns or objections.

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: N/A

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Planning Michael Torres  905-832-8585 x 8933 <a href="mailto:Michael.Torres@vaughan.ca">Michael.Torres@vaughan.ca</a>	That the Arborist Report, Tree Preservation Plan, Tree Replacement Plan, and Landscape Restoration Plan and Details, dated June 30, 2021, be approved to the satisfaction of the Development Planning Department.

	Department/Agency	Condition
2	TRCA Hamedeh Razavi  416-661-6600 x 5256 <a href="mailto:hamedeh.razavi@trca.ca">hamedeh.razavi@trca.ca</a>	That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Notice to the Applicant – Development Charges**

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](https://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8002  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

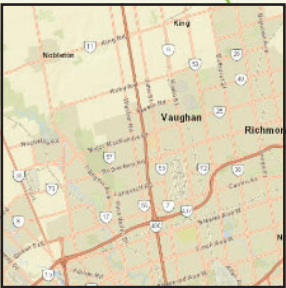
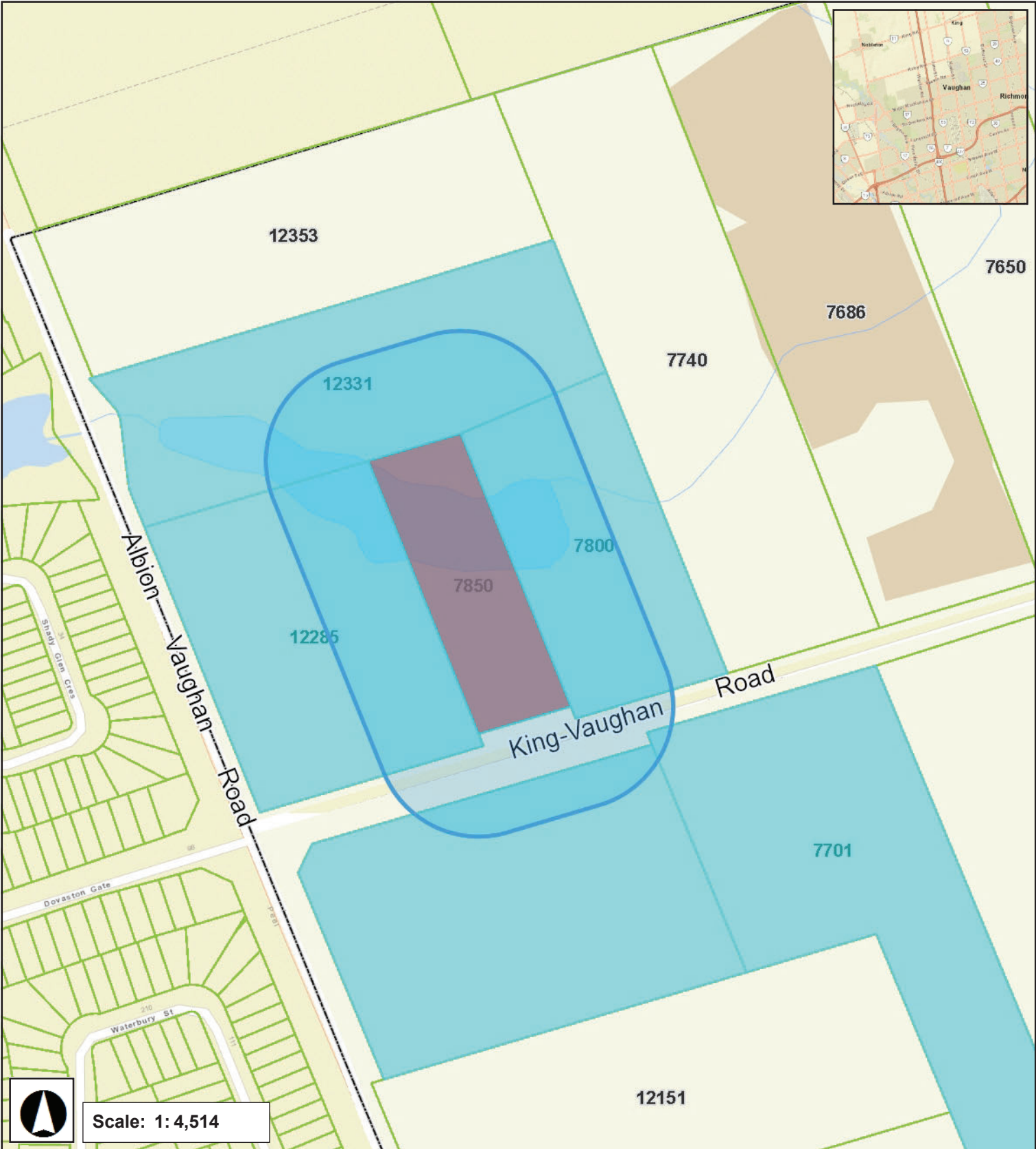
Location Map  
Plans & Sketches





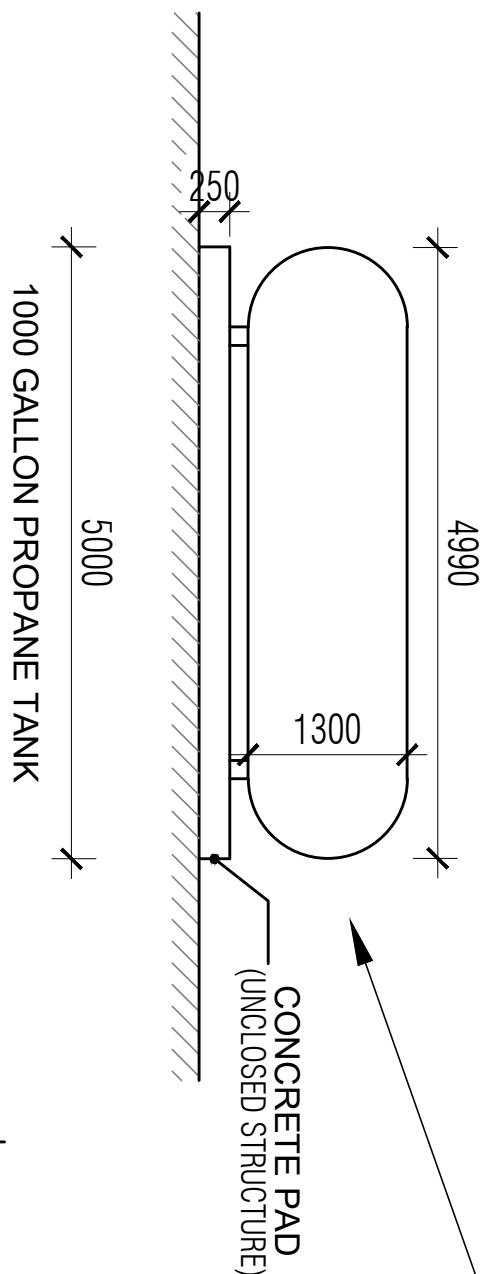
LOCATION MAP A140/21

7850 KING-VAUGHAN ROAD , VAUGHAN

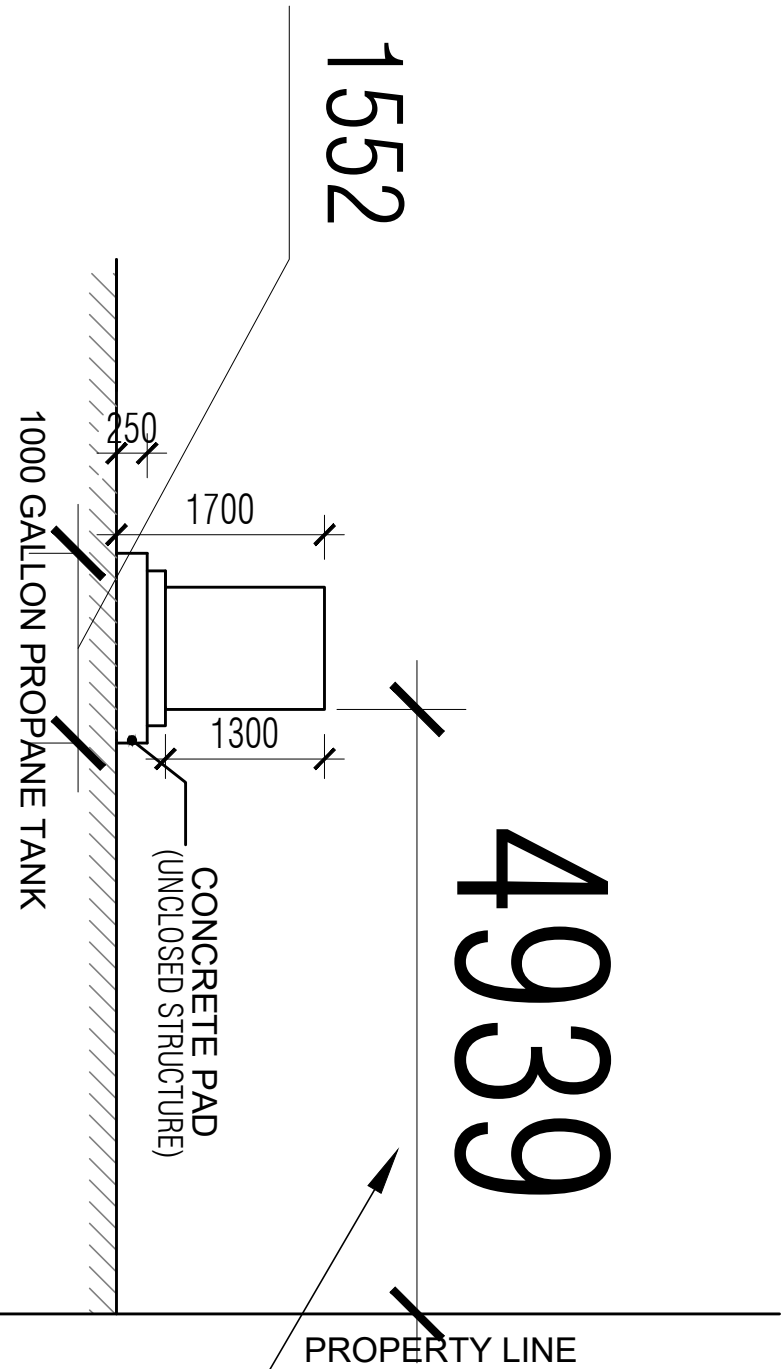


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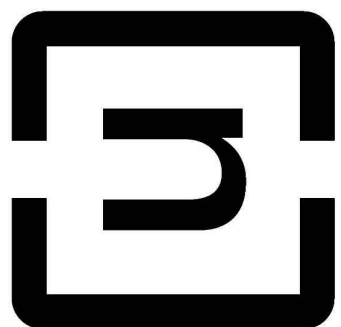
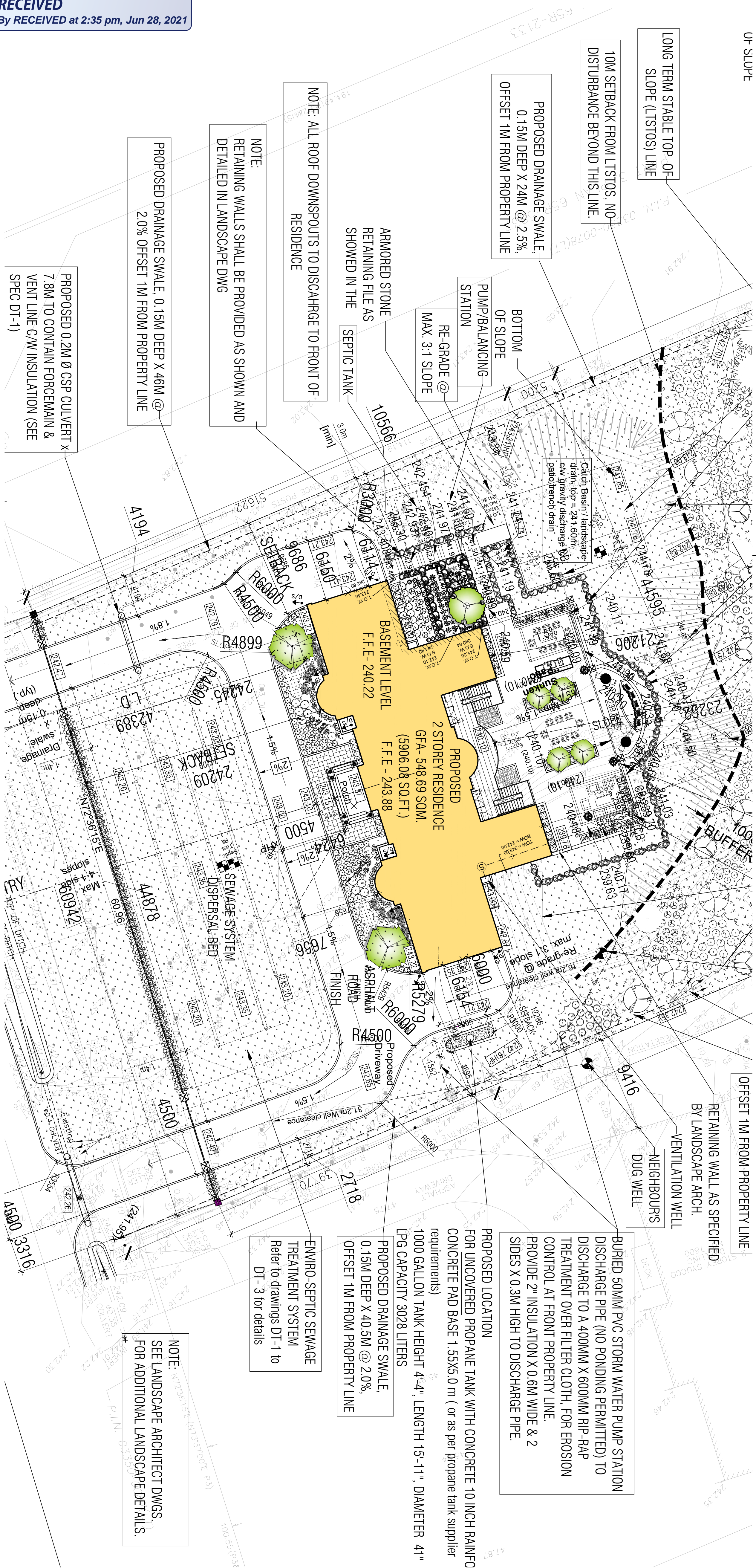


UNCOVERED PROPANE TANK WITH CONCRETE 10 INCH RAINFOURCED CONCRETE PAD BASE 1.55X5.0 m ( or as per propane tank supplier requirements)  
1000 GALLON TANK HEIGHT 4'-4", LENGTH 15'-11", DIAMETER 41"  
LPG CAPACITY 3028 LITERS

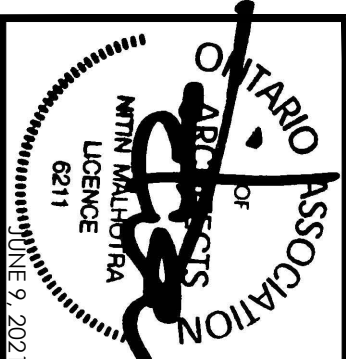


PROPANE TANK SIDE SETBACK

RECEIVED  
By RECEIVED at 2:35 pm, Jun 28, 2021



n Architecture Inc  
PRINCIPAL: NITIN MALHOTRA, ARCHITECT  
9120 Leslie Street, Suite 208  
Richmond Hill, Ontario, L4B 3J9  
T : 4 1 6 . . 3 0 3 . 4 8 2 1  
E: info@narchitecture.com  
www.narchitecture.com



09th JUNE 2021  
ISSUED FOR M.V.

3.	09 JUN 2021	ISSUED FOR M.V.	NM
2.	16 MAR 2021	ISSUED FOR B.P.	DV
1.	12 JAN 2021	ISSUED FOR B.P.	DV
No.	Dcile	Version	Dwnr.

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PROJECT:

PROPOSED  
RESIDENCE  
7850 KING  
VAUGHAN ROAD  
ON

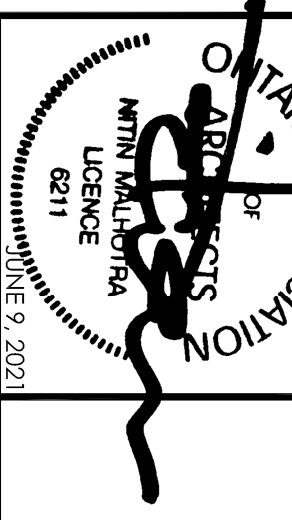
DRAWING TITLE: PARTIAL  
SITE PLAN-  
PROPANE TANK  
DETAILS

DRAWN BY: DV	DATE: 2017 MAY 16
CHECKED BY: NM	SCALE: AS NOTED
PROJECT NO.: 17-60	DRAWING NO.: A05b





**n Architecture Inc**  
PRINCIPAL: NITIN MALHOTRA, ARCHITECT  
9120 Leslie Street, Suite-208  
Richmond Hill, Ontario, L4B 3J9  
T: 4 1 6 . 3 0 3 . 4 8 2 1  
E: info@narchitecture.com  
www.narchitecture.com



ONTARIO  
OF  
ARCHITECTS  
NATIN MALHOTRA  
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JUNE 9, 2021

09th JUNE 2021  
ISSUED FOR M.V.

3.	09 JUN 2021	ISSUED FOR M.V	NM
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No.	Date	Version	Dwn.

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## PROJECT:

**NEW RESIDENCE  
7850 KING VAUGHAN  
ROAD, ON L4H 3N5**

DRAFTING TITLE:

## SOUTH & NORTH ELEVATIONS

DRAWN BY: DV

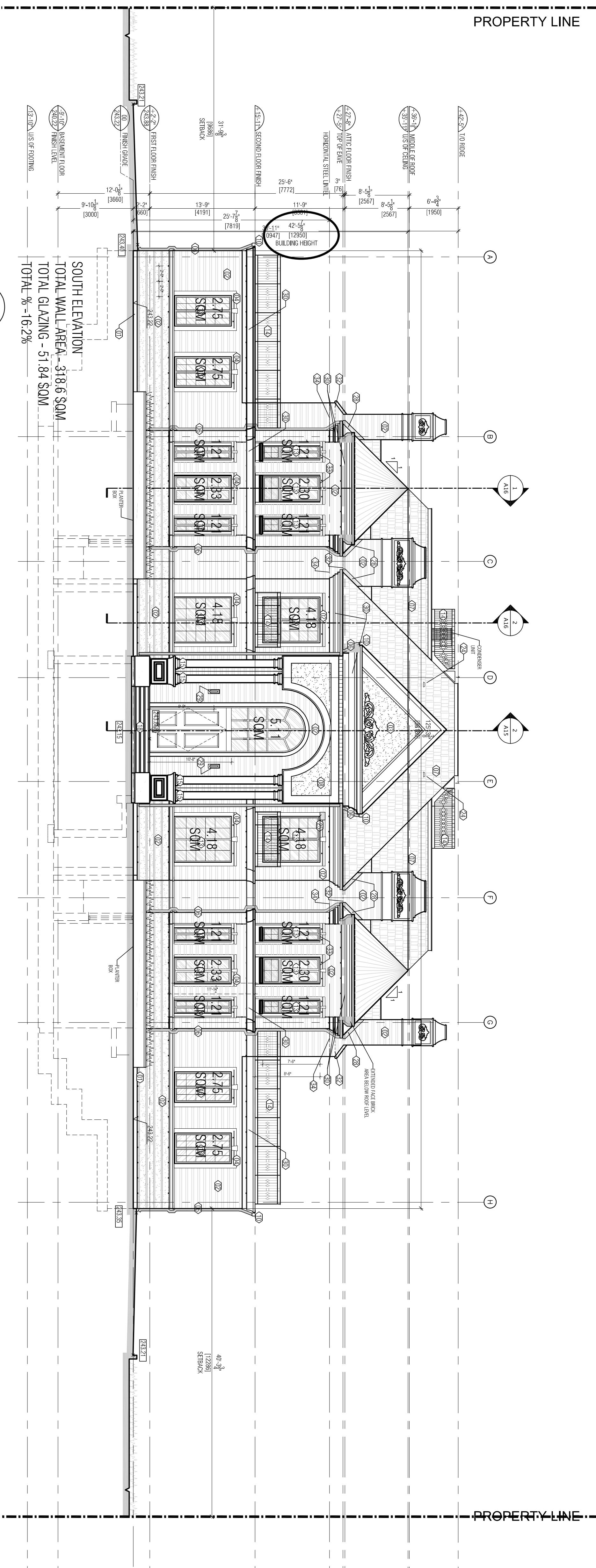
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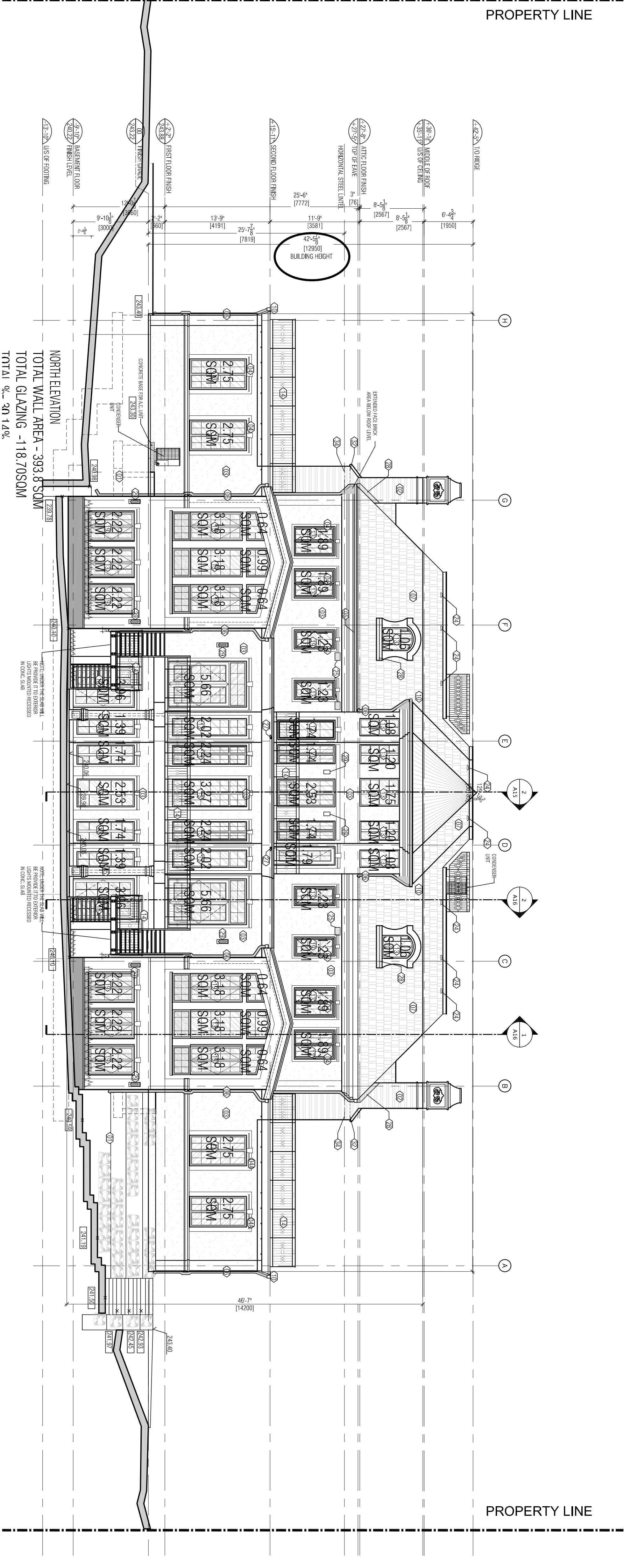
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# 17-60

# A13



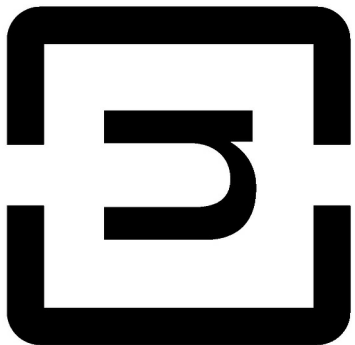
1	FRONT ELEVATION (SOUTH)
A13	SCALE - 1/8"=1'-0"



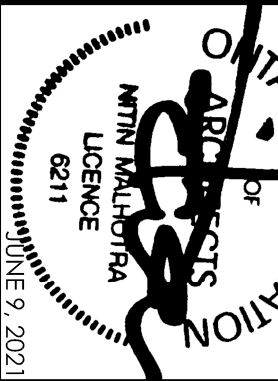
2	REAR ELEVATION(NORTH)
A13	SCALE - 1/8"=1'-0"

REAR ELEVATION(NORTH)  
SCALE - 1/8"=1'-0"





**n Architecture Inc**  
PRINCIPAL: NITIN MALHOTRA, ARCHITECT.  
9120 Leslie Street, Suite 208  
Richmond Hill, Ontario, L4B 3J9  
T : 4 1 6 . 3 0 3 . 4 8 2 1  
E: info@narchitecture.com  
www.narchitecture.com



09th JUNE 2021  
ISSUED FOR M.V.

3.	09 JUN 2021	ISSUED FOR M.V	NM
2.	16 MAR. 2021	ISSUED FOR B.P	DV
1.	12 JAN 2021	ISSUED FOR B.P	DV
No.	Date	Version	Dwn.

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PROJECT:

**NEW RESIDENCE  
7850 KING VAUGHAN  
ROAD, ON L4H 3N5**

DRAWING TITLE:

**EAST & WEST  
ELEVATIONS**

DRAWN BY: DV DATE: 2020 DEC.23

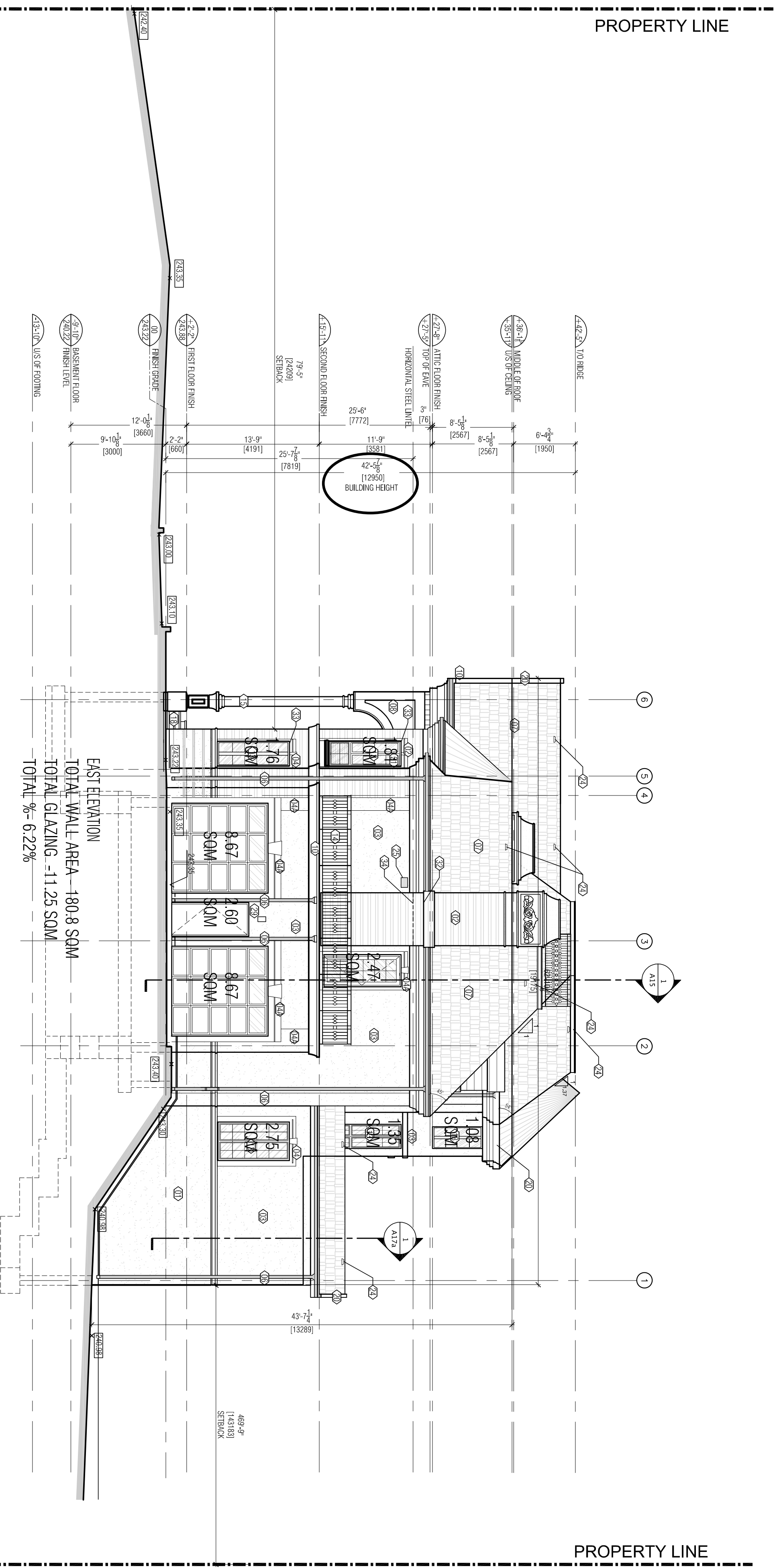
CHECKED BY: NM SCALE: AS NOTED

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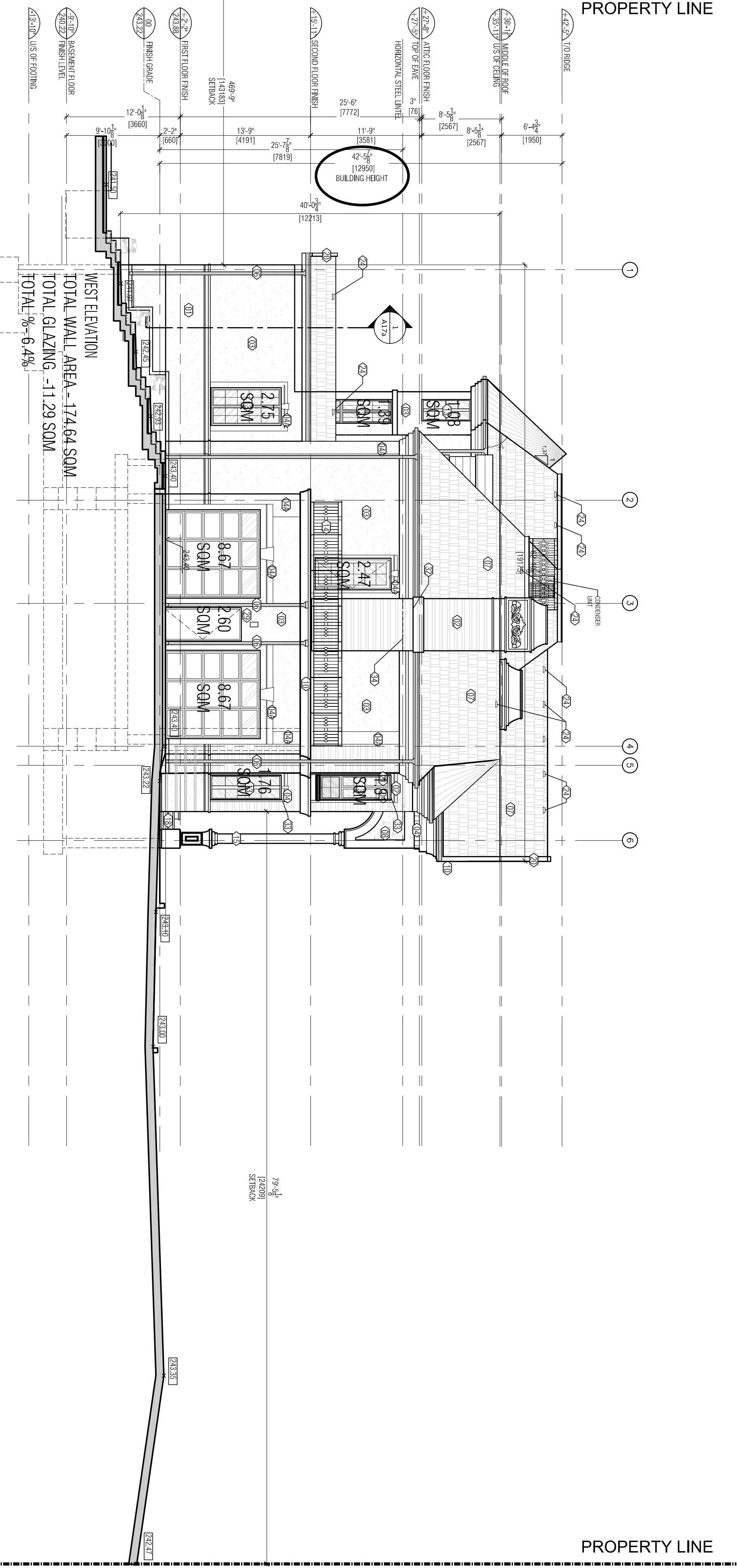
**17-60 A14**

- (10) SPRAYED CONCRETE FOUNDATION WALL PLASTERED WITH WATER RESISTANT MORTAR (1/2" THICK).
- (11) SLIP-RESISTANT LIME STONE EXTERIOR CLADDING MOUNTED ON 2x4 STUDS WITH 1/2" POLYURETHANE GLUE. FROM 15' TO 18' MAX. HEIGHT.
- (12) THE FINISHED LIME STONE WINDOWS RECOGNITIVE HANDINGS.
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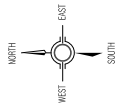


1 RIGHT ELEVATION(EAST)  
A14 SCALE - 1/8"=1'-0"



2 LEFT ELEVATION(WEST)  
A14 SCALE - 1/8"=1'-0"

**NOTE:**  
BUILDING FACADE ORIENTATION FACING SOUTHEAST



PROJEC

2.	15 MAR. 2021	ISSUED FOR B.P	DV
1.	12 JAN 2021	ISSUED FOR B.P	DV
No.	Date	Version	Dwn.

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"n Architecture Inc". Not to be reproduced.  
Contractor must verify all job dimensions,  
drawings, details and specifications and report  
any discrepancies to the architect before  
proceeding with work.

PROJECT:

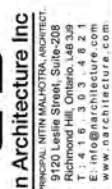
PROPOSED  
RESIDENCE  
7850 KING  
VAUGHAN ROAD  
ON

DRAWING TITLE:

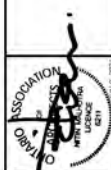
## SURVEY PLAN

DRAWN BY: DV	DATE: 2017 MAY, 16
CHECKED BY: NM	SCALE: AS NOTED
PROJECT NO.:	DRAWING NO.:

A04	17-60
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**n Architecture Inc**  
PRINCIPAL: NITIN MALHOTRA, ARCHITECT  
9120 Leslie Street, Suite-208  
Richmond Hill, Ontario L4B 3J9  
T: 416.303.4821  
E: info@narchitecture.com  
www.narchitecture.com



ISSUED FOR M.V.  
09th JUNE 2021

3.	09 JUN 2021	ISSUED FOR M.V	NM
2.	16 MAR 2021	ISSUED FOR B.P	DV
1.	12 JAN 2021	ISSUED FOR B.P	DV

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PROJECT:

PROPOSED  
RESIDENCE  
7850 KING  
VAUGHAN ROAD  
ON

DRAWING: 0015

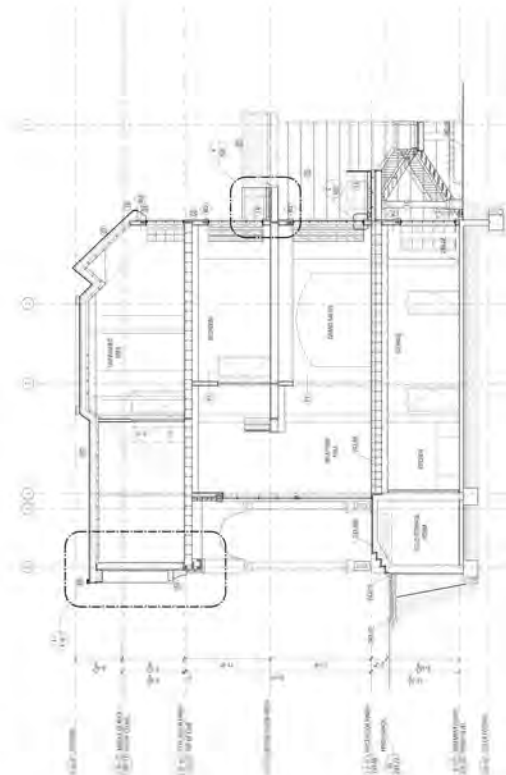
## CROSS SECTIONS

DRAWN BY: MK	DATE: 2017 MAY, 16
CHECKED BY: NM	SCALE: AS NOTED
PROJECT NO.:	DRAWING NO.:

17-60	A15
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1 CROSS SECTION  
A15 SCALE - 1/8"=1'-0"



2 CROSS SECTION  
A15 SCALE - 1/8"=1'-0"

**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**Applicant Correspondence – Response to application review comments.**

## Response Letter

208-9120 Leslie Street, Richmond Hill, ON. L4B3J9 | T: 905-597-5937 | E: info@narchitecture.com | <https://narchitecture.com/>

June 25<sup>th</sup>, 2021

City of Vaughan  
Building Standards Department  
2141 Major Mackenzie Dr.  
Vaughan, ON. L6A 1T1

**RESPONSE FOR CLARIFICATION TO THE CITY OF VAUGHAN REGARDING THE PROPOSED RESIDENCE AT 7850 KING VAUGHAN ROAD, IN VAUGHAN, ON.**

This letter concerns the proposed residence at 7850 King Vaughan Road, in Vaughan, Ontario to clarify questions asked by the City of Vaughan. Please see the responses to the questions below.

1. Basement Floor Plan Drawing A08 is identified as UNFINISHED, however a WORKSHOP is shown on Basement Floor Finish Plan Drawing A08a. Applicant to please clarify in writing.

**[n] Response:**

To confirm, the Basement plan is to be unfinished. The latest submission did not include the above mentioned Basement Floor Finish Plan, Drawing A08a. Previously submitted workshop drawings should be disregarded. Please refer to Drawing A08 for the correct Basement Floor Plan.

2. An enclosed Kitchen and an additional kitchen are shown on the First Floor Plan, Drawing A09. Applicant to please clarify the purpose of having two full kitchens on the first floor in writing.

**[n] Response:**

To address the inclusion of two full kitchens on Drawing A09, they are to serve different purposes. The "Kitchen" is to function as a traditional family kitchen that anticipates the gathering of people as cooking, serving and seating is designed together in one room. The "Enclosed Kitchen" is to function as a separate space for the cultural traditions of Indian cooking, where cooking methods and aromas should be contained in an independent and enclosed area. The "Enclosed" kitchen is to act as a preparation and cultural space, where the "Kitchen" is to act as a serving and social space.

Please do not hesitate to contact us if you require further information.

Best Regards,

**naghmeh mazaheri M.Arch.** | Architectural Designer

9120 Leslie Street, Suite-208, Richmond Hill, Ontario. L4B3J9 T: 905-597-5937



Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- TRCA – comments with conditions
- York Region - No concerns or objections.

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

July 30, 2021

CFN 64195.24  
XRef CFN 56994.24, 60085

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Ms. Christine Vigneault, Secretary Treasurer  
Committee of Adjustment, City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Ms. Vigneault:

**Re: Minor Variance Application A140-21  
7850 King Vaughan, Part Lot 1 Concession 11  
City of Vaughan, Region of York  
Owner: Satish Thakkar (Agent: Brandon Bell c/o Planrite Consulting)**

This letter acknowledges receipt of the above noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on July 26, 2021. TRCA staff has reviewed the above noted application, and as per the "Living City Policies for Planning and Development within the Watersheds of the TRCA" (LCP), provides the following comments as part of TRCA's commenting role under the *Planning Act*; the Authority's delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA's Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

**Background**

It is our understanding that the purpose of the above noted application is to permit the construction of a two-storey single detached dwelling. Staff understand that the following variance is required:

1. To permit a maximum building height of 12.95 metres.

**Ontario Regulation 166/06**

A portion of the property is regulated by TRCA due to the presence of a tributary of the Humber River and an associated valley corridor. In accordance with *Ontario Regulation 166/06 (Regulation of Development, interference with Wetlands and Alterations to Shorelines and Watercourses)*, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

**Application-Specific Comments**

TRCA staff were previously involved in the review of the proposed development through a concept development application and a permit application pursuant to Ontario Regulation 166/06. TRCA issued a permit on September 7, 2018 (TRCA Permit No. C-180826) to facilitate the portions of the project within our Regulated Area, including construction of a retaining wall and slope restoration and plantings to address historic incursions and vegetation removals. A permit revision was subsequently approved on April 16, 2021 (TRCA Permit No. C-210386R) to authorize the installation of an emergency outfall within TRCA's Regulated Area.

Based on a review of the plans submitted with this variance application, TRCA is satisfied that the noted works are consistent with the plans approved as a part of TRCA Permit C-210386R. As such, TRCA has no concerns with the proposed variance.

**Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$610.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

**Recommendation**

Based on the above, TRCA staff have **no objection** to the approval of Minor Variance Application A140-21, subject to the following condition:

1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

TRCA trusts these comments are of assistance. Should you have any questions, please contact the undersigned at extension 5256 or at [Hamedeh.Razavi@trca.ca](mailto:Hamedeh.Razavi@trca.ca)

Sincerely,



Hamedeh Razavi  
Planner I  
Development Planning and Permits

HR/mh

C: Holyday, Margaret [Margaret.Holyday@vaughan.ca](mailto:Margaret.Holyday@vaughan.ca)  
Simbana, Roberto [Roberto.Simbana@vaughan.ca](mailto:Roberto.Simbana@vaughan.ca)

**Pravina Attwala**

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**Subject:** FW: REQUEST FOR COMMENTS - A140/21 (7850 KING-VAUGHAN ROAD)

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**From:** Development Services <developmentservices@york.ca>  
**Sent:** August-04-21 3:58 PM  
**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>  
**Subject:** [External] RE: REQUEST FOR COMMENTS - A140/21 (7850 KING-VAUGHAN ROAD)

Hi Pravina,

The Regional Municipality of York has completed its review of MVAR.21.V.0411 (A140/21) and has no comments.

Thanks,

**Anson Wong** | Associate Planner, Programs and Process Improvement,  
Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71516 | [anson.wong@york.ca](mailto:anson.wong@york.ca) | [www.york.ca](http://www.york.ca)  
*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*

