

CITY OF VAUGHAN

SUBDIVISION AGREEMENT

FILE: ELM THORNHILL WOODS, 19T-14V003

DEVELOPER: ELM THORNHILL WOODS (2013) INC.

REG'D. PLAN NO. _____ DATE OF REGISTRATION: _____

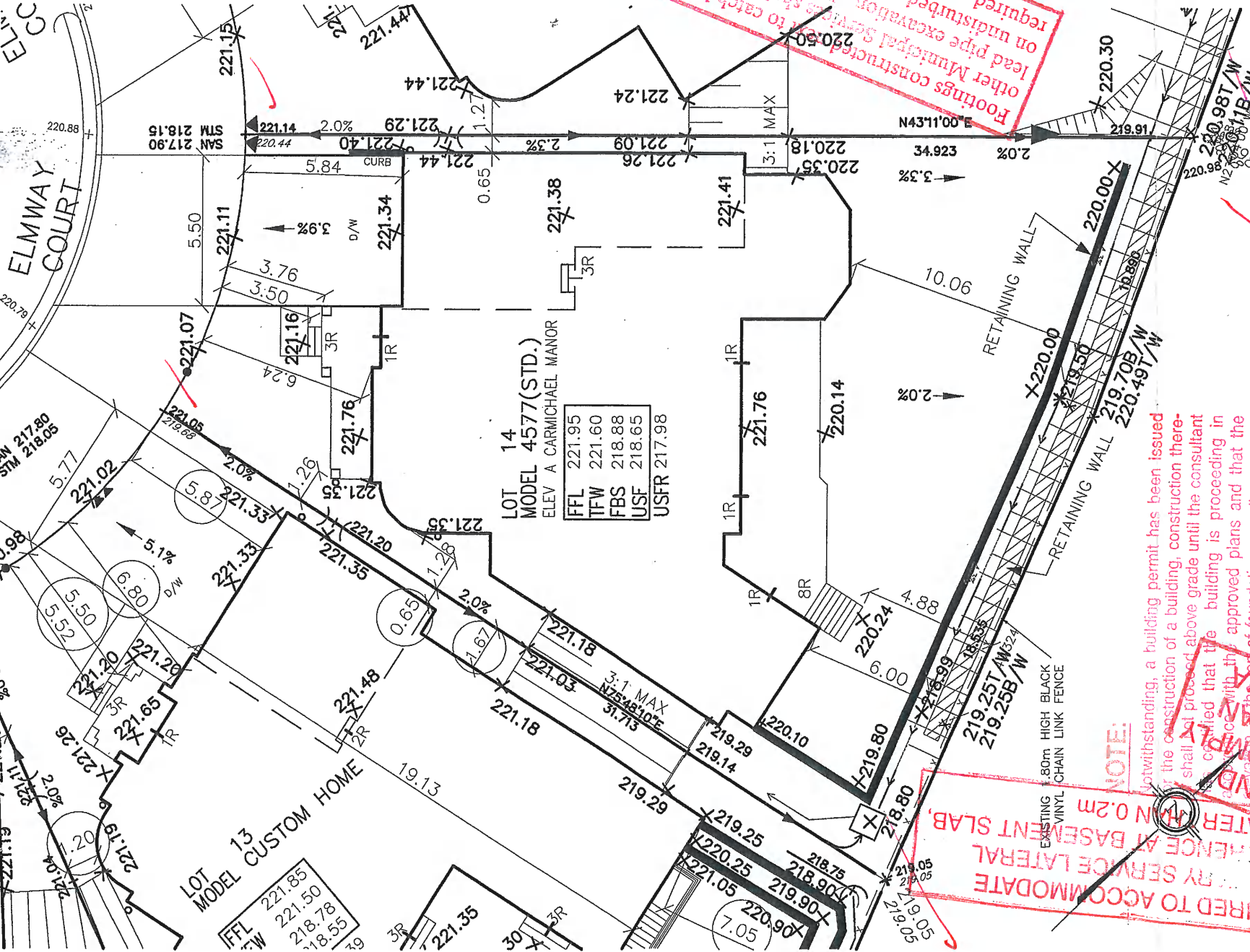
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J. CP

- 8.2 Prior to the issuance of building permits, the Owner shall complete the overall grading of all lots and blocks in the Plan to elevations acceptable to the City.
- 8.3 The Consultant shall indicate on the Construction Drawings referred to in Schedule "B" all objects or conditions which would affect the construction or occupancy of the buildings, including the location and base elevations of existing trees, existing contours, proposed elevations for the lots and buildings, the degree and limits of slopes over 5 horizontal to 1 vertical, restrictions on building types, proposed road elevations and grades, and the locations of sidewalks, hydrants, valve chambers, catch basins, or other objects in the road allowance which would affect driveway locations and grades.
- 8.4 All public property within a road allowance, other than pavement or sidewalks, shall be top soiled and sodded by the Owner at his expense to the satisfaction of the City.
- 8.5 The Owner shall complete the works in the park and any open space lands on the Plan as described in Schedule "C" and as shown on the approved construction drawings.
- 8.6 The Owner shall cover all lands disturbed directly or indirectly as a result of development and which are not covered by road allowances, walkways, buildings, driveways, etc., with at least 100mm of topsoil, unless they are already so covered, and provide dust and erosion controls, to the satisfaction of the City.
- 8.7 (a) In every agreement of purchase and sale, the Owner shall reserve the right of the Owner or the City, notwithstanding the completion of the sale of a lot, to enter upon the said lot for a period of two years after the completion of the sale or until assumption of the services, whichever date is later, in order to carry out any lot grading work which in the opinion of the City is required. The City shall notify the Owner in writing of the work required and if the Owner does not acknowledge within 48 hours that the work will be done or if the Owner does so acknowledge but does not complete the required work within 14 days of the notice the City may enter upon the lands and proceed to do the work at the Owner's expense in accordance with Subsection 16.2, except that if written notice is given by the City between November 1st of the first year and June 1st of the second year, the Owner shall complete the work prior to June 15th of the second year. If the City determines that an emergency exists, the City may proceed with the required work without notice at the expense of the Owner which may be recovered from the M.S.L.C.
- (b) If the grading of the lot has been completed and a certificate issued pursuant to Subsection 20.1(c) and if the grading of such lot is satisfactory to the City's Engineering Department then, subject to the provisions of paragraph(c), the Owner is no longer responsible for the grading of such lot, provided that if a complaint is received by the City's Engineering Department prior to the assumption of services about an alteration to the grading, it shall determine whether there is an adverse effect and the party responsible. If the subsequent owner of a lot alters its grade after certification, the Owner or the City is not responsible for the grading of such lot, and if the alteration adversely affects an adjacent lot, then the owner of the latter lot may enforce the provisions of this agreement which requires every owner to maintain his lot in accordance with the approved Lot Grading Plan. The Owner is not responsible for any grading defect occurring after the assumption of services.
- (c) Notwithstanding that a lot has been graded in accordance with the approved grading plan, if the plan was approved on the basis of incorrect information, the lot shall be regraded by the Owner in accordance with a revised plan approved by the Consultant and the City, all at the Owner's expense.
- 8.8 If at any time prior to the certification of a lot pursuant to Subsection 20.1(c), a problem arises with respect to the grading of a lot, the Owner shall report to the Director of Development Engineering & Infrastructure Planning Services in respect to it within 24 hours. If required by the Director, the Owner shall provide within seven (7) days of a written request, an "as built" grading plan prepared by his Consultant.





GRADING AND DRAINAGE NOTES:

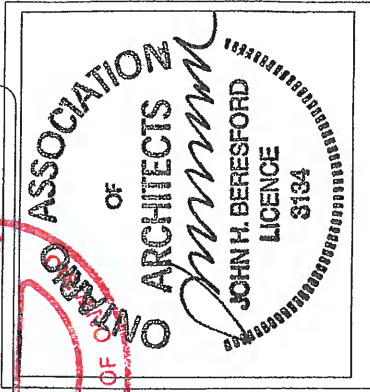
- Standard drawing and lot grading criteria of the City of Vaughan in the Regional Municipality of York constitute part of the project drawings for the Subdivision.
- Minimum gradient of grass swales along side and rear lot lines shall be 2%, the proposed elevation of the side yard shall be a minimum of 0.15M below the finished grade at the building line the maximum swale gradient shall be 5%.
- Take up rear yard grade difference using slopes between 2% and 5% for a maximum of 75% of the rear yard length and slopes of 3 Horizontal and 1 Vertical maximum to the rear lot line. Use retaining walls if grade difference is more than 0.6M. Construct retaining walls within the rear lot line.
- Edge of driveways is to be a minimum of 1.0M from edge of street catchbasin and street furniture. The Builder is to verify the location and to inform The Engineer. If this dimension can not be maintained prior to excavation for the footings.
- If the distance between the walls of adjacent units is less than 1.8M. A side yard drainage swale shall be constructed and surfaced with 0.13M limestone screening overlaid by patio slab walkway.
- Brick line shall be 0.15M above Sod elevation.
- All roof leaders shall discharge at the front of dwelling unit on to grassed areas on concrete splash pads, unless otherwise shown.
- Footings constructed next to a catchbasin lead pipe or other Municipal services shall be installed below the lead pipe excavation. Footings must be constructed on Undisturbed soil. Soil Consultants verification is required.
- All new fences abutting public lands and or existing properties shall be constructed including footings completely on private lands and totally clear of any easements.
- 10) All lots with Rear lot Catchbasins, the MIN. side yard width shall be 1.20M along the Catchbasin lead.
- 11) Soil Consultants verification is required for footings constructed on Engineering Fill lots.
- 12) The Builder must verify the AS CONSTRUCTED on Sanitary and Storm services inverts and inform the Engineer if the Minimum 2% grade can not be maintained prior to placing of concrete footings.
- 13) Top soil depth in Boulevard must be MIN. 0.45M and 0.15M in the lot.
- 14) Builder to stake out Curb Depression.
- 15) Have reviewed the site and grading plan for the proposed Building to be constructed and hereby Certify that:
 - The proposed grading and appurtenant drainage works comply with sound Engineering principles.
 - The proposed grading is in conformity with the grading plans approved for this Subdivision and will not adversely effect adjacent lands.
 - The proposed Building is compatible with proposed grading.
 - The builder is responsible for relocation of all utilities on the site which are not 1.0M clear from edge of Driveway, including street Catchbasin
 - Roof leader downspouts must drain to front of the House, unless otherwise shown.
 - The proposed water service valve Box is located in the grassed portion of the front yard.

GRADING CERTIFICATION

I, **A. S. KASSABIAN**, Professional Engineer, No. **10000**, have reviewed the site and grading plan for the proposed Building to be constructed and hereby Certify that:
1) The proposed grading and appurtenant drainage works comply with sound Engineering principles.
2) The proposed grading is in conformity with the grading plans approved for this Subdivision and will not adversely effect adjacent lands.
3) The proposed Building is compatible with proposed grading.
4) The builder is responsible for relocation of all utilities on the site which are not 1.0M clear from edge of Driveway, including street Catchbasin
5) Roof leader downspouts must drain to front of the House, unless otherwise shown.
6) The proposed water service valve Box is located in the grassed portion of the front yard.

OCT 1 2 2016

Signature: *A. S. Kassabian*
Date: **OCT 1 2 2016**
Professional Engineer
A. S. KASSABIAN
SCHAEFER AND ASSOCIATES LTD.



LEGEND

- PROPOSED GRADES
- LOT CORNER
- PROPOSED GRADE
- HIGH POINT OF PROPERTY LINE
- HIGH POINT OF BUILDING
- DIRECTION OF FLOW
- FINISHED FLOOR LEVEL
- TOP OF FOUNDATION WALL
- FINISHED BASEMENT SLAB
- UNDERSIDE OF FOOTINGS
- STREET LIGHT
- HYDRANT
- TRANSFORMER
- BELL PEDESTAL
- CABLE TV PEDESTAL
- CATCH BASIN
- VALVE CHAMBER
- DOWNSPOUT
- COMMUNITY MAILBOX
- WATER SERVICE
- STORM & SANITARY CONNECTION
- EXTERIOR DOOR LOCATION
- SWALE DIRECTION
- STANDARD PLAN
- REVERSE PLAN
- STREET NAME & "STOP" SIGN
- "MAXIMUM SPEED" SIGN
- "DO NOT ENTER" SIGN
- "ONE WAY" SIGN
- "NO PARKING" SIGN
- "CHECKERBOARD" SIGN
- "NO EXIT" SIGN
- "NO STOP" SIGN
- GAS METER
- GAS MANHOLE
- SANITARY MANHOLE
- STORM MANHOLE
- SANITARY PIPE
- STORM PIPE
- WATER PIPE
- HYDRO LINE
- GAS MAIN
- SOUND BARRIER FENCE
- 3/0 AWG TRIPLE ALUMINUM CABLE
- ALUMINUM PVC SECONDARY CABLE

- Unless otherwise indicated, finished floor level is 0.50m above Specified House Grade at entry points to house and provision of 3 risers & entries must be made to gain entry into house. Maintain top of foundation wall min 0.15M.
- Unprotected openings (windows, doors) must be in 1.2m from lot lines. Builder to verify location of all windows relative to lot line to maintain min. setback for unprotected openings.
- These General Notes apply to all drawings for Siting & Grading including Siting on individual sheets.
- All front and rear yards shall be graded at a 2% - 5% grade within 6.0m of the dwelling unit.
- Base curb elevation to be checked vs garage slab elevation to ensure adequate driveway grade before constructing garage.
- Downspouts to be installed on a splash pad.

CITY OF VAUGHAN
DEVELOPMENT / TRANSPORTATION
ENGINEERING DEPARTMENT
PLANS EXAMINATION

RECEIVED **OCT 17 2016**

DATE REVIEWED **INITIAL**
ZONING **GRADING**

LANDSCAPE CALCULATIONS	sq. m.	%
FRONT YARD AREA	44.54	
DRIVEWAY AREA	21.23	
LANDSCAPED FRONT YARD	23.31	52.3%
HARD LANDSCAPING	2.37	
SOFT LANDSCAPING	20.94	89.8%

GENERAL NOTES

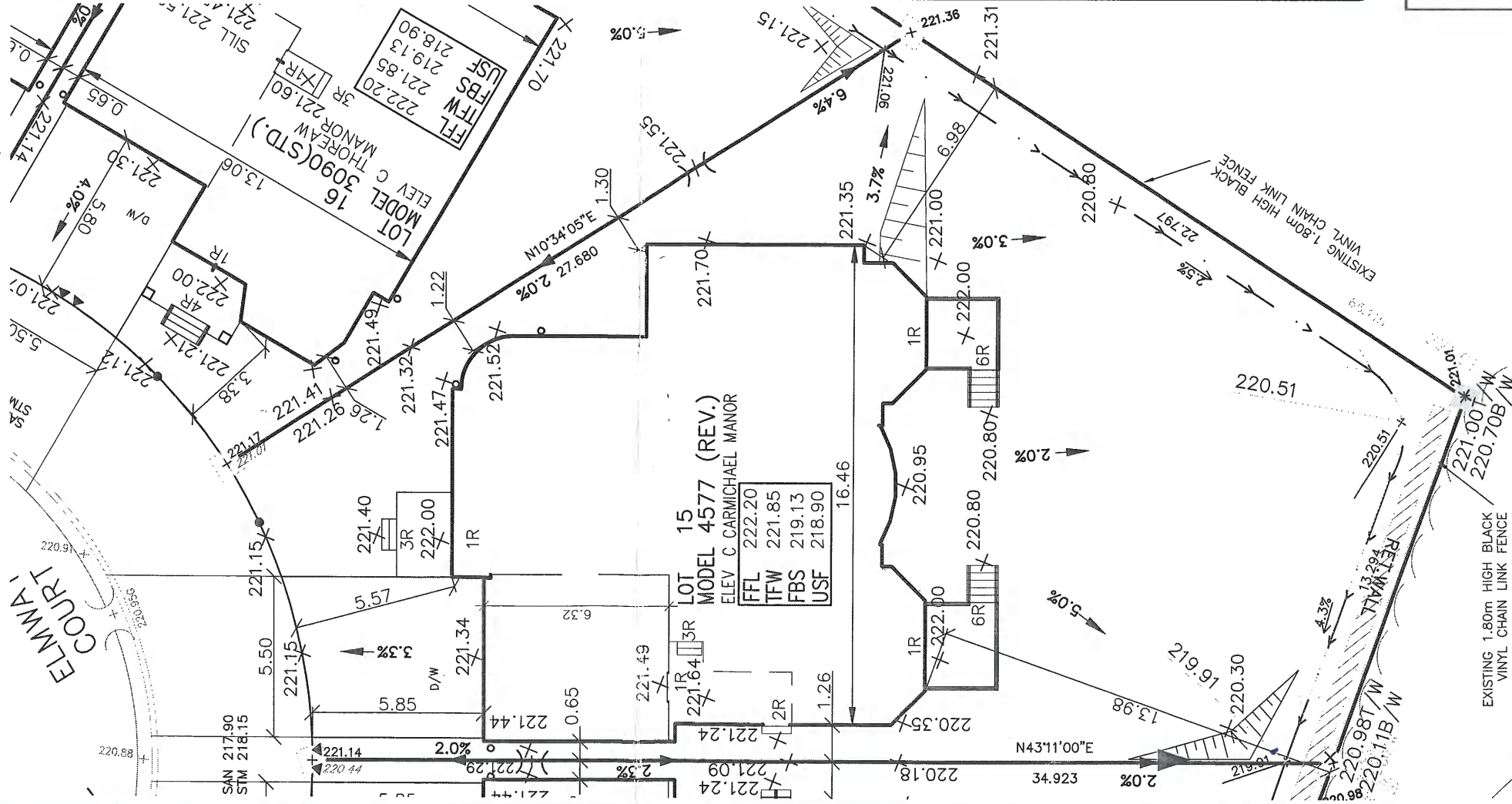
- Builder and Surveyor to confirm difference between FFL and USF before proceeding with excavation. Report discrepancies to the Architect.
- Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work. Any discrepancies are to be reported to the Architect and the builder immediately.
- The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
- The builder shall check and verify all given grade elevations and drainage prior to commencement of construction. Builder shall verify location of existing and proposed utilities prior to commencement of construction.
- Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
- All dimensions and grade elevations are shown in metres.

OFFICE COPY
16-0948 (R2)

GENERAL NOTES

- * 1. Builder and Surveyor to confirm **3.30** difference between FFL and USF before proceeding with excavation. Report discrepancies to the Architect.
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7. Unless otherwise indicated, finished floor level is 0.50m above Specified House Grade at entry points to house and provision of 3 risers at entries must be made to gain entry into house

8. Unprotected openings (windows,doors) must be min 1.2m from lot lines. Builder to verify location of all windows relative to lot line to maintain min. setback for unprotected openings.
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12. Downspouts to discharge onto ground via splash pad.



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- 5) Roof leader downspouts must ~~discharge~~ **discharge** to front of the house, unless otherwise shown.
- 6) The proposed water services Valve Box is located in the grossed portion of the front yard.

SCHAEFER AND ASSOCIATE LTD.

A. S. KASSABIAN

Signature:

FEB 18 2016

W Architect Inc.
DESIGN CONTROL REVIEW

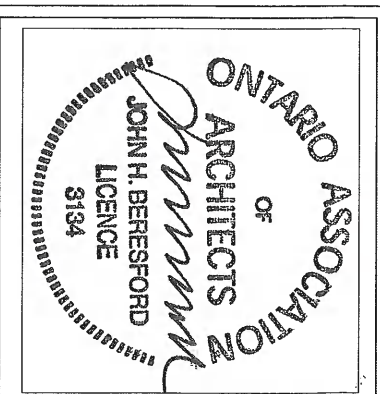
DATE: FEB-17-2016

BY: KKA

This stamp is only for the purposes of design control and carries no other professional obligation.

LEGEND

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- 'REV.' REVERSE PLAN
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- STORM PIPE
- WATER PIPE
- HYDRO LINE
- GAS MAIN
- SOUND BARRIER FENCE
- 3/0 AWG TRIPLEX AL COMP 600V
- XLPE PVC2 SECONDARY CABLE



06.29.15	CZ	FINAL SUBMISSION
06.11.15	CZ	REV. PER ENG.
06.01.15	CZ	REV. PER ENG.
05.05.15	CZ	REV. PER ENG.
04.08.15	CZ	PRELIMINARY REVIEW
DATE	REF.	DESCRIPTION

DO NOT SCALE DRAWING

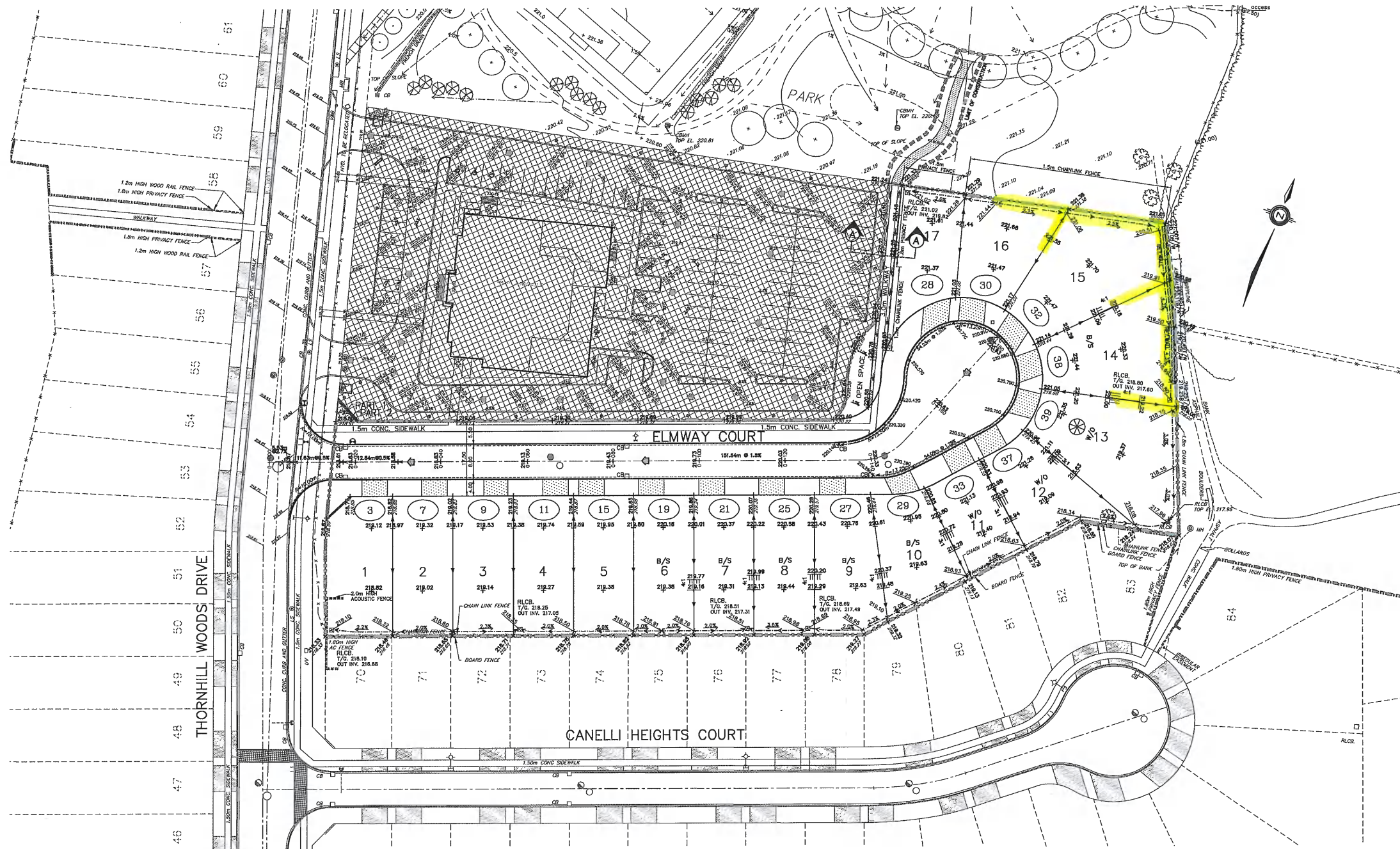
flanagan
beresford
& potterson
architects

70 Sifton Road, Unit 1
Woodbridge, Ontario, L4L 8B8 (905) 265-2888

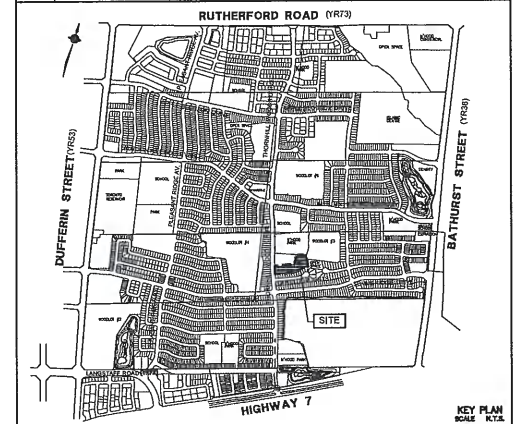
DEVELOPMENTS
CORP.
THORNHILL WOODS DRIVE
VAUGHAN ONTARIO
LOT 16

DATE: 04.08.15
Job Number: 14-1199
Scale: 1:200

Checked By: [Signature]
Drawn By: CZ
Sheet Number: SP1-16



REVISIONS			
No.	DESCRIPTION	By	Date
1.	REVISED AS PER CITY COMMENTS	FT	13/03/22
2.	RLCB 5 MOVED TO LOT 17	FT	15/05/08
3.	RETAINING WALL ADDED AT LOTS 14 & 15	FT	15/12/23
4.	REVISED AS PER CITY COMMENTS	FT	16/01/12
5.	RLCB AT LOT 7 RELOCATED, SWALE ELEVATIONS AT LOTS 6 TO 8 ADJUSTED	FT	16/05/02
7.	AS CONSTRUCTED	R.M.	JUNE 2020



NOTES:
1. THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON CONTRACT DRAWINGS, AND WHERE SHOWN THE ACCURACY OF THE LOCATION AND ELEVATION OF SUCH UTILITIES AND STRUCTURES ARE NOT GUARANTEED. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITIES OF DAMAGE.
2. ALL AREAS DISTURBED DURING CONSTRUCTION OF SEWERS AND WATERMANS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE CITY OF VAUGHAN AND REGION OF YORK ENGINEERING DEPARTMENT. GRASSED AREAS TO BE TOPPED WITH 100mm TOPSOIL AND SODDED AS PER OPSD 218.01. ALL EXISTING SERVICES TO BE ADJUSTED TO SUIT NEW GRADES.
3. FOR GENERAL NOTES REFER TO DWS. NO. GN-1.

LEGEND:	
	DENOTES VALVE AND CHAMBER
	DENOTES HYDRANT
	DENOTES SINGLE CATCHBASIN
	DENOTES DOUBLE CATCHBASIN
	DENOTES EX. CATCHBASIN
	DENOTES SANITARY MANHOLE
	DENOTES STORM MANHOLE
	DENOTES PROPOSED ELEVATION
	DENOTES EXISTING ELEVATION
	DENOTES EXISTING CONTOUR
	DENOTES LIMIT OF SUBDIVISION
	DENOTES LIMIT OF CONSTRUCTION
	DENOTES MUNICIPAL HOUSE ADDRESS

AS CONSTRUCTED JUNE 2020

BENCHMARK No.
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN BENCH MARK No. 5M610-10, HAVING AN ELEVATION OF 205.344 METRES.

4.	15/04/22	ISSUED FOR CONSTRUCTION
3.	15/04/14	ISSUED FOR REVISED SUBMISSION AS PER CITY COMMENTS
2.	14/11/27	ISSUED FOR PERFECT SUBMISSION
1.	14/09/24	ISSUED FOR PRE-PERFECT SUBMISSION

APPROVED AS TO FORM IN RELIANCE UPON THE PROFESSIONAL SKILL AND ABILITY OF SCHAEFFERS CONSULTING ENGINEERS AS TO DESIGN AND SPECIFICATION
ANDREW D. PEARCE, C.E.T., APRIL 2015
DIRECTOR OF DEVELOPMENT ENGINEERING & INFRASTRUCTURE PLANNING SERVICES

ELM THORNHILL WOODS (2013) INC.

SCHAEFFERS
CONSULTING ENGINEERS
6 Ronrose Drive, Concord,
Ontario L4K 4R3
Tel: (905) 738-6100
Fax: (905) 738-6875
E-mail: design@schaeffers.com

VAUGHAN

GRADING PLAN			
65M-4481	CITY FILE: 19T-14V003		
PROJECT No.	2014-4068	DRAWING No.	GR-1
DRAWN BY:	A.M.	CHECKED BY:	F.T.
DESIGNED BY:	A.M.	APPROVED BY:	P.S.
DATE:	SEP. 2014		

SCALE: 1:500 0 5 10 15 20 25 30 35 40 45 50m

