

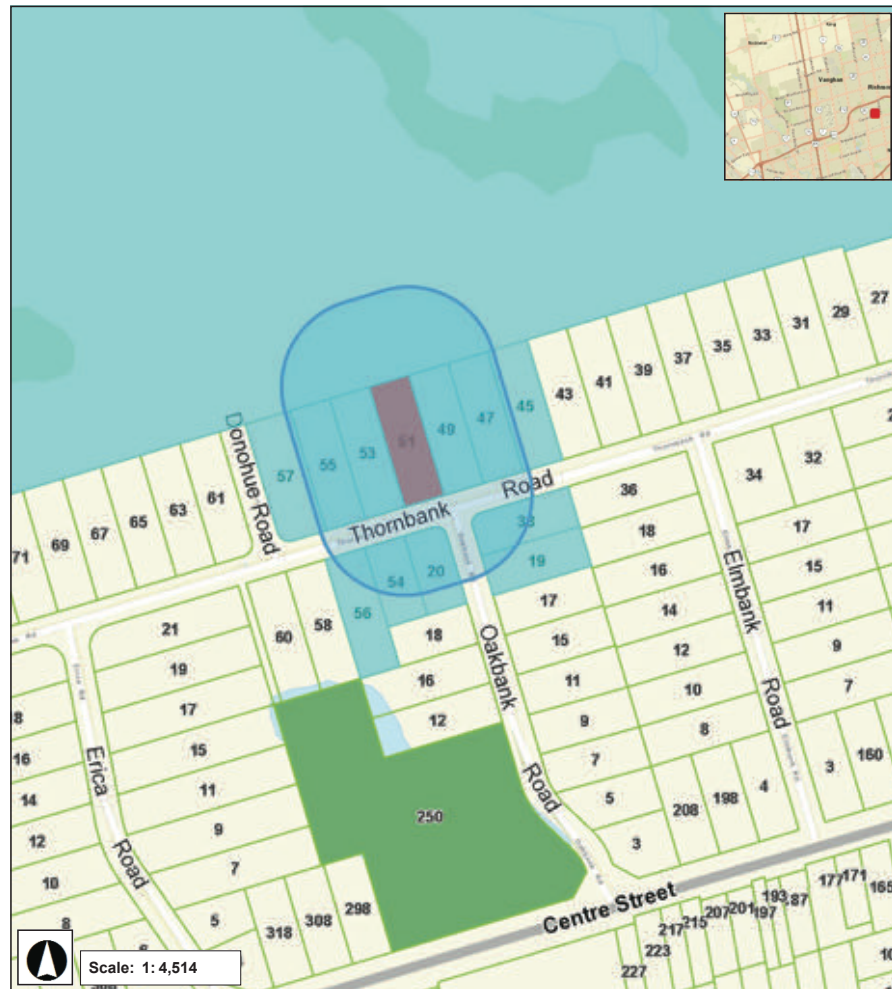
Committee of Adjustment

51 Thornbank Rd - A149/21

TRICON
DEVELOPMENT

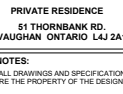

Owners: Azar and Ben Matin
Designed By: Tricon Development Inc
Authorized Agent: Kayvon Heidari
Applicant Represent: Ali Heidari





51 THORNBANK RD.
VAUGHAN ONTARIO
L4J 2A1



<h1 style="margin: 0;">TRICON</h1> <p style="margin: 0;">DEVELOPMENT</p>		
		
<p>PRIVATE RESIDENCE</p> <p>51 THORNBACK RD. VAUGHAN ONTARIO L4J 2A1</p>		
<p>NOTES:</p> <ul style="list-style-type: none"> - ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER. - THE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OTHER THAN THE ONE ASSIGNED WITHOUT THE CONSENT OF THE DESIGNER. - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. - ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE DESIGNER. - DO NOT PROCEED WITH WORK WITHOUT THE APPROVED REVISION TO THE DRAWING. 		
<p>REVISIONS:</p>		
<p>VER.</p>	<p>ISSUED TO:</p>	<p>DATE:</p>
01	ISSUED FOR SUBMITTAL REVIEW	2023-04-03
02	ISSUED FOR CITY REVIEW	2023-04-06
03	ISSUED FOR C.A.	2023-04-18
04	ISSUED FOR C.A.	2023-04-18
05	ISSUED FOR C.A. & APPROVED RECORDS	2023-07-08
<p>DESIGNED BY:</p> <p>Tricon Development Inc.</p> <p>8021 Yonge St. #302 Toronto, ON M2H 3K3 Tel: 416-302-3212 info@tricondevelopment.ca www.tricondevelopment.ca</p>		
<p>CONCEPTUAL DESIGN BY:</p> <p>Anvin Haddad & Kayvan Haddad</p>		
<p>SHEET NAME:</p> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">COVER SHEET</p>		
<p>SHEET NUMBER:</p> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">A000</p>		
<p>SCALE:</p> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">1 : 1</p>	<div style="display: flex; align-items: center; justify-content: center;">  </div>	

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed single-family dwelling, (existing) retaining wall and (proposed) pool house.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum front yard setback of 29.5 metres is required (Schedule A, By-law 1-88a.a.).	1. To permit a minimum front yard setback of 18.10 metres.
2. A maximum lot coverage of 20% is permitted (Schedule A, By-law 1-88a.a.).	2. To permit a maximum lot coverage of 21% (Dwelling 16.16%, Garage 2.83%, Pool House 2.01%)
3. A maximum building height of 9.5 metres for the single family detached dwelling is permitted (Schedule A, By-law 1-88a.a.).	3. To permit a maximum building height of 11.00 metres for the single family detached dwelling.
4. A maximum building height of 3.0 metres from average finished grade to the nearest part of the roof for the accessory structure (Pool house) is permitted (Section 4.1.1, By-law 1-88a.a.).	4. To permit a maximum building height of 4.31 metres from average finished grade to the nearest part of the roof for the accessory structure (Pool house).
5. A minimum rear yard setback of 1.95 metres to the proposed retaining wall is required (Section 4.1.2, By-law 1-88a.a.).	5. To permit a minimum rear yard setback of 1.85 metres to the proposed retaining wall.
6. A minimum interior side yard setback of 1.95 metres to the proposed retaining wall is required (Section 4.1.1, By-law 1-88a.a.).	6. To permit a minimum interior side yard setback of 1.61 metres to the proposed retaining wall. *Revised from 1.85m, revised Notice issued August 4, 2021

Slope to Rear Yard

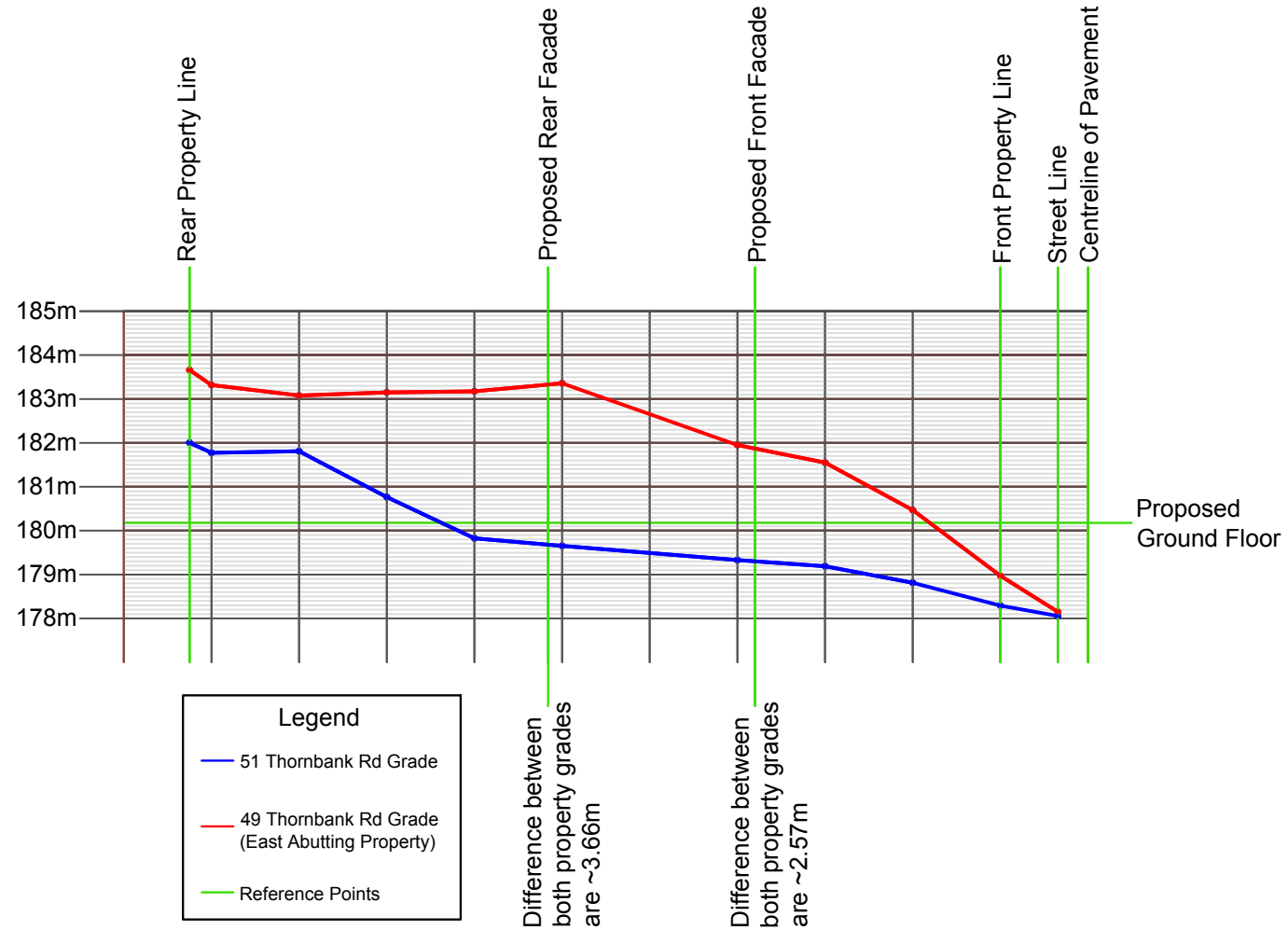


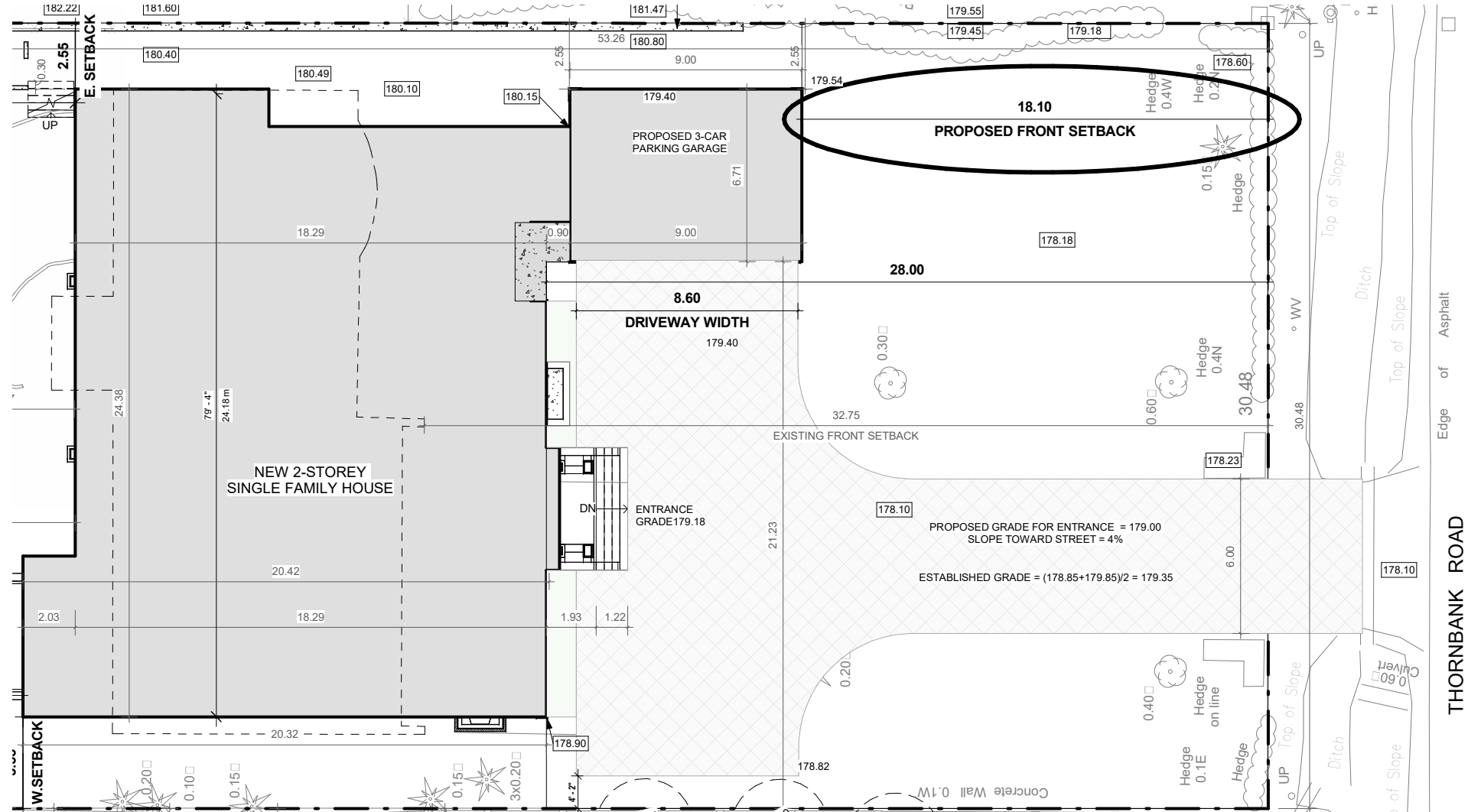
Difference to East Abutting Property



51 Thornbank Rd

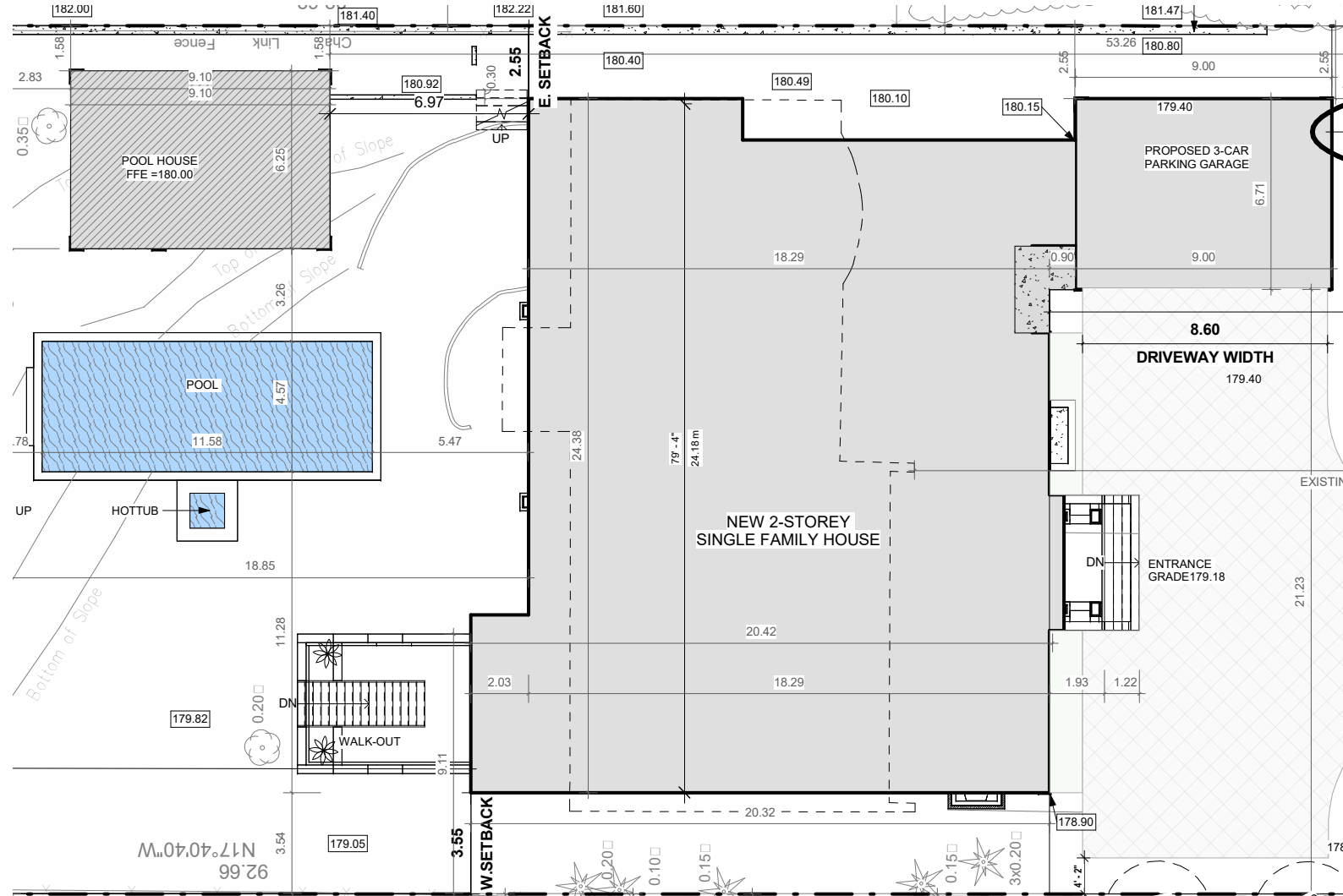
Grading Comparison with East Abutting Property





Variance Proposal No. 2

To permit a maximum lot coverage of 21% (Dwelling 16.16%, Garage 2.83%, Pool House 2.01%)



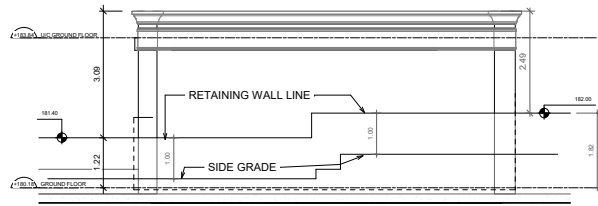
Variance Proposal No. 3

To permit a maximum building height of **11.00 metres** for the single family detached dwelling.

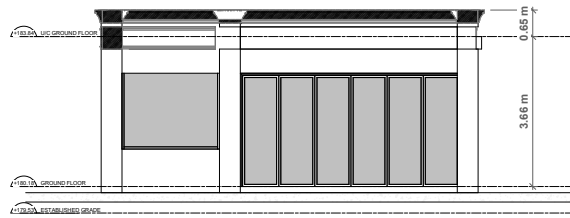


Variance Proposal No. 4

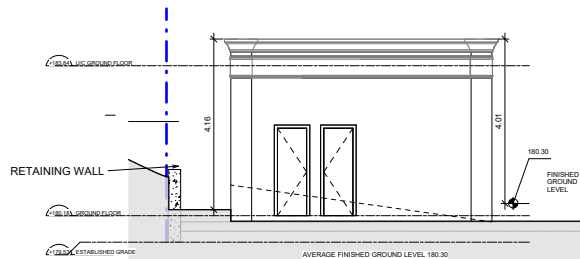
To permit a maximum building height of **4.31 metres** from average finished grade to the nearest part of the roof for the accessory structure (Pool house).



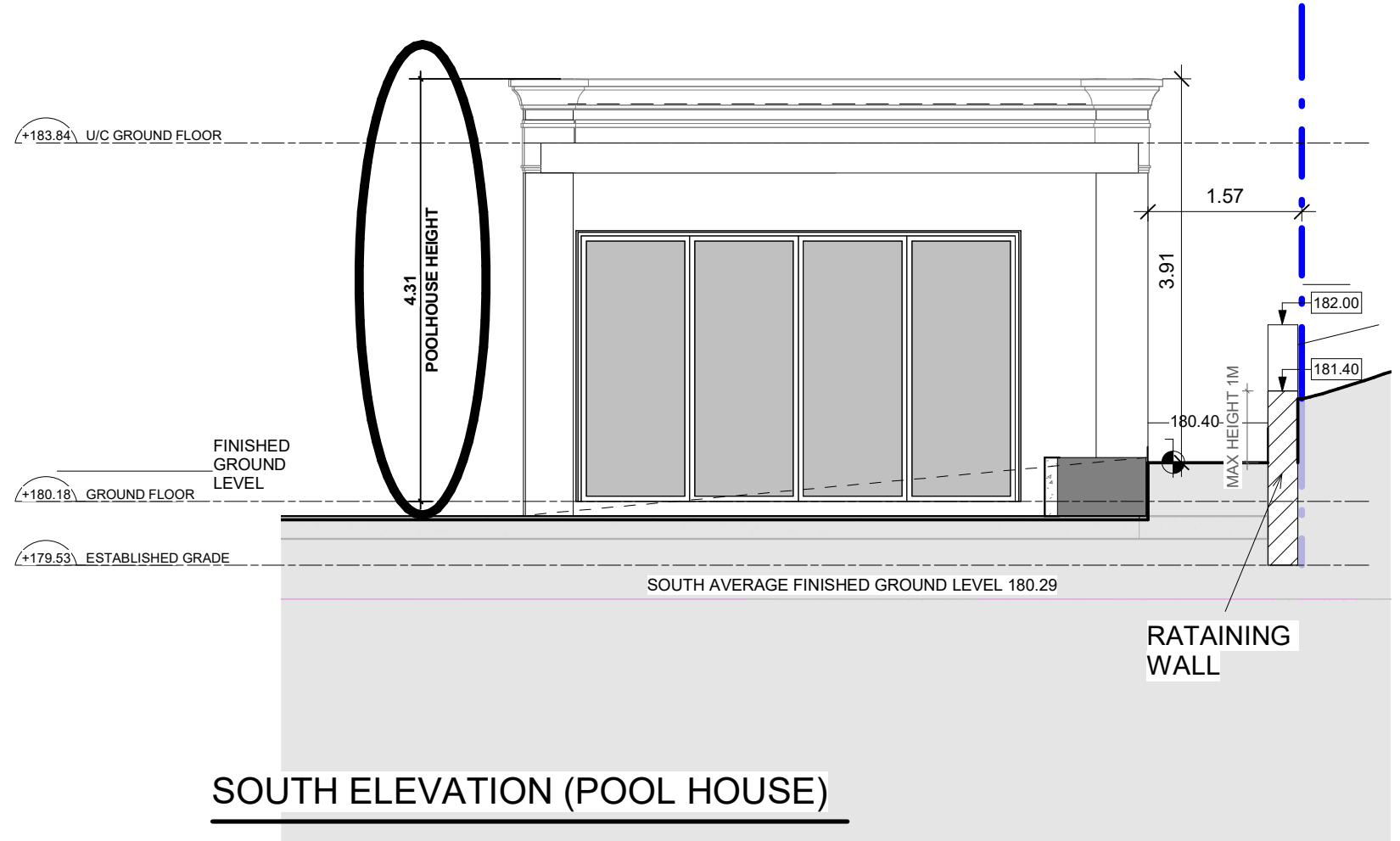
EAST ELEVATION (POOL HOUSE)



WEST ELEVATION (POOL HOUSE)



NORTH ELEVATION (POOL HOUSE)

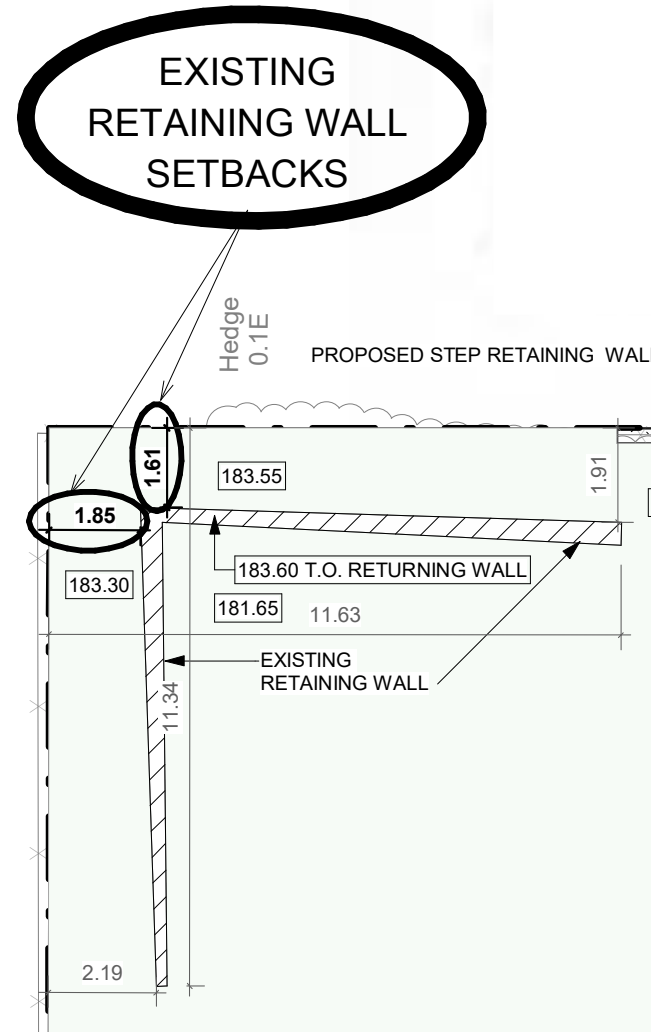


SOUTH ELEVATION (POOL HOUSE)

Variance Proposal No. 5 & 6

To permit a minimum rear yard setback of **1.85 metres** to the proposed retaining wall.

To permit a minimum interior side yard setback of **1.61 metres** to the proposed retaining wall.



Committee of Adjustment

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Questions?

Thank You!

TRICON
DEVELOPMENT

