

**File:** A136/21**Applicant:** Robert Strmota**Address:** 71 William Bowes Blvd Maple**Agent:** Joe Battaglia

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA	<input checked="" type="checkbox"/>	
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: N/A

Background History: A147/14, A299/12 (see next page for details)

Staff Report Prepared By: Pravina Attwala  
Hearing Date: Thursday, August 12, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance  
Application

Agenda Item: 6

A136/21

Ward: 4

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Thursday, August 12, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Robert Strmota

**Agent:** Joe Battaglia

**Property:** 71 William Bowes Blvd Maple

**Zoning:** The subject lands are zoned RD2 and subject to the provisions of Exception 9(1199) under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the existing detached garage and loggia (covered balcony) located in the easterly side yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum interior side yard setback of 3.5 metres is required.	1. To permit a minimum interior side yard setback of 0.17 metres to a covered balcony (loggia).
2. A minimum rear yard setback of 7.5 metres is required.	2. To permit a minimum rear yard setback of 0.17 metres to a covered balcony (loggia).
3. A minimum interior side yard setback of 3.5 metres is required.	3. To permit a minimum interior side yard setback of 0.17 metres to an Accessory Building (detached garage).
4. An Accessory Building or structure shall be located in the rear yard.	4. To permit an Accessory Building (detached garage) in the interior side yard.
5. Minimum interior garage width of 5.5 metres is required.	5. To permit a minimum interior garage width of 3.53 metre for a garage.
6. A maximum building height of 3.0 metres is required to the nearest part of the roof.	6. To permit a maximum building height of 3.44 metres to the nearest part of the roof of an Accessory Building (detached garage).

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A147/14	Accessory Structure (garage) easterly interior side yard 0.529m; interior garage 3.2m x 6.3m; permit 2 driveways.	Approved July 24, 2014

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A299/12	0.99m rear yard to inground swimming pool; 0.83m interior side yard to inground swimming pool; 0.53m interior side yard to pool equipment	Approved October 11, 2012

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:  
Public notice was mailed on July 28, 2021

Applicant confirmed posting of signage on July 28, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	January 2008

Applicant has advised that they cannot comply with By-law for the following reason(s): The garage and loggia has already been built and stationary for over three years with no recourse for demolition.

Adjournment Request: The applicant was provided an opportunity to adjourn the application prior to the issuance of public notice to permit time to address the following comments provided by Development Planning & Development Engineering Department:

- Development Planning recommends the easterly interior yard to the accessory structure (garage) be increased to 0.529 m to remain consistent to what has been approved through A147/14. As a department we are not prepared to support any further reduction, specifically, an interior setback of 0.178m which is not minor in nature and does not maintain the intent of the Zoning By-law 1-88.
- Development Planning is not in position to support a rear and interior side yard setback of 0.178m to an existing structure (covered loggia) and is of the opinion the appropriate steps should be taken to establish a minimum setback of 0.60m (measured from the eaves).
- Development Engineering: Based on the City of Vaughan staff's recent site visit and photos obtained, it appears that the eaves and gutter of the subject structures is encroaching beyond the property line. In light of this, Development Engineering will require updated drawings showing the location and measurements of the eaves and gutter for further review.

Building Standards (Zoning Review):  
Stop Work Order(s) and Order(s) to Comply: Order No. 21-112106, Order to Comply for not in accordance (additional garage constructed on the east side of property), Issue Date: May 11, 2021  
Order No. 21-112108, Order to Comply for covered porch (loggia) at the rear of dwelling without a permit, Issue Date: May 11, 2021.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):  
No response

Development Planning:  
Official Plan: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is requesting to permit a detached garage and covered loggia in the rear with the above noted variances.

Previously Committee of Adjustment approved Files A299/12 and A147/14 for the subject lands permitting the Owner to construct a detached garage (accessory building) 0.529 m from the easterly lot line abutting the park. This approval was given with the understanding that it was closely in line with the minimum 0.6 m distance typically given to accessory structures by Development Engineering Department. The rear covered pergola is attached to the dwelling and has a setback of 0.178 m which was not part of the previous decisions and

according to historical aerial imagery, appears to be erected sometime after 2015. In addition, the submitted site plan does not provide a dimension from the pergola's eaves which may potentially project an additional 0.15 to 0.20 m abutting City owned lands.

The Development Planning Department is not in position to support a further reduction in side yard or increase in garage width as it is not in keeping with the previous approvals, nor compatible and consistent to other residential lots within the existing subdivision. The interior and rear yard setback of 0.178 m (variance #1 and #2) is not minor in nature and does not have regard for the general intent and purpose of the Zoning By-law. Urban Design staff reviewed the proposal and are of the opinion that the existing structures (loggia and garage) are too close to the public park with no proper transition between public and private boundaries. Both Development Planning and Urban Design staff agree the loggia's height is also excessive given the grade difference and could have considered using the pre-existing grade established in the rear yard.

The Development Engineering Department has also reviewed the documents submitted and has requested additional information be provided before finalizing their comments. Until such time, it remains unknown as to whether these existing structures cause any water filtration/drainage issues.

The Development Planning Department is of the opinion the variances are not minor in nature, do not maintain the general intent and purpose of the Official Plan and Zoning By-law, and is not desirable for the appropriate development of the land.

The Development Planning Department recommends **refusal** of the application.

**Development Engineering:**

The Development Engineering (DE) Department **requests adjournment** for the proposed variance application (A136/21).

Based on the City of Vaughan staff's recent site visit and photos obtained, it appears that the eaves and gutter of the subject structures is encroaching beyond the property line. In light of this, Development Engineering will require updated drawings showing the location and measurements of the eaves and gutter for further review.

**Parks Development - Forestry:**

No comment no concerns

**By-Law and Compliance, Licensing and Permit Services:**

No comment no concerns

**Development Finance:**

No comment no concerns

**Fire Department:**

No comments received to date

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

Applicant Correspondence

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

TRCA – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

Minor Variance A147/14

Minor Variance A299/12

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required:

	Department/Agency	Condition
1	Committee of Adjustment Christine Vigneault  905-832-8585 x 8332 <a href="mailto:christine.vigneault@vaughan.ca">christine.vigneault@vaughan.ca</a>	Applicant to provide payment of Adjournment Fee (see Fee Schedule) prior to the rescheduling of Application A136/21.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended: N/A

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](https://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8002  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

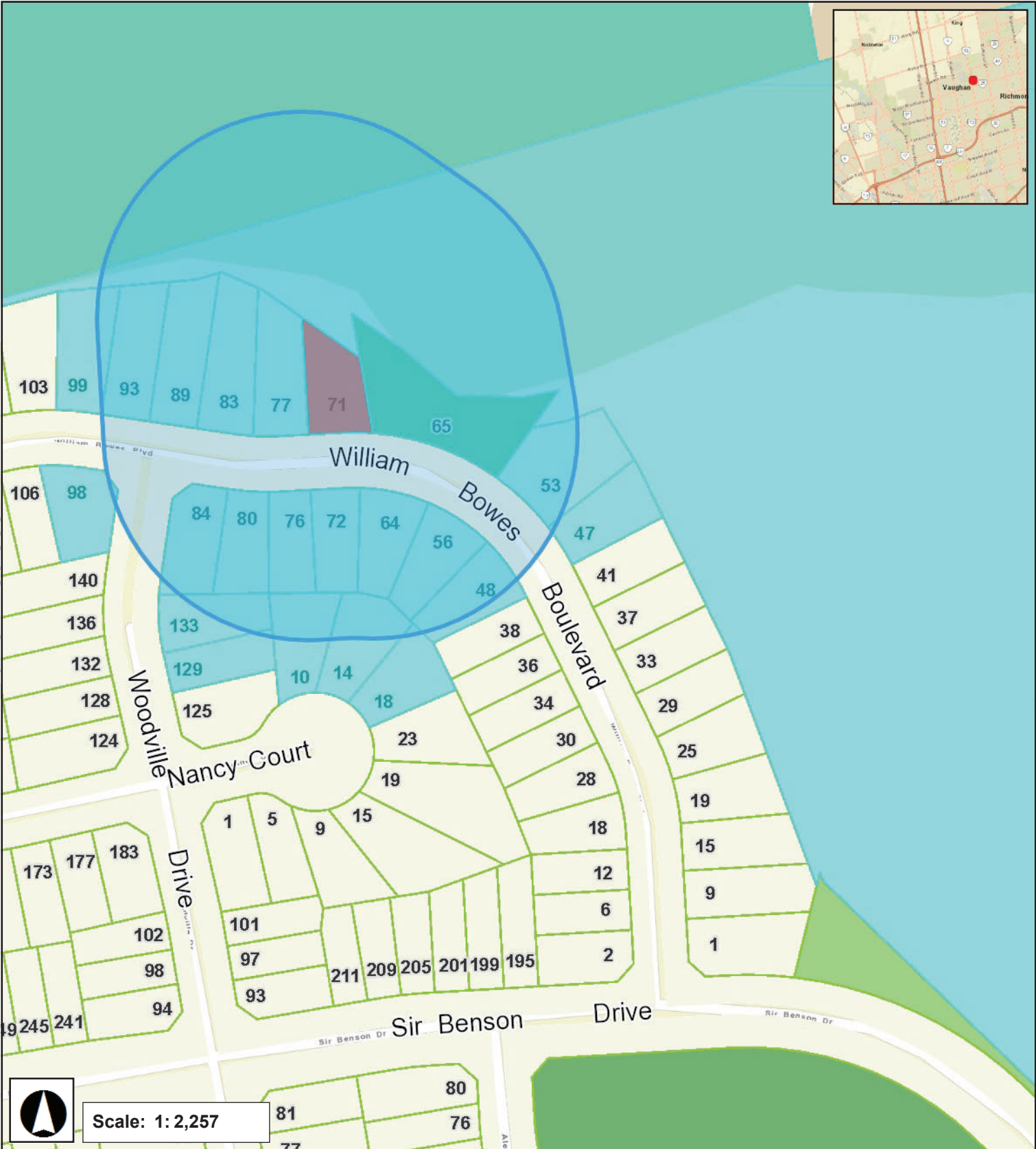
- Location Map
- Plans & Sketches
- Site Photos



# LOCATION MAP A136/21

71 WILLIAM BOWES BLVD. MAPLE

Teston Road



Major Mackenzie Drive

RECEIVED

By RECEIVED at 2:22 pm, Jul 13, 2021

A136/21

SITE STATISTICS

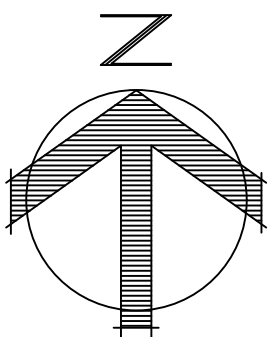
INFORMATION ON THIS DRAWING  
TAKEN FROM PLAN OF SURVEY OF  
LOT 41  
REGISTERED PLAN 65M-4058  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK

LOT AREA: 566.4 m<sup>2</sup>

GROUND FL. FOOTPRINT:  
a) EXISTING: 182.75 m<sup>2</sup>  
b) NEW GARAGE ADD'N : 37.05 m<sup>2</sup>

TOTAL: 219.80 m<sup>2</sup>  
COVERAGE: 38.806 %  
DWELLING: 32.265 %  
COVERED STRUCTURES: 6.54 %

FRONT YARD LANDSCAPING:  
FRONT YARD AREA: 122.553 m<sup>2</sup>  
SOFT LANDSCAPED AREA: 43.29 m<sup>2</sup>  
PERCENTAGE OF SOFT LANDSCAPING 35.3%



N56°16'55"W 22.234 m

LOT 41

43.638 SQ. M.  
NEW LOGGIA

.178m (7")  
PROPOSED VARIANCE

N11°01'15"W

REGISTERED

PLAN

65M 4058

NO. 71  
TWO STOREY  
BRICK BUILDING

LOT 42  
PIN 03341-4247

.737 m

24.202 m

.610 m

1.175 m

NEW GARAGE  
37.049 SQ. M.

.356m (14")

.178m (7")  
PROPOSED VARIANCE

CONC. PORCH

18.625 SQ.M.  
LANDSC.

Existing Driveway

NEW Driveway

12.663 SQ.M.  
LANDSC.

8.6 SQ.M.  
LANDSC.

3.4 SQ.M.  
LANDSC.

N85°48'41"E 10.655 m

N89°25'56"E 9.787 m

EDGE OF PAVEMENT

WILLIAM BOWES BLVD.

BATTAGLIA  
ARCHITECT INC.

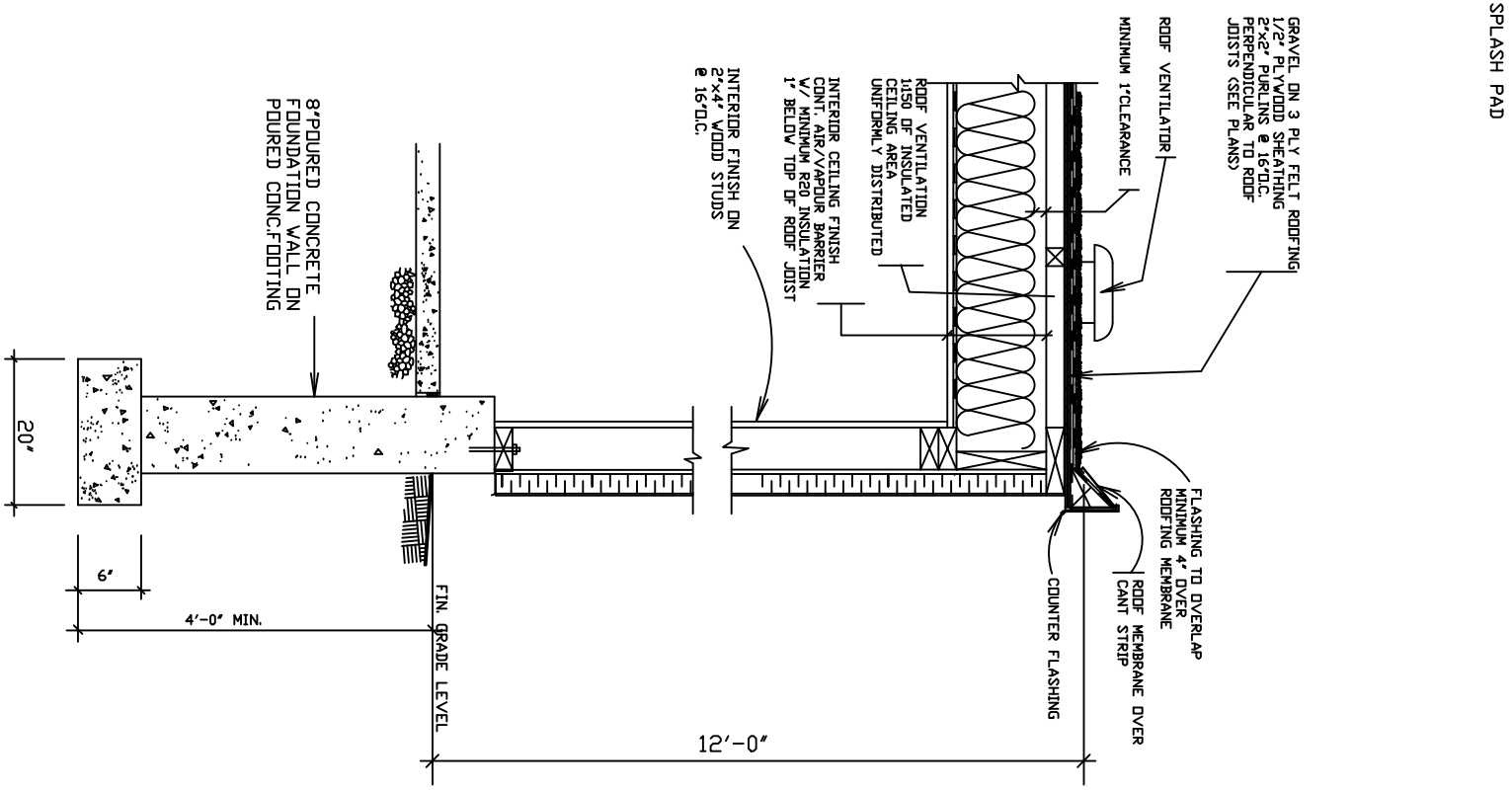
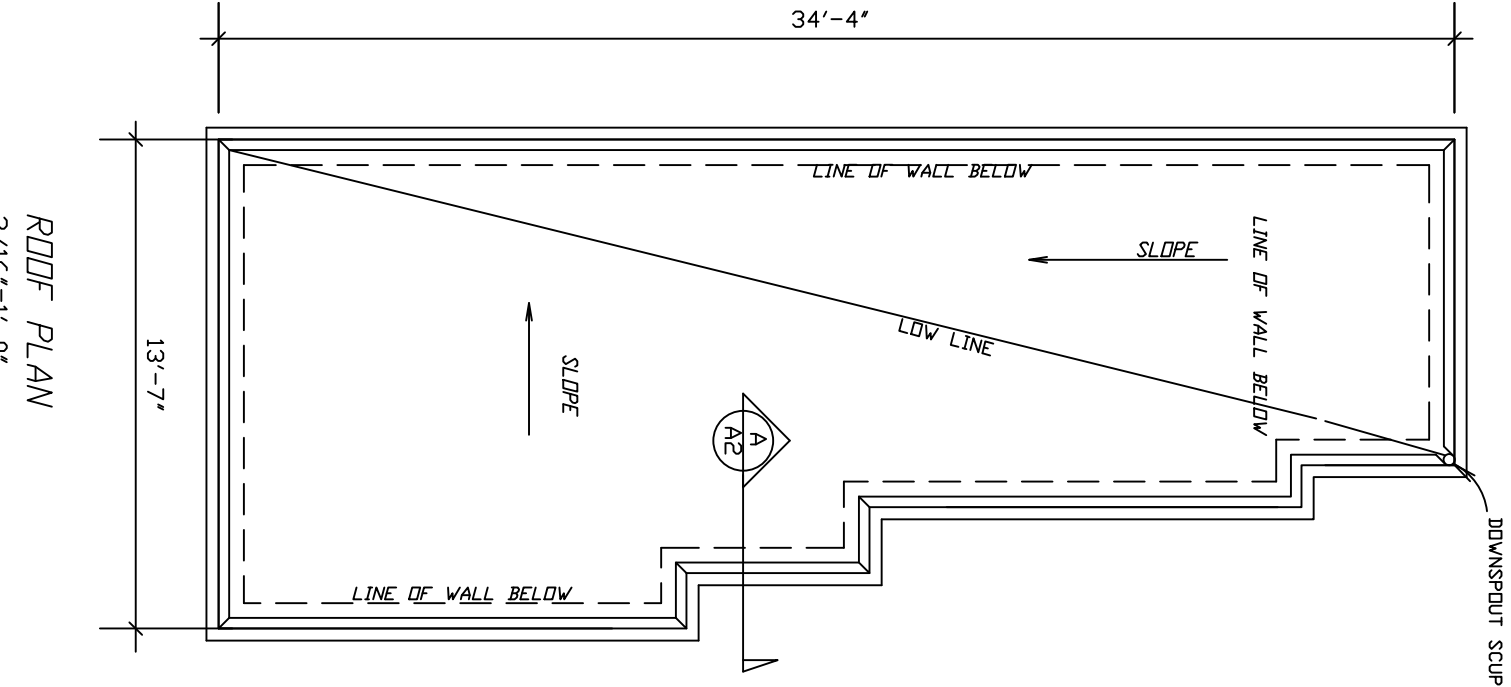
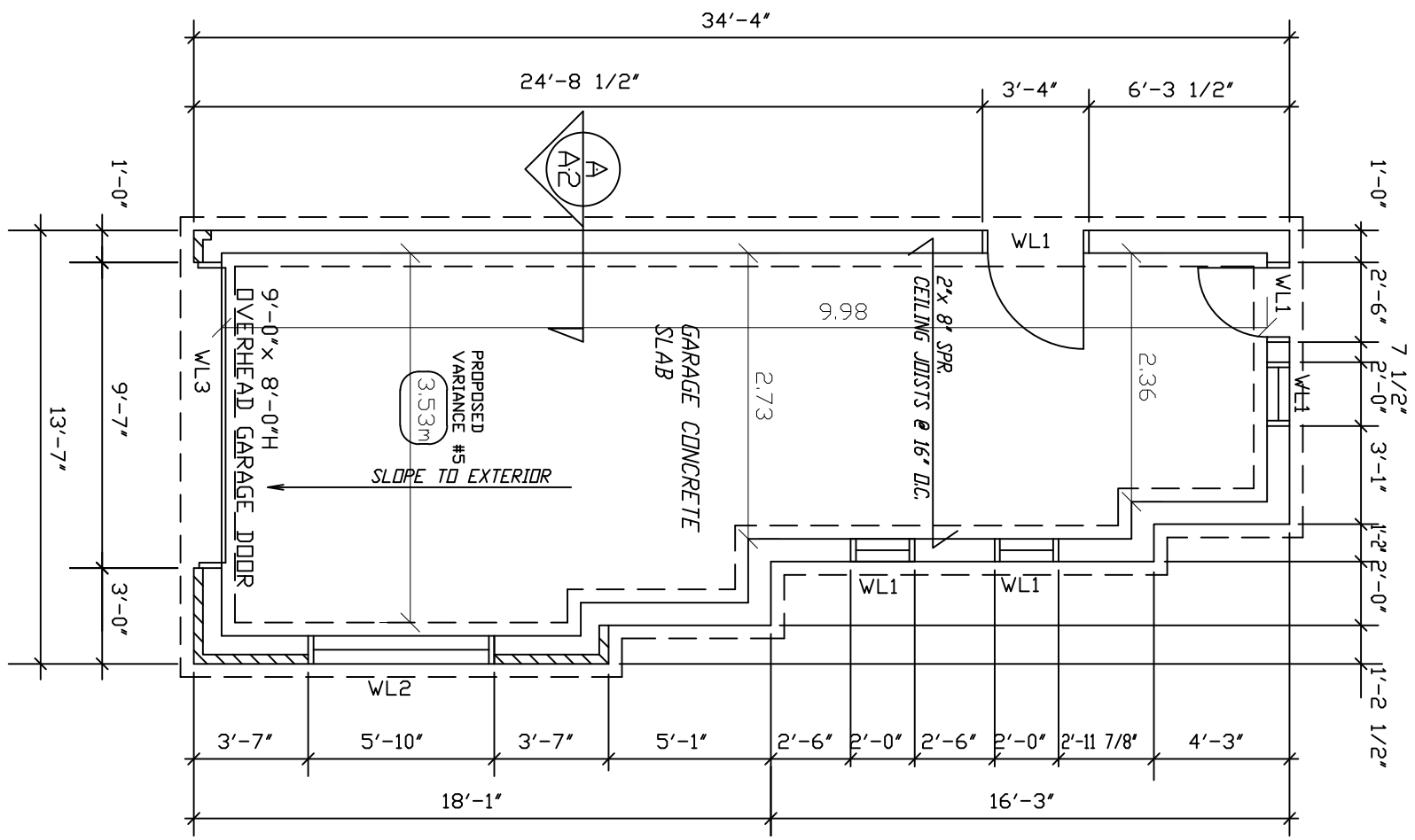
1050 McNICOLL AVE. UNIT 14  
SCARBOROUGH, ONT. M1W 2L8  
TEL.: (416) 492 7772

PROJECT  
GARAGE AND LOGGIA FOR R.STRMOTA  
71 WILLIAM BOWES BLVD.  
MAPLE, ONTARIO

DWG.  
SITE PLAN (AS BUILT)



SCALE  
1:125  
DATE REVISED  
JULY 12, 2021  
DRAWN BY  
J.D.B.  
PROJECT NO.  
1422  
DRAWING NO.  
A1



GARAGE PLAN  
3/16"=1'-0"

ROOF PLAN  
3/16"=1'-0"

LINTELS  
WL1 = 2-2"x8"  
WL2 = 3-2"x8" + L 3 1/2"x3 1/2"x1/4"  
WL3 = 3-2"x10" + L 6"x3 1/2"x1/4"

WALL SECTION  
A  
A1

1	REVISED AS BUILT	MAY12,2021
NO.	REVISIONS	DATE
CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE SCALED.		

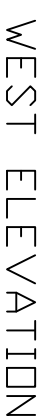
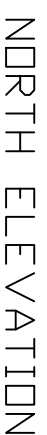
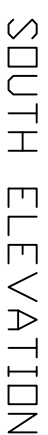
BATTAGLIA  
ARCHITECT  
INC.,  
1050 MCNICOLL AVE. UNIT 14  
SCARBOROUGH, ONT. M1W 2L8  
TEL: (416) 557-9649

PROJECT  
PROPOSED  
GARAGE

DWG.  
GARAGE PLAN  
ROOF PLAN  
(AS BUILT)



DATE JUL Y 12, 2021	PROJECT NO. 1756
SCALE 3/16"= 1'-0"	DRAWING NO. A2
DRAWN BY JB.	



CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE SCALED.

BATTAGLIA  
ARCHITECT  
INC.

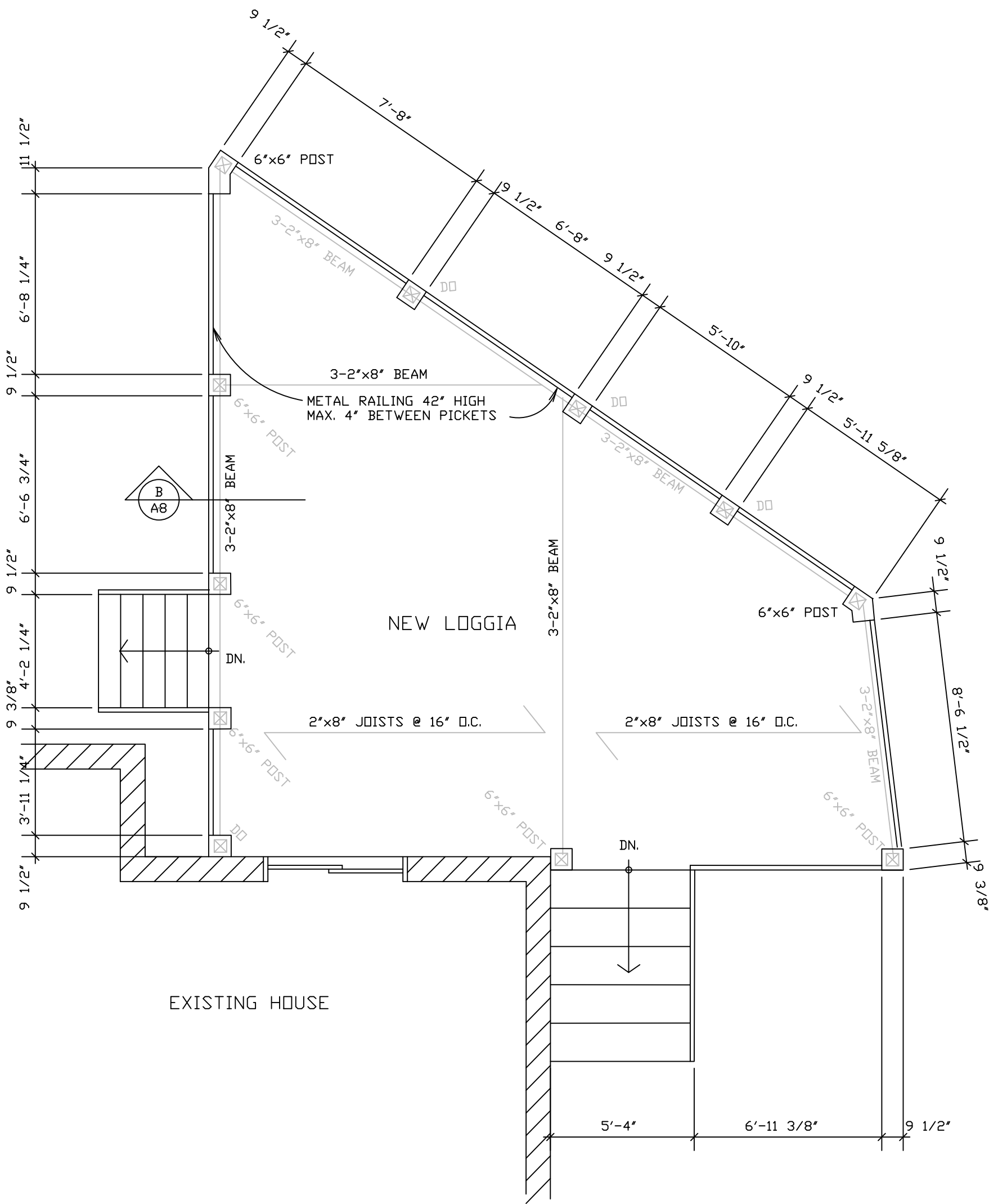
1050 MCNICOLL AVE. UNIT 14  
SCARBOROUGH, ONT. M1W 2L8  
TEL: (416) 557-9649

PRODUCT  
PROPOSED  
GARAGE

DMG.  
ELEVATIONS  
(AS BUILT)



DATE	JULY 12, 2021	PROJECT NO.	1756
SCALE	3/16" = 1'-0"	DRAWING NO.	A3
DRAWN BY	J.B.		



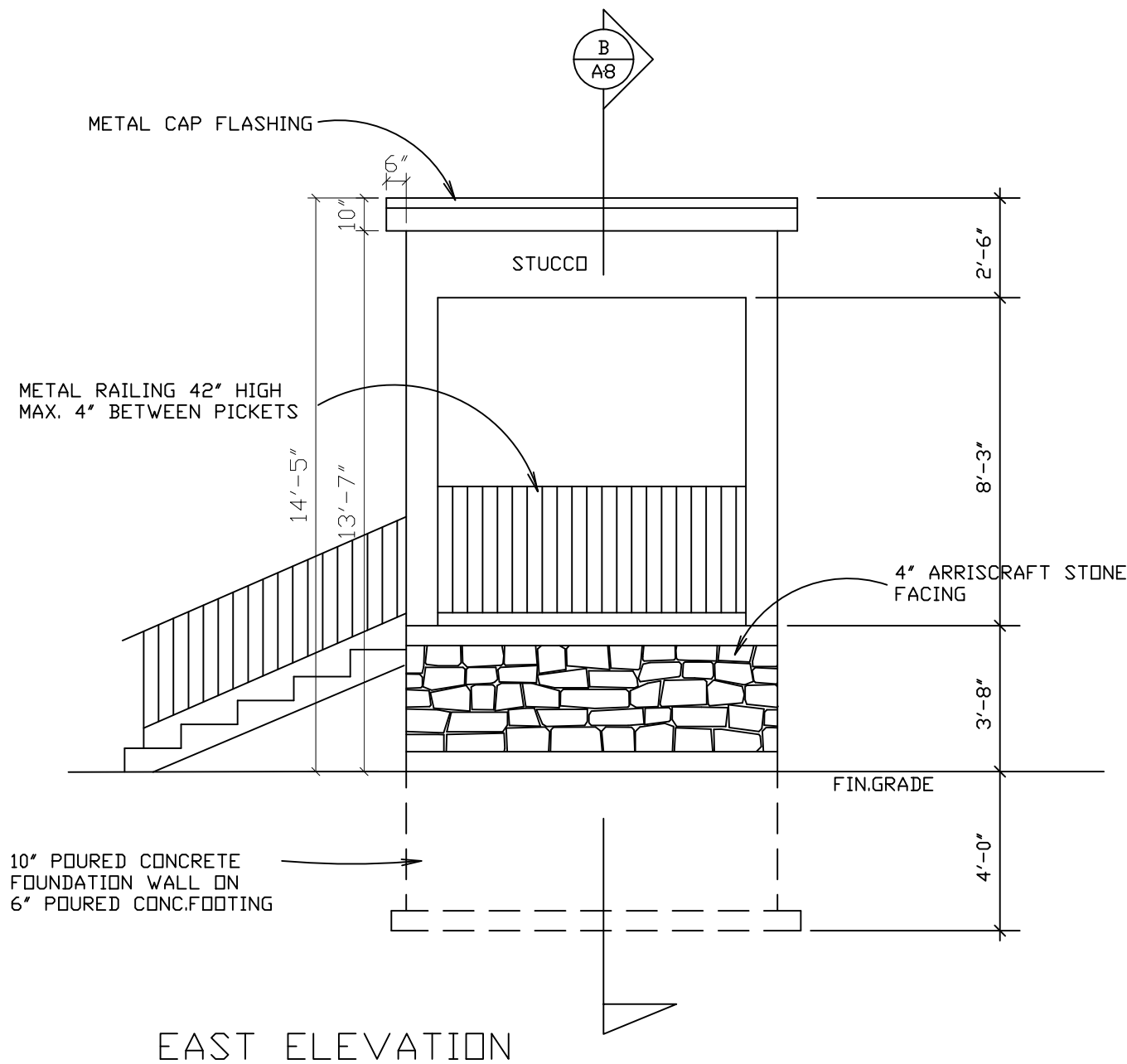
PLAN OF LOGGIA

BATTAGLIA  
ARCHITECT INC.  
1050 McNICOLL AVE. UNIT 14  
SCARBOROUGH, ONT. M1W 2L8  
TEL: (416) 492 7772

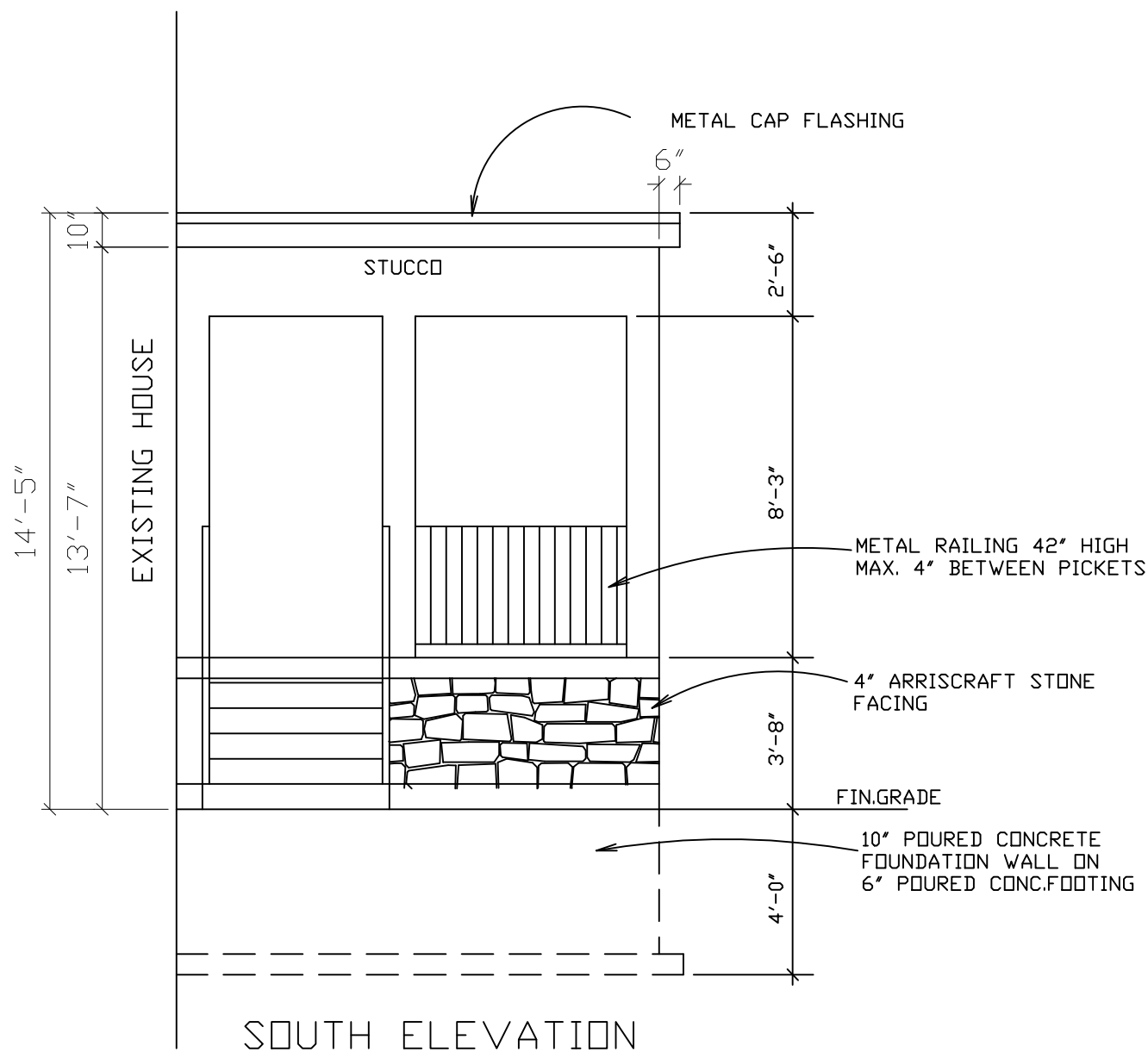
PROJECT LOGGIA FOR R.STRMOTA  
71 WILLIAM BOWES BLVD.  
MAPLE, ONTARIO  
DWG. LOGGIA PLANS (AS BUILT)



SCALE
1/4"=1'-0"
DATE REVISED
JULY 08, 2021
DRAWN BY
J.D.B.
PROJECT NO.
1422
DRAWING NO.
A4



EAST ELEVATION



SOUTH ELEVATION

BATTAGLIA  
ARCHITECT INC.

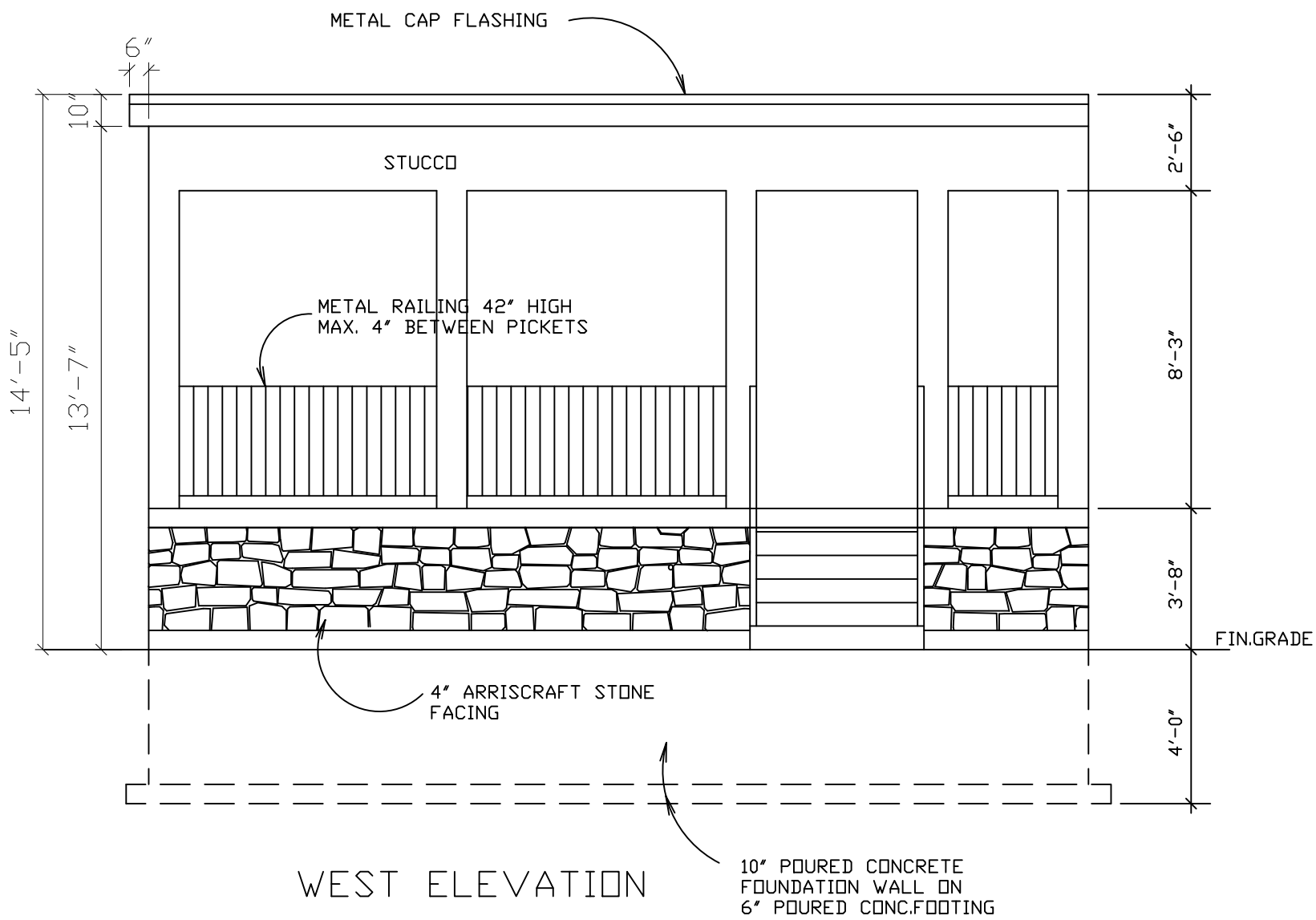
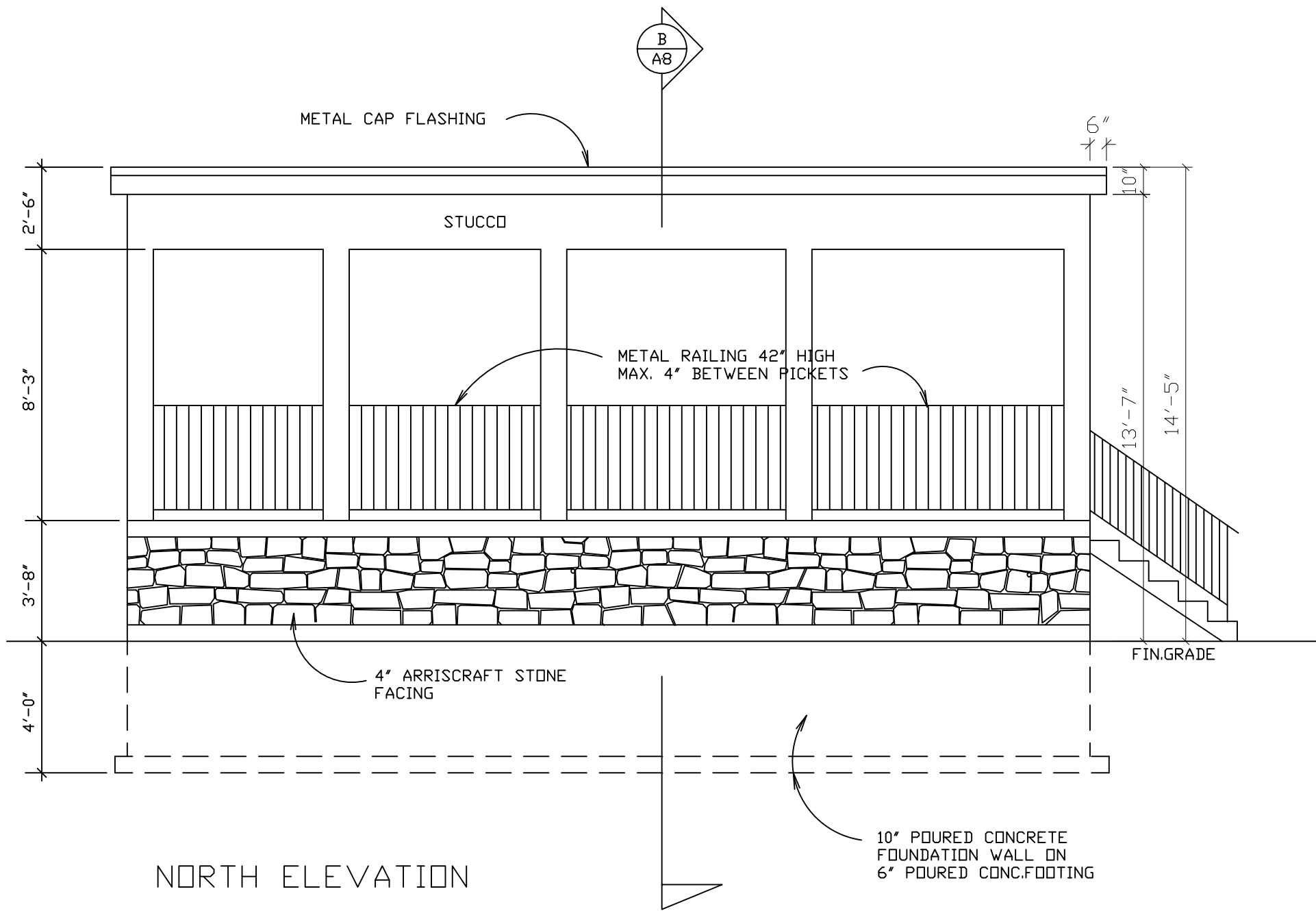
1050 McNICOLL AVE. UNIT 14  
SCARBOROUGH, ONT. M1W 2L8  
TEL.: (416) 492 7772

PROJECT LOGGIA FOR R.STRMOTA  
71 WILLIAM BOWES BLVD.  
MAPLE, ONTARIO

DWG. ELEVATIONS (AS BUILT)



SCALE  
1/4"=1'-0"  
DATE REVISED  
JULY 08, 2021  
DRAWN BY  
J.D.B.  
PROJECT NO.  
1422  
DRAWING NO.  
A5



BATTAGLIA  
ARCHITECT INC.

1050 McNICOLL AVE. UNIT 14  
SCARBOROUGH, ONT. M1W 2L8  
TEL: (416) 492 7772

PROJECT

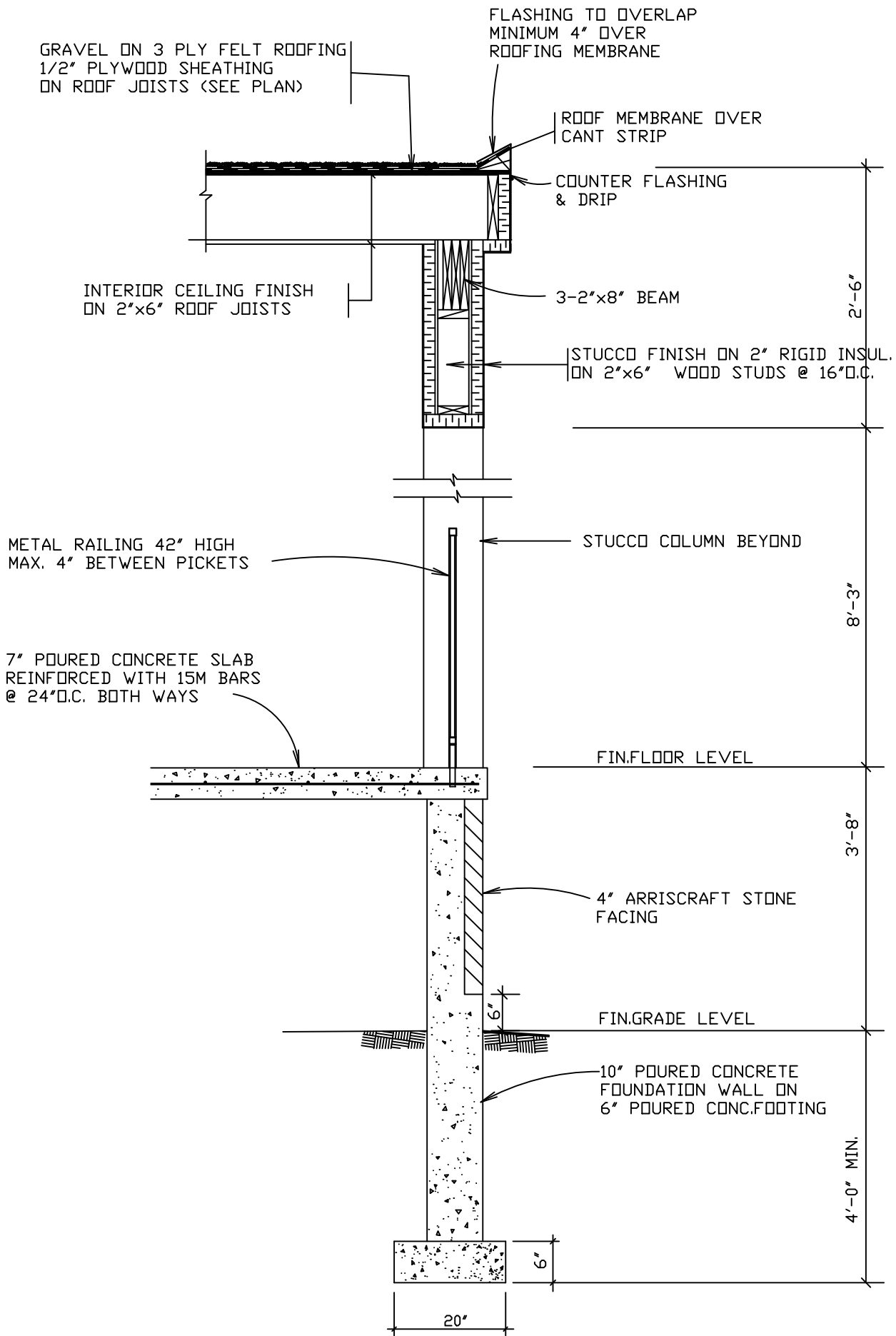
LOGGIA FOR R.STRMOTA  
71 WILLIAM BOWES BLVD.  
MAPLE, ONTARIO

DWG.

ELEVATIONS (AS BUILT)



SCALE
1/4"=1'-0"
DATE REVISED
JULY 08, 2021
DRAWN BY
J.D.B.
PROJECT NO.
1422
DRAWING NO.
A6



B  
A8

SECTION THRU LOGGIA

BATTAGLIA  
ARCHITECT INC.

1050 McNICOLL AVE. UNIT 14  
SCARBOROUGH, ONT. M1W 2L8  
TEL: (416) 492 7772

PROJECT LOGGIA FOR R.STRMOTA  
71 WILLIAM BOWES BLVD.  
MAPLE, ONTARIO

DWG. SECTION THRU LOGGIA



SCALE
1/4"=1'-0"
DATE REVISED
JULY 08, 2021
DRAWN BY
J.D.B.
PROJECT NO.
1422
DRAWING NO.
A7



















**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**Applicant Correspondence**

Robert Strmota

City of Vaughan  
Engineering Department  
2141 Major Mackenzie Drive  
L6A 1T1

Attention: Farzana Khan, Development Engineering Reviewer

RE: 71 Williams Bowes Road – Minor Variance Application

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Farzana,

Further to your request to the condition 3. of the Minor Variance application listed in the attached email regarding the above captioned address. Please accept this email as confirmation that there has been no issue with flooding into public lands due to the setbacks of the garage. Please note the garage has been existing for approximately four years. As per the grading plan that was submitted as part of the application, in the case of a storm event all water flows remain within the property lines.

Please do not hesitate to contact me if you have any further questions or concerns.

Regards,

Robert Strmota  
Owner

71 William Bowes Road, Maple Ontario, L6A 4KA

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections  
Region of York – No concerns or objections  
TRCA – No concerns or objections

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Pravina Attwala

---

**Subject:** FW: Request for Comments - A136/21 (71 William Bowes Blvd. Vaughan)

---

**From:** York Plan <yorkplan@trca.ca>

**Sent:** July-14-21 9:19 AM

**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>

**Subject:** [External] RE: Request for Comments - A136/21 (71 William Bowes Blvd. Vaughan)

TRCA has no concerns with regard to the above noted application.

Should further clarification be required, please contact the undersigned at your earliest convenience.

**Mark Howard, BES, MLA, MCIP, RPP**

Senior Planner – Vaughan Review Area

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:4166616600) ext 5269

E: [mark.howard@trca.ca](mailto:mark.howard@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



*Please note that TRCA's Offices are presently closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that development planning and permit applications and materials be submitted digitally in PDF format. Paper submissions are discouraged and may result in extended timeframes for review.*

*All digital submissions and documents can be submitted to the following e-mail addresses:*

*Enquiries/ applications within Peel Region municipalities – [peelplan@trca.ca](mailto:peelplan@trca.ca)*

*Enquiries/ applications within York Region municipalities – [yorkplan@trca.ca](mailto:yorkplan@trca.ca)*

*We thank you for your cooperation as we respond to the current situation.*

## Pravina Attwala

---

**Subject:** FW: Request for Comments - A136/21 (71 William Bowes Blvd. Vaughan)

---

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** July-15-21 1:05 PM

**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: Request for Comments - A136/21 (71 William Bowes Blvd. Vaughan)

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst mcip rpp** | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

Schedule D: Previous Approvals (Notice of Decision)

Minor Variance A147/14  
Minor Variance A299/12

## **NOTICE OF DECISION**

### **MINOR VARIANCES**

**FILE NUMBER:** A147/14

**APPLICANT:** STANA STRMOTA

**PROPERTY:** Part of Lot 22, Concession 2 (Lot 41, Registered Plan 65M-4058) municipally known as 71 William Bowes Blvd, Maple

**ZONING:** The subject lands are zoned RD2, Residential Detached Zone Two and subject to the provisions of Exception 9(1199) under By-law 1-88 as amended.

**PURPOSE:** To permit the construction of a detached garage, as an accessory structure to a existing two-storey single family dwelling.

**PROPOSAL:**

1. To permit an accessory structure (garage) with an easterly interior side yard setback of 0.529 metres.
2. To permit an accessory structure (garage) with minimum interior garage dimensions of 3.2 metres (width) x 6.3 metres (length).
3. To permit two (2) driveways on the subject lot.

**BY-LAW REQUIREMENT:**

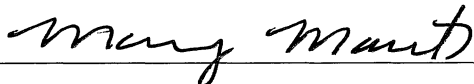
1. A minimum interior side yard setback of 3.5 metres is required.
2. A minimum interior garage dimension of 5.5 metres (width) x 6.0 metres (length) is required.
3. Not more than one (1) driveway per lot shall be permitted.

**BACKGROUND INFORMATION:** Other Planning Act Applications  
The land which is the subject in this application was also the subject of another application under the Planning Act:

MINOR VARIANCE APPLICATION:  
A299/12 - APPROVED - Oct. 12/14 (min rear yard setback of 0.99m to pool and min. int. side yard setback of 0.83m to pool).

Sketches are attached illustrating the request.

**MOVED BY:**



**SECONDED BY:**

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A147/14, STANA STRMOTA**, be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

1. That the applicant submits the variance application fee of **\$525** payable to the Toronto & Region Conservation Authority, if required, to the satisfaction of the Toronto & Region Conservation Authority.
2. That the applicant submits the outstanding payment of \$500.00 for the Toronto & Region Conservation Authority's review of Minor Variance Application A299/12, if required, to the satisfaction of the Toronto & Region Conservation Authority.
3. That the applicant obtains a Toronto & Region Conservation Authority permit pursuant to Ontario Regulation 166/06 (Development Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation) for the proposed detached garage, if required, to the satisfaction of the Toronto & Region Conservation Authority.

4. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. (PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)

**VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.**

**FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.**

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: \_\_\_\_\_



Signed by all members present who concur in this decision:



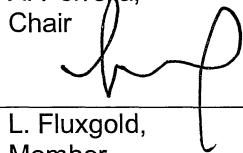
A. Perrella,  
Chair



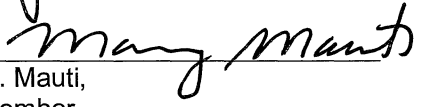
H. Zheng,  
Vice Chair



J. Cesario,  
Member



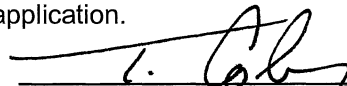
L. Fluxgold,  
Member



M. Mauti,  
Member

#### **CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.



Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

**Date of Hearing: JULY 24, 2014**

**Last Date of Appeal: AUGUST 13, 2014**

#### **APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at [www.omb.gov.on.ca](http://www.omb.gov.on.ca). If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

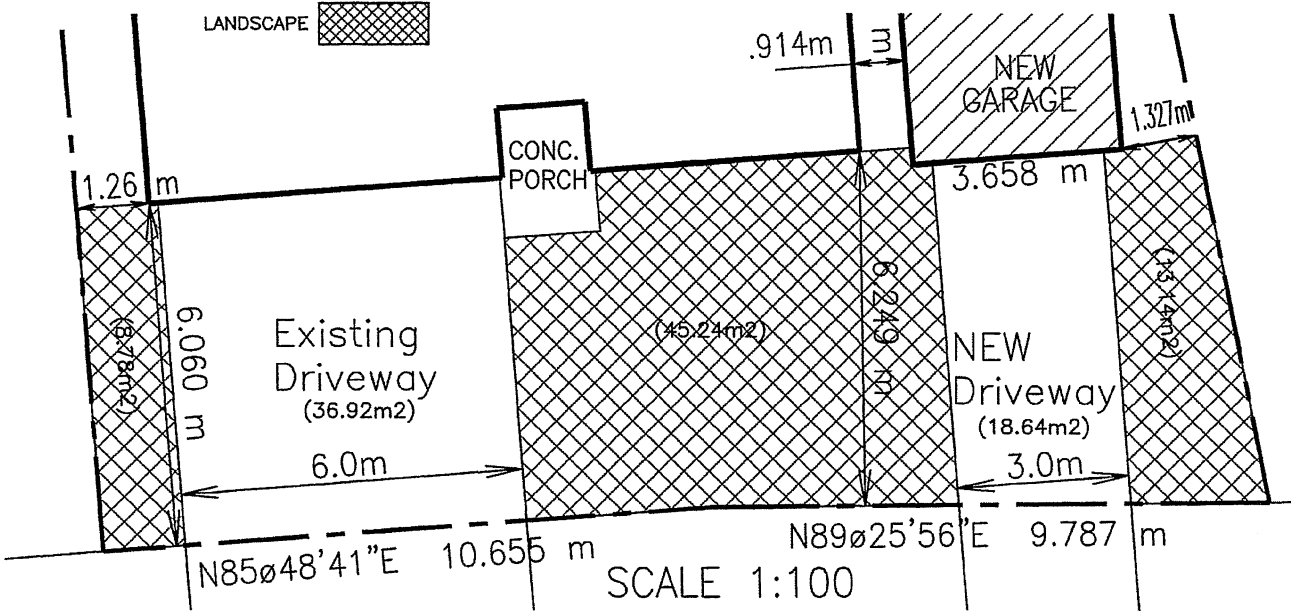
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

**NOTE:** The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

#### **CONDITIONS**

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:  
**AUGUST 13, 2015**

TO PERMIT TWO  
DRIVEWAYS ON SUBJECT LOT



INTERIOR GARAGE  
DIMENSIONS 3.2M (WIDTH)  
BY 6.3M (LENGTH)

SITE STATISTICS

INFORMATION ON THIS DRAWING  
TAKEN FROM PLAN OF SURVEY OF  
LOT 41  
REGISTERED PLAN 65M-4058  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK

LOT AREA: 566.4 m<sup>2</sup>

GROUND FL. FOOTPRINT:  
a) EXISTING: 182.75 m<sup>2</sup>  
b) NEW GARAGE ADD'N : 24.53 m<sup>2</sup>

TOTAL: 207.28 m<sup>2</sup>

COVERAGE: 36.5%

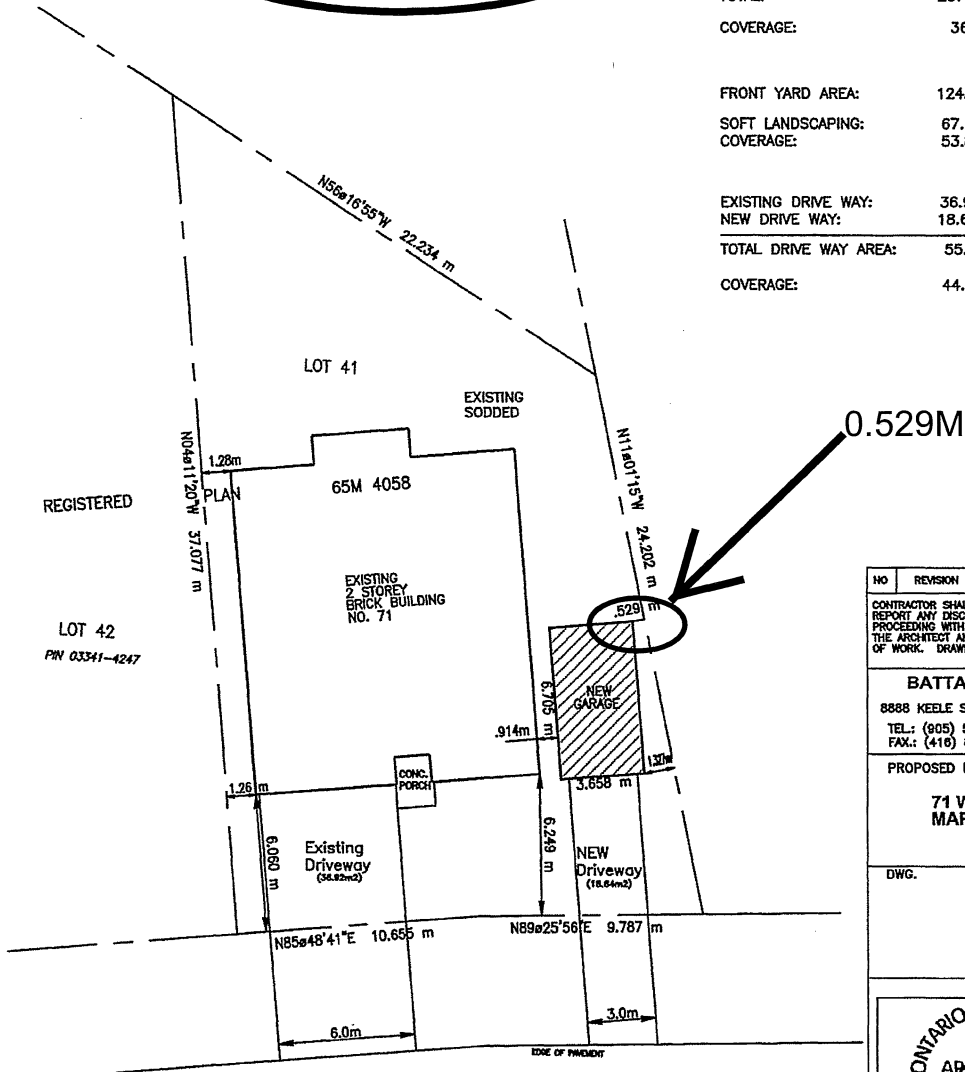
FRONT YARD AREA: 124.66m<sup>2</sup>

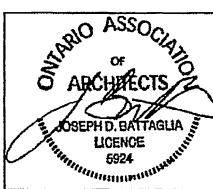
SOFT LANDSCAPING: 67.16m<sup>2</sup>  
COVERAGE: 53.88%

EXISTING DRIVE WAY: 36.92m<sup>2</sup>  
NEW DRIVE WAY: 18.64m<sup>2</sup>

TOTAL DRIVE WAY AREA: 55.56m<sup>2</sup>

COVERAGE: 44.57%



NO	REVISION	MARK VOID ALL COPIES PREVIOUS TO FINAL DATE	DATE	BY
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF WORK. DRAWINGS ARE NOT TO BE SCALED.				
<b>BATTAGLIA ARCHITECT INC.</b> 8888 KEELE STR. UNIT 8 CONCORD L4K 2N2 TEL.: (905) 508-2168 FAX.: (416) 848-7967				
PROPOSED NEW GARAGE FOR R. STRMOTA				
71 WILLIAM BOWES BLVD MAPLE, ONT				
DWG.				
SITE PLAN				
 JOSEPH D. BATTAGLIA LICENCE 6924				SCALE: 1:250 DATE: JUNE 13TH 2014 PROJECT NO. SHEET NO. A1

TESTON ROAD



MAJOR MACKENZIE DRIVE



COMMITTEE OF ADJUSTMENT  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A147/14
	APPLICANT:	STANA STRMOTA
		<b>Subject Area</b> Municipally known as 71 William Bowes Blvd, Maple

## **NOTICE OF DECISION**

### **MINOR VARIANCES**

**FILE NUMBER:** A299/12

**APPLICANT:** STANA STRMOTA

**PROPERTY:** Part of Lot 22, Concession 2 (Lot 41, Registered Plan 65M-4058, municipally known as 71 William Bowes Boulevard, Maple).

**ZONING:** The subject lands are zoned RD2, Residential, subject to Exception 9(1199), under By-law 1-88, as amended.

**PURPOSE:** To permit the continued construction of an inground pool and pool enclosure.

**PROPOSAL:**

1. To permit a minimum rear yard setback of 0.99 m to an inground swimming pool.
2. To permit a minimum interior side yard setback of 0.83 m to an inground swimming pool.
3. To permit a minimum interior side yard setback of 0.53 m to pool equipment.

**BY-LAW REQUIREMENT:**

1. A minimum rear yard setback of 1.5 m is required to an inground swimming pool.
2. A minimum interior side yard setback of 1.5 m is required to an inground swimming pool.
3. A minimum interior side yard setback of 1.2 m is required to pool equipment.

A sketch is attached illustrating the request.

**MOVED BY:**



**SECONDED BY:**



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A299/12, STANA STRMOTA**, be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

1. The applicant successfully obtain a permit under Ontario Regulation 166/06 for the pool and patio area currently under construction and subject of this variance application, if required to the satisfaction of the Toronto and Region Conservation Authority;
2. The applicant remove the materials stored on TRCA owned lands, if required to the satisfaction of the Toronto and Region Conservation Authority;
3. The applicant submit the variance application fee of \$500 payable to the Toronto and Region Conservation Authority, if required to the satisfaction of the Toronto and Region Conservation Authority;
4. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

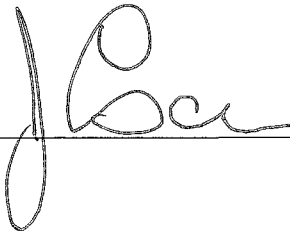
**VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.**

**FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.**

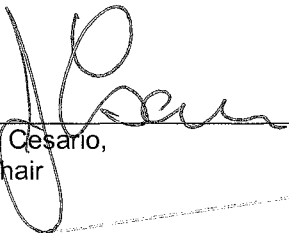
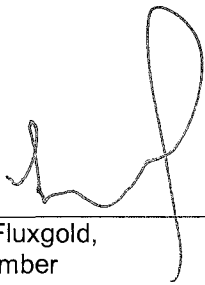
THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR:



Signed by all members present who concur in this decision:

  
J. Cesario,  
Chair  
**ABSENT**  
A. Perrella,  
Vice Chair  
L. Fluxgold,  
Member  
**ABSENT**

M. Mauti,  
Member

H. Zheng,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.



Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

Date of Hearing:	OCTOBER 11, 2012
Last Date of Appeal:	OCTOBER 31, 2012

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

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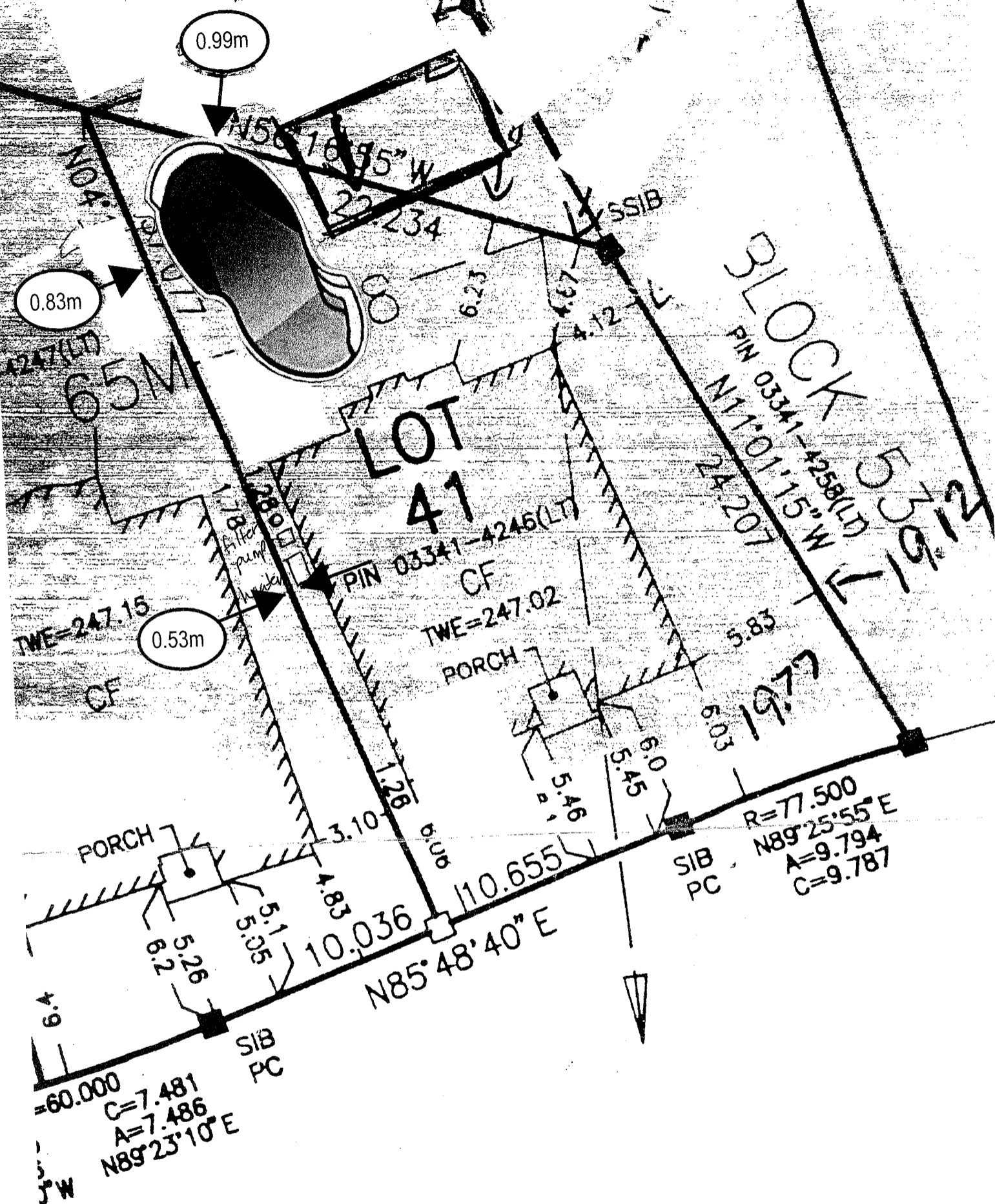
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**CONDITIONS**

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:  
**OCTOBER 31, 2013**

**A299/12**



# VAUGHAN

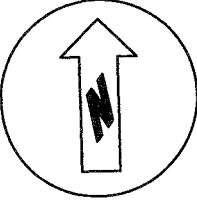

City Clerk's Office



## COMMITTEE OF ADJUSTMENT

2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1

Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	<b>A299/12</b>
	APPLICANT:	<b>STANA STRMOTA</b>
		<b>Subject Area</b> Municipally known as 71 William Bowes Boulevard, Maple