



**File:** A040/21

**Applicant:** Denise De Cicco

**Address:** 20 Bell Court, Kleinburg

**Agent:** Nicole Rogano

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Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

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Background History: None

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Staff Report Prepared By: Adriana MacPherson  
Hearing Date: Thursday, July 22, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



**Minor Variance  
Application**

Agenda Item: 5

**A040/21**

Ward: 1

**Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer**

**Date & Time of Live Stream Hearing:** Thursday, July 22, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Denise De Cicco

**Agent:** Nicole Rogano

**Property:** **20 Bell Court, Kleinburg**

**Zoning:** The subject lands are zoned RR and subject to the provisions of Exception under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Village Residential", subject to Area Specific Policy 12.4: Kleinburg Core

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the existing shed, cabana and retaining wall.

The cabana is located in the rear yard, the shed is located in the southerly side yard and the retaining wall is located in the northerly side yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 15.0 metres is required to a Cabana.	1. To permit a minimum rear yard setback of 4.37 metres to a Cabana.
2. A minimum rear yard setback of 14.5 metres is required to an eaves or gutter of a Cabana.	2. To permit a minimum rear yard setback of 3.15 metres to an eaves or gutter of a Cabana.
3. A minimum rear yard setback of 15.0 metres is required to a Shed.	3. To permit a minimum rear yard setback of 2.11 metres to a Shed.
4. A minimum interior side yard setback of 4.5 metres is required to a Shed.	4. To permit a minimum interior yard setback of 2.17 metres to a Shed.
5. A minimum interior side yard setback of 4.84 metres is required to a retaining wall.	5. To permit a minimum interior side yard setback of 3.53 metres to a retaining wall.
6. A maximum Site Coverage of 10% is required.	6. To permit a maximum Site Coverage of 16.4% (Dwelling 12.7%, Front Porch 0.7%, Shed 0.6% and Cabana 1.5%)

**Background (previous applications approved by the Committee on the subject land):**

<b>Application No.:</b>	<b>Description:</b>	<b>Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent</b>
A052/14	To permit the construction of a single-family dwelling: To permit a minimum front yard setback of 8m. To permit a maximum lot coverage of 14%.	Approved, March 27, 2014

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

**Adjournment History: None****Staff & Agency Comments**

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**

Public notice was mailed on July 7, 2021

Applicant confirmed posting of signage on July 1, 2021

<b>Property Information</b>	
<b>Existing Structures</b>	<b>Year Constructed</b>
Dwelling	Unknown
Shed	Unknown
Shade Shelter	Unknown
Cabana	Unknown
Retaining Wall(s)	Unknown
Pool	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): All accessory buildings and retaining walls are existing on the property. The placement of the structures fit well with the grading and property limitations and requirements.

**Adjournment Request: None****Building Standards (Zoning Review):**

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 17-003388 for Retaining Wall - New, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade. An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

**Building Inspections (Septic):**

No comments or concerns

**Development Planning:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Village Residential", subject to Area Specific Policy 12.4: Kleinburg Core

The Owner is proposing to maintain an existing cabana, shed, and retaining wall with the above-noted variances. The subject lands are located within the Kleinburg-Nashville Heritage Conservation District and are designated Part V of the Ontario Heritage Act. The Owner has obtained a Heritage Permit for the existing structures on June 10, 2021 from the Cultural Heritage Division.

The existing shed and cabana are located on the southwest and northwest corners of the subject lands respectively. Both accessory structures comply with the height and area requirements of the Zoning By-law, are sufficiently setback from neighbouring properties, and are both visually concealed from Highway 27 due to the existing vegetation and elevation change.

Minor Variance Application A247/17 was previously approved by the Committee of Adjustment ('Committee') to permit a minimum 3.2 m setback from the north property line to a proposed retaining wall, however conditions for the approval of the application were not fulfilled at the time. The Development Planning Department has no concern with the requested minimum interior side yard setback of 3.53 m to a retaining wall. The proposed maximum lot coverage of 16.4% on the subject lands includes a dwelling coverage of 12.7%, 1.6% for the covered porches, and 2.1% for the existing accessory structures. Minor Variance Application A052/14 was previously approved by the Committee to permit a maximum lot coverage of 14% for the existing dwelling and covered porches. The proposed increase in lot coverage is related to the accessory structures, as well as a revised calculation of the existing dwelling and porch coverage. The 2.4% increase in maximum lot coverage does not have any appreciable visual impact on neighbouring residences and is consistent with previous approvals in the area.

An Arborist Letter, Arborist Report, and Tree Protection Plan prepared by A&M Tree Service on March 3, 2021 and revised on April 20, 2021, was submitted by the Owner in support of the application. The Urban Design Division concurs with the recommendations outlined in the letter and report.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

**Development Engineering:**

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for the pool permit.

The Development Engineering (DE) Department does not object to variance application A040/21. subject to the following condition(s):

The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for lot grading and/or servicing approval.

**Parks Development - Forestry:**

Prior to permit issuance, Forestry staff shall inspect and approve the tree protection (Hoarding). Tree protection shall be installed to the satisfaction of the Forestry division. (if applicable).

Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

Heavy Duty (plywood) Hoarding (MLA-107A) shall be installed for trees listed in Arborist Letter.

Recommended conditions of approval:

1. Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to pool permit approval. For protection only & to repair the grade around subject trees outlined in Arborist Letter.
2. Tree Protection must be installed and approved by Forestry Division prior to tree removal/protection permit approval.

**By-Law and Compliance, Licensing and Permit Services:**

No comments received to date

**Development Finance:**

No comment no concerns

**Fire Department:**

No comments received to date

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

None

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area



**Schedule D - Previous Approvals (Notice of Decision)**

Minor Variance Application A052/14

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	<b>Department/Agency</b>	<b>Condition</b>
1	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations Patrick Courchesne  905-832-8585 x 3617 <a href="mailto:Patrick.Courchesne@vaughan.ca">Patrick.Courchesne@vaughan.ca/</a>	1) Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to pool permit approval. For protection only & to repair the grade around subject trees outlined in Arborist Letter. 2) Tree Protection must be installed and approved by Forestry Division prior to tree removal/protection permit approval.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

## Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

**Adriana MacPherson**

T 905 832 8585 Extension 8360

E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

## **Schedule A: Plans & Sketches**

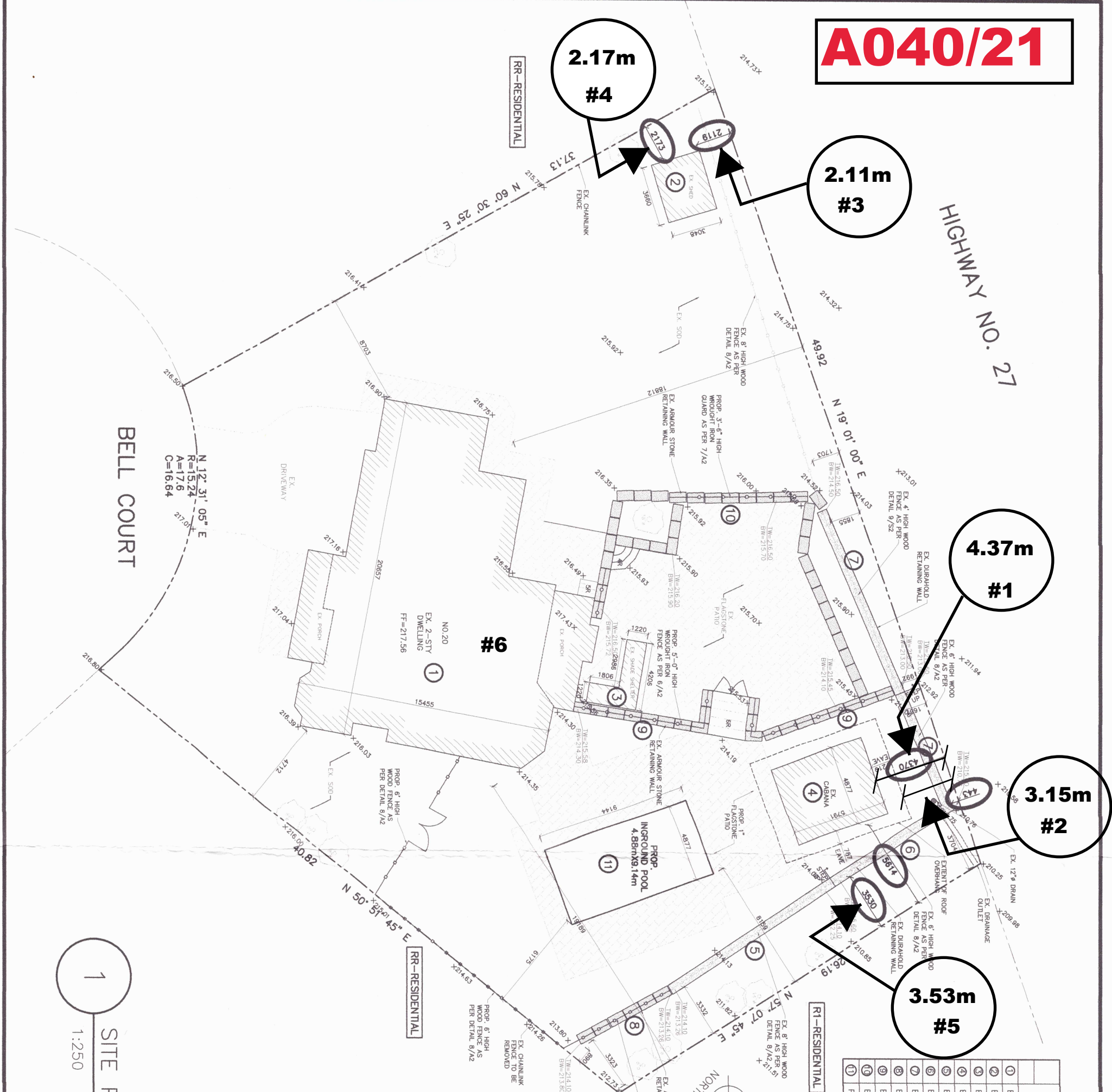
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

**Location Map**

**Plans & Sketches**







- 1. To permit a min.rear yard setback of 4.37m to a Cabana.**
- 2. To permit a min. rear yard setback of 3.15m to an eaves or gutter of a Cabana.**
- 3. To permit a min. rear yard setback of 2.11m to a Shed.**
- 4. To permit a min. interior yard setback of 2.17m to a Shed.**
- 5. To permit a mini. interior side yard setback of 3.53m to a retaining wall.**
- 6. To permit a maximum Site Coverage of 16.4% (dwelling 12.7% + rear porch 0.9% + Front porch 0.7% + shed 0.6% cabana 1.5% = 16.4%.**

STRUCTURE	MINIMUM FRONT YARD SETBACK		MIN. REAR YARD SETBACK WEST		MIN. REAR YARD SETBACK NORTH		MIN. INTERIOR SIDE YARD SETBACK SOUTH		MIN. INTERIOR SIDE YARD SETBACK NORTH		MAX. EAVE HEIGHT		MAX STRUCTURE HEIGHT		AREA
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	
1 EX DWELLING	15.00m	8.00m*	15.00m	18.80m	15.00m	19.20m	4.50m	8.20m	4.50m	4.70m	-	9.50m	9.50m	268.49m <sup>2</sup>	
2 EX SHED	31.23m	15.00m	15.00m	21.1m	15.00m	43.10m	4.50m	21.7m	4.50m	43.17m	3.00m	4.50m	3.96m	11.16m <sup>2</sup>	
3 EX SHADE SHELTER	-	25.91m	-	15.15m	-	19.15m	-	26.63m	-	17.28m	2.36m	-	2.56m	7.33m <sup>2</sup>	
4 EX CABANA	38.09m	15.00m	15.00m	4.37m	15.00m	3.33m	4.50m	38.86m	4.50m	18.74m	3.00m	2.75m	4.42m	28.25m <sup>2</sup>	
5 EX RETAINING WALL	-	38.69m	-	8.88m	-	3.32m	-	45.66m	-	8.73m	-	-	1.65m	-	
6 EX RETAINING WALL	-	43.91m	-	4.84m	-	4.84m	-	44.60m	-	18.31m	-	-	4.84m	-	
7 EX RETAINING WALL	-	37.74m	-	4.84m	-	4.84m	-	25.53m	-	26.51m	-	-	4.84m	-	
8 EX RETAINING WALL	-	36.37m	-	20.67m	-	3.32m	-	46.38m	-	0.89m	-	-	0.96m	-	
9 EX RETAINING WALL	-	25.77m	-	1.35m	-	1.66m	-	28.30m	-	16.33m	-	-	1.35m	-	
10 EX RETAINING WALL	-	25.63m	-	1.73m	-	28.72m	-	20.12m	-	30.08m	-	-	0.80m	-	
11 PROP. POOL	-	27.86m	-	1.50m	-	15.72m	-	4.50m	-	6.17m	-	-	-	44.59m <sup>2</sup>	

\* PREVIOUSLY APPROVED AS PER A052-14

SITE STATISTICS		ZONE RR
EX DWELLING	238.01 m <sup>2</sup>	(12.7%)
EX REAR PORCH	17.75 m <sup>2</sup>	(0.9%)
EX FRONT PORCH	12.73 m <sup>2</sup>	(0.7%)
EX SHED	11.16 m <sup>2</sup>	(0.6%)
PROP. CABANA	28.25 m <sup>2</sup>	(1.5%)
<b>TOTAL BUILDING AREA</b>	<b>307.9 m<sup>2</sup></b>	
LOT AREA	1876.43 m <sup>2</sup>	
<b>LOT COVERAGE</b>	<b>16.4%</b>	

\* 14.0% LOT COVERAGE PREVIOUSLY APPROVED PER A052/14



**PROJECT:**  
MINOR VARIANCE APPLICATION  
20 BELL COURT  
VAUGHAN, ONTARIO

**SHEET TITLE:**  
SITE PLAN

**SCALE:** AS SHOWN

**JOB #:** 19-034

**DWG #:** A1

**XTX ENGINEERING LTD**

42 GOODMARK PLACE, UNIT#1  
TORONTO, ON, M9W 6S2

TEL: (416) 888-4144  
E-MAIL: ontario@xtxeng.ca

No.	DATE:	REVISION:
1	FEB 10/21	ISSUED FOR CdA SUBMISSION

1  
1:250  
SITE PLAN





- 1. To permit a min.rear yard setback of 4.37m to a Cabana.**
- 2. To permit a min. rear yard setback of 3.15m to an eaves or gutter of a Cabana.**
- 3. To permit a min. rear yard setback of 2.11m to a Shed.**
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STRUCTURE	MINIMUM FRONT YARD SETBACK		MIN. REAR YARD SETBACK WEST		MIN. REAR YARD SETBACK NORTH		MIN. INTERIOR SIDE YARD SETBACK SOUTH		MIN. INTERIOR SIDE YARD SETBACK NORTH		MAX EAVE HEIGHT	MAX STRUCTURE HEIGHT	AREA
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED			
1 EX DWELLING	15.00m	8.00m*	15.00m	18.80m	15.00m	19.20m	4.50m	8.20m	4.50m	4.70m	9.50m	9.35m	268.49m <sup>2</sup>
2 EX SHED	31.23m	15.00m	15.00m	2.11m	15.00m	43.10m	4.50m	2.17m	4.50m	4.317m	2.36m	3.86m	11.16m <sup>2</sup>
3 EX SHADE SHELTER	-	25.91m	-	15.15m	-	19.15m	-	26.69m	-	17.28m	-	2.36m	7.33m <sup>2</sup>
4 EX CABANA	-	36.09m	-	15.00m	-	19.15m	-	38.86m	-	18.74m	-	4.42m	28.25m <sup>2</sup>
5 EX RETAINING WALL	-	36.69m	-	8.89m	-	3.32m	-	45.66m	-	6.73m	-	1.65m	-
6 EX RETAINING WALL	-	43.91m	-	4.84m	-	4.84m	-	44.69m	-	18.31m	-	4.84m	-
7 EX RETAINING WALL	-	37.74m	-	4.84m	-	4.84m	-	25.53m	-	18.31m	-	4.84m	-
8 EX RETAINING WALL	-	36.37m	-	20.67m	-	3.32m	-	46.39m	-	0.89m	-	0.96m	-
9 EX RETAINING WALL	-	25.77m	-	1.35m	-	1.66m	-	28.30m	-	16.33m	-	1.35m	-
10 EX RETAINING WALL	-	25.63m	-	1.73m	-	28.72m	-	20.12m	-	30.08m	-	0.80m	-
11 PROP. POOL	-	27.86m	-	1.50m	-	8.15m	-	36.97m	-	6.17m	-	-	44.59m <sup>2</sup>

\* PREVIOUSLY APPROVED AS PER A052-14

ZONE	RR
EX. DWELLING	238.01 m <sup>2</sup> (12.7%)
EX. REAR PORCH	17.75 m <sup>2</sup> (0.9%)
EX. FRONT PORCH	12.73 m <sup>2</sup> (0.7%)
EX. SHED	11.16 m <sup>2</sup> (0.6%)
PROP. CABANA	28.25 m <sup>2</sup> (1.5%)
<b>TOTAL BUILDING AREA</b>	<b>307.9 m<sup>2</sup></b>
LOT AREA	1876.43 m <sup>2</sup>
LOT COVERAGE	<b>16.4%</b>

\* 14.0% LOT COVERAGE PREVIOUSLY APPROVED PER A052/14



**XTX ENGINEERING LTD**

42 GODDARD PLACE, UNIT #1  
TORONTO, ON. M9W 6S2  
TEL: (416) 888-4144  
E-MAIL: oninfo@xtxeng.ca

PROJECT:  
**MINOR VARIANCE APPLICATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

SHEET TITLE:  
**SITE PLAN**

SCALE: AS SHOWN  
JOB #: 19-034  
DRAWN BY: O.M.

DWG #  
**A1**

1 SITE PLAN  
1:250



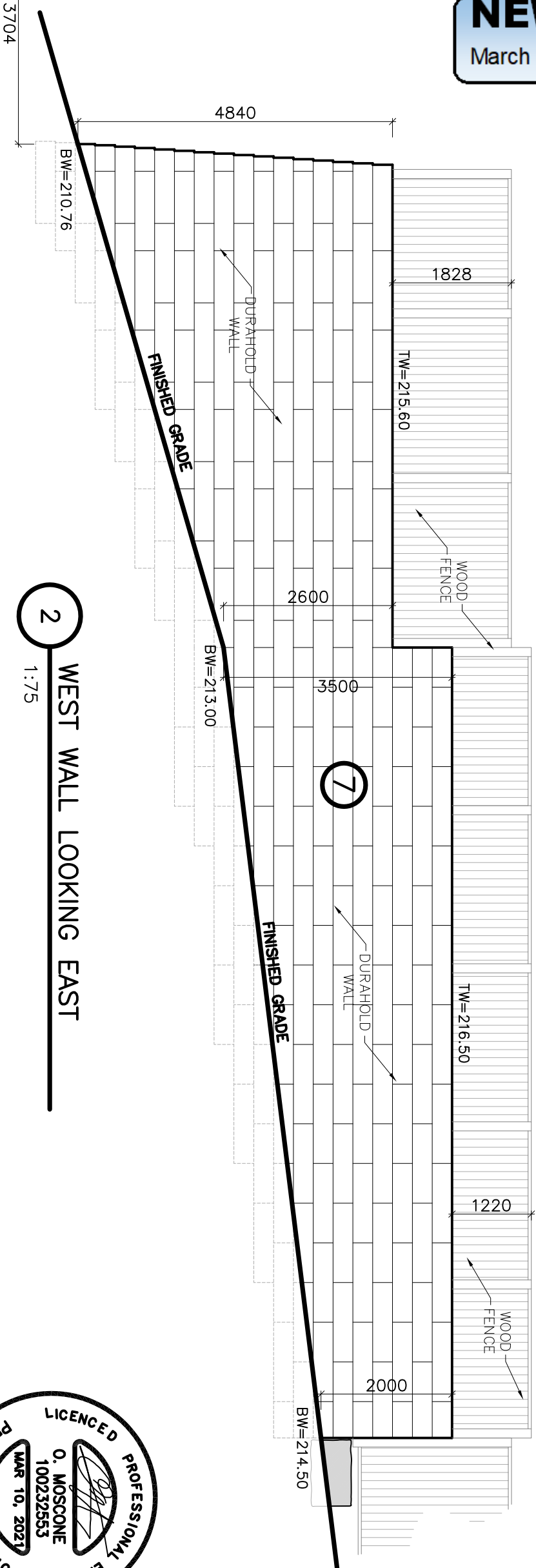
PROPERTY LINE

PROPERTY LINE

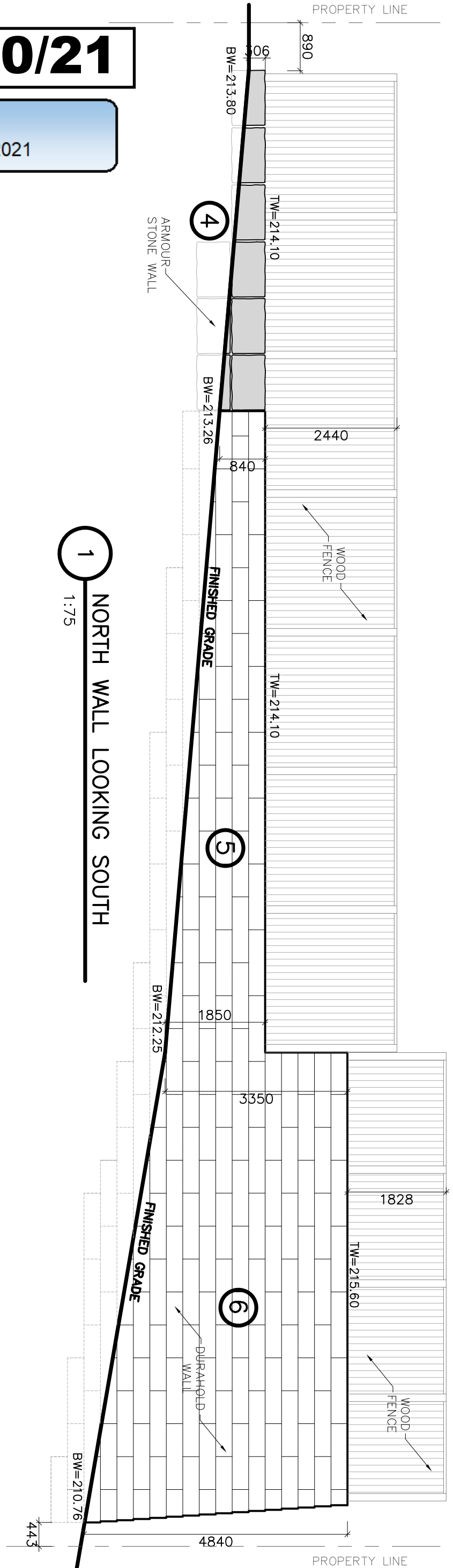
# A040/21

## NEW

March 16, 2021



**2**  
1:75  
WEST WALL LOOKING EAST



**1**  
1:75  
NORTH WALL LOOKING SOUTH



No:	1	DATE:	MAR 10/21	REVISION:	ISSUED FOR CDA SUBMISSION
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**XTX**  
ENGINEERING LTD

43 GODDARD PLACE, UNIT #1  
TORONTO, ON. M9W 6S2

TEL: (416) 889-4144  
E-MAIL: ontdca@xtxeng.ca

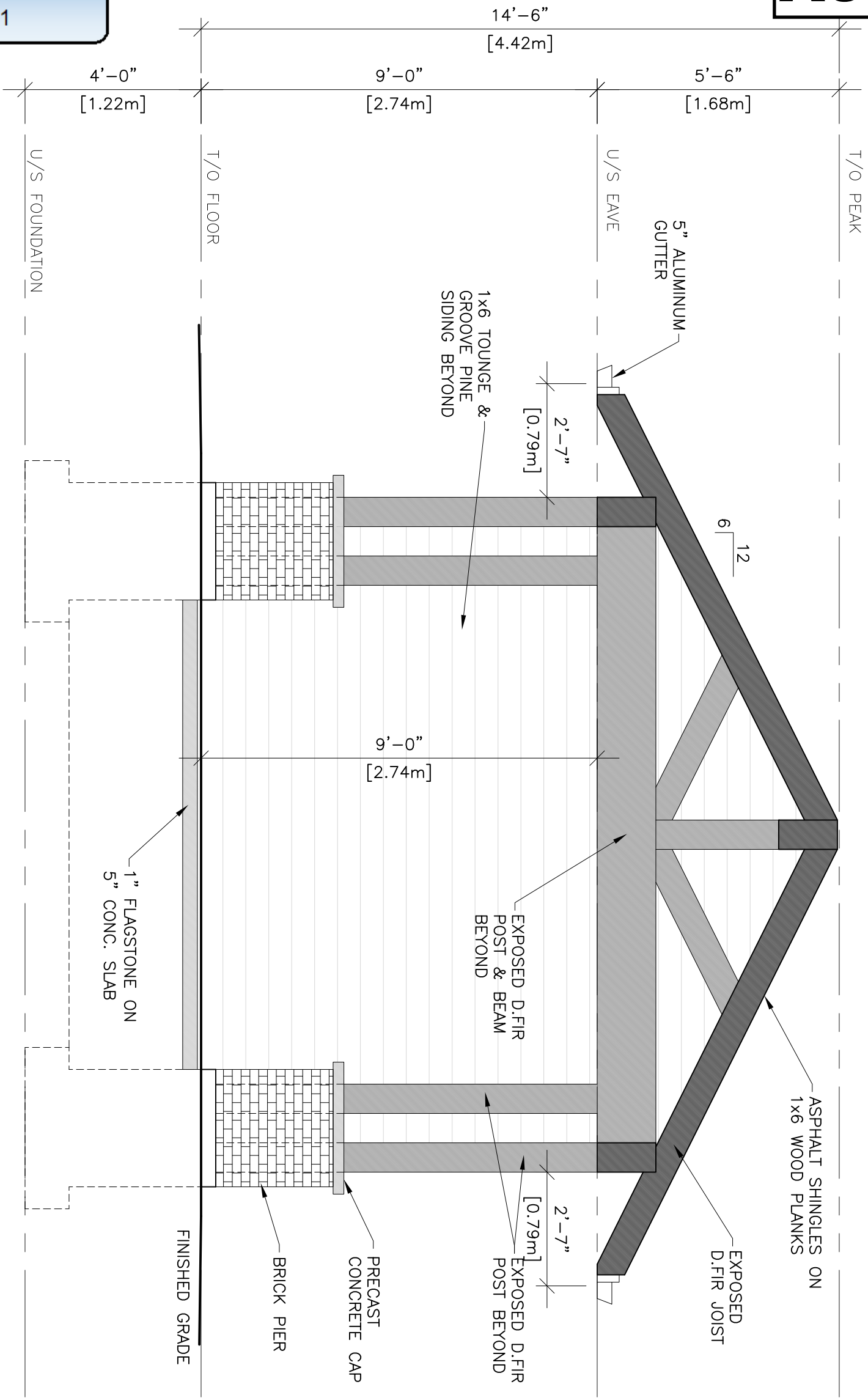
PROJECT:  
**MINOR VARIANCE APPLICATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

SHEET TITLE:  
**RETAINING WALL ELEVATIONS**

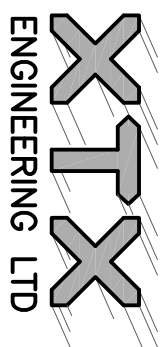
SCALE:	AS SHOWN	DWG #	
JOB #	19-034		
DRAWN BY:	O.M.		

# A5

**NEW**  
March 16, 2021



**1** FRONT ELEVATION  
3/8"=1'-0"



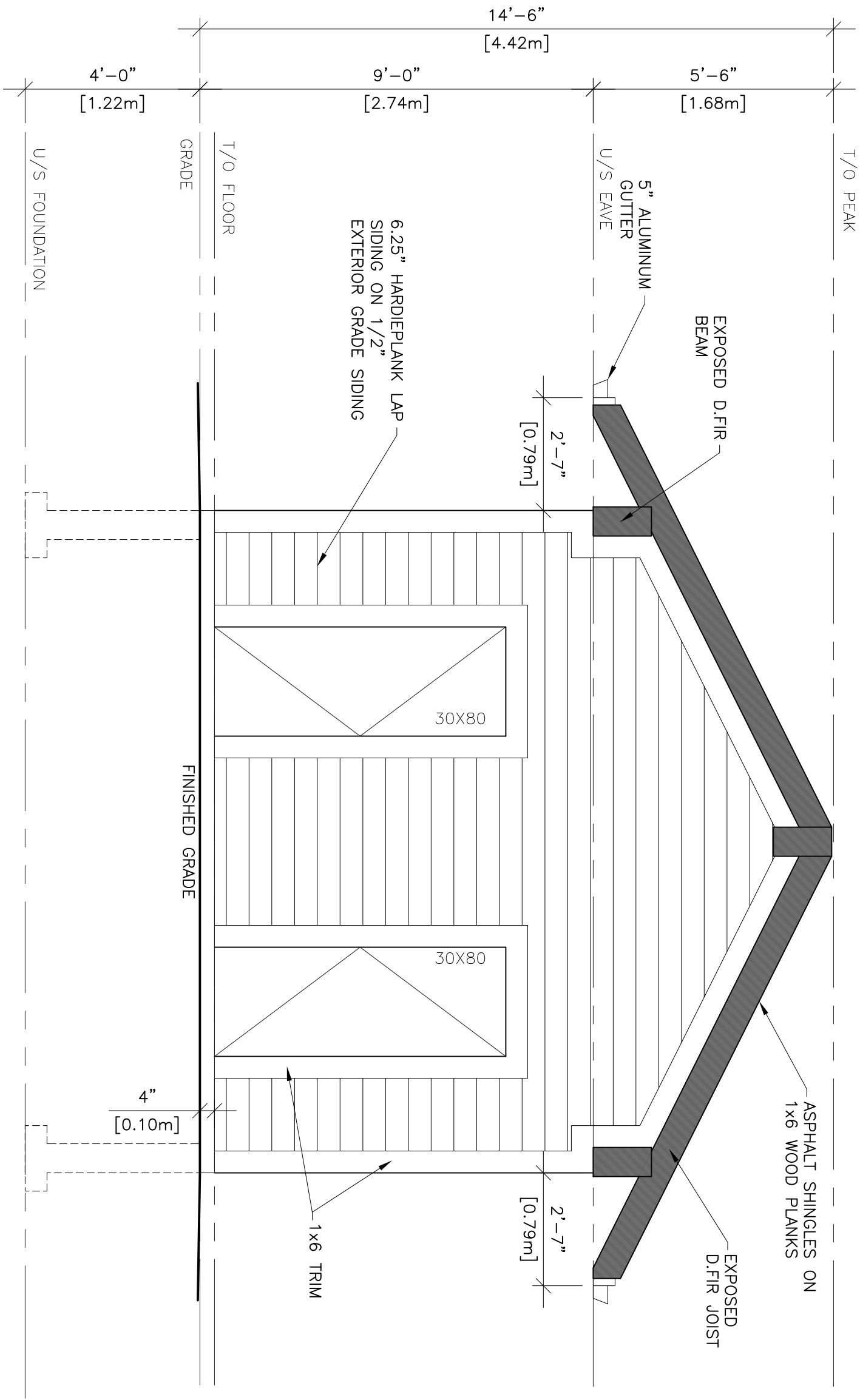
42 GOODMARK PLACE, UNIT#1 TEL: (416) 888-4144  
TORONTO, ON. M9W 6S2 E: onorio@xtkeng.ca

REV	DATE:	NOTE:
1	MAR 10, 2021	ISSUED FOR COFA SUBMISSION

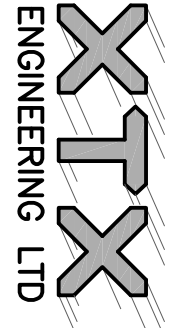
JOB # **19-034** DWG # **A9**

TITLE:  
**CABANA ELEVATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

**NEW**  
March 16, 2021



**1** REAR ELEVATION  
3/8"=1'-0"

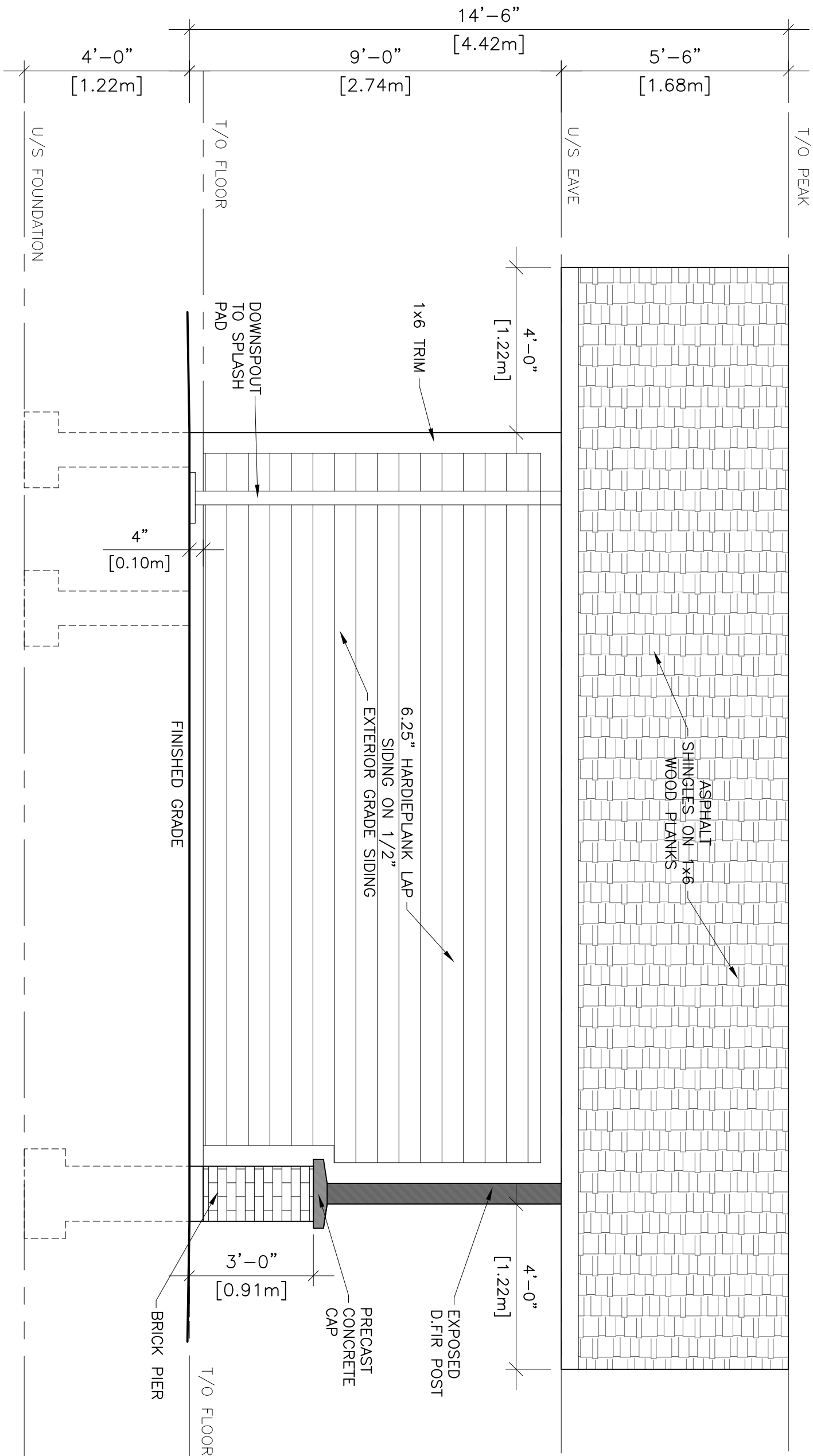


42 GOODMARK PLACE, UNIT#1 TEL: (416) 888-4144  
TORONTO, ON. M9W 6S2 E: onorio@xtkeng.ca

REV	DATE:	NOTE:
1	MAR 10, 2021	ISSUED FOR COFA SUBMISSION

JOB # | 19-034 | DWG # | **A10**

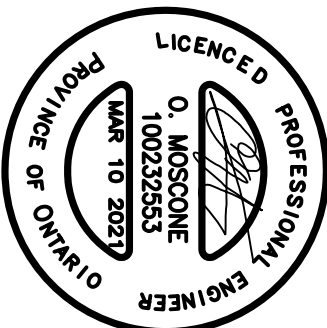
TITLE:  
**CABANA ELEVATION**  
20 BELL COURT  
VAUGHAN, ONTARIO



**1** LEFT SIDE ELEVATION  
 3/8"=1'-0"

**A040/21**

**NEW**  
 March 16, 2021



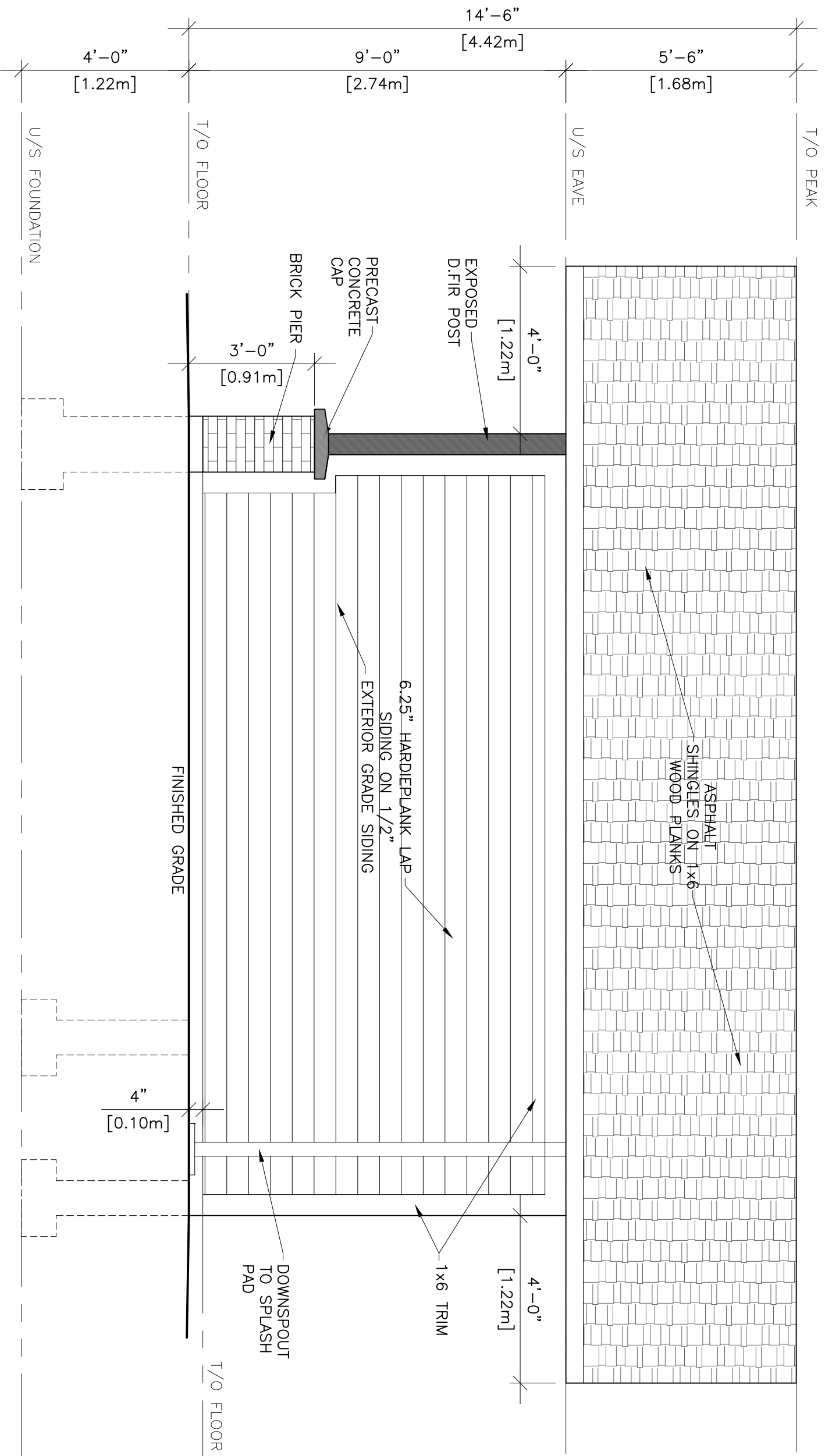
**XTX**  
 ENGINEERING LTD

42 GOODMARK PLACE, UNIT#1 TEL: (416) 888-4144  
 TORONTO, ON. M9W 6S2 E: onorio@xtkeng.ca

REV	DATE:	NOTE:
1	MAR 10, 2021	ISSUED FOR COFA SUBMISSION

JOB # | **19-034** | DWG # | **A11**

TITLE:  
**CABANA ELEVATION**  
 20 BELL COURT  
 VAUGHAN, ONTARIO



**A040/21**

**NEW**  
March 16, 2021



**XTX**  
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42 GOODMARK PLACE, UNIT#1 TEL: (416) 888-4144  
TORONTO, ON. M9W 6S2 E: onorio@xtkeng.ca

REV	DATE:	NOTE:
1	MAR 10, 2021	ISSUED FOR COFA SUBMISSION

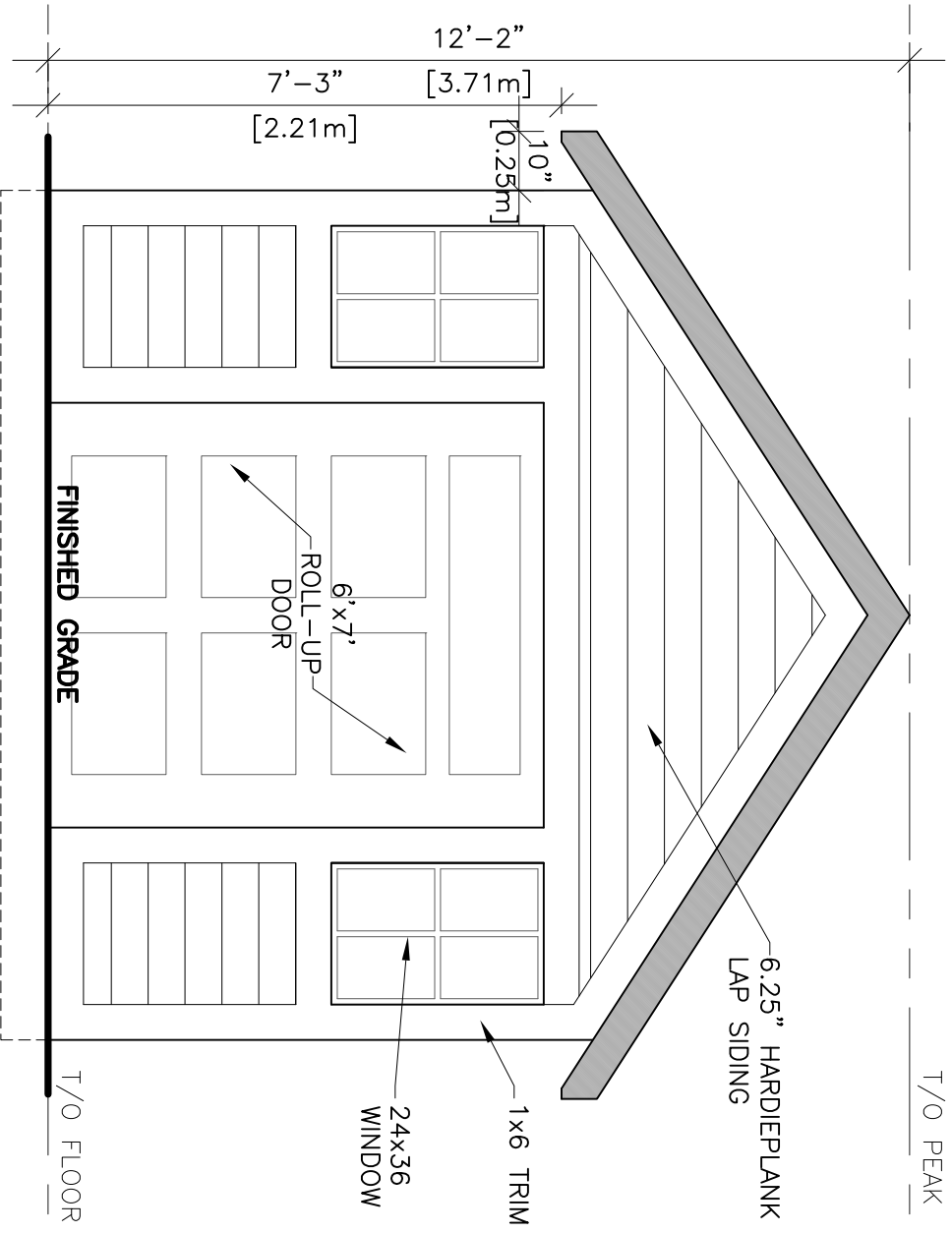
JOB # | **19-034** | DWG # | **A12**

TITLE:  
**CABANA ELEVATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

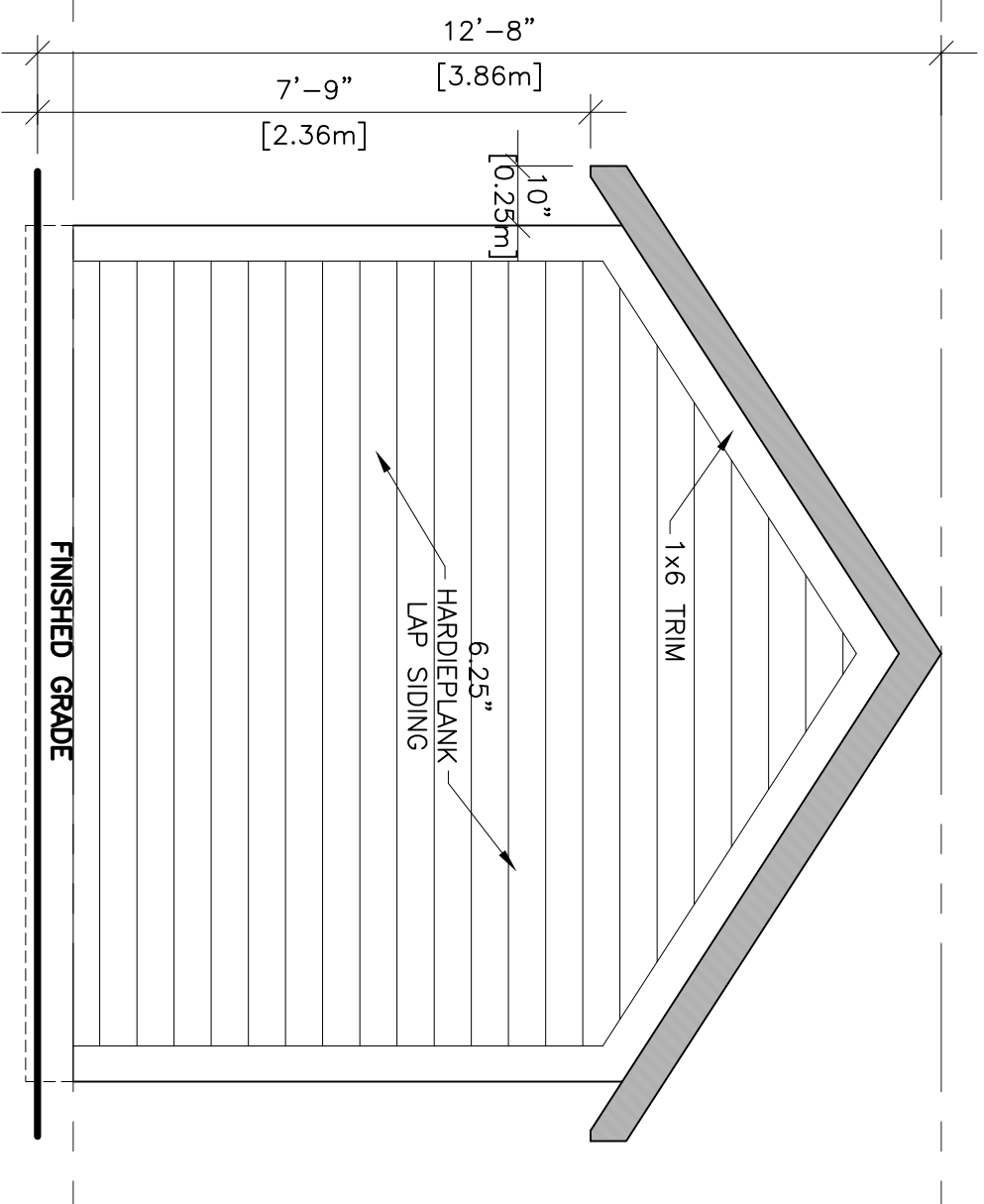
**1** RIGHT SIDE ELEVATION  
3/8"=1'-0"

**NEW**  
March 16, 2021

**1 FRONT ELEVATION**  
3/8"=1'-0"



**2 REAR ELEVATION**  
3/8"=1'-0"



**XTX**  
ENGINEERING LTD

42 GOODMARK PLACE, UNIT#1 TEL: (416) 888-4144  
TORONTO, ON. M9W 6S2 E: onorio@xtxeng.ca

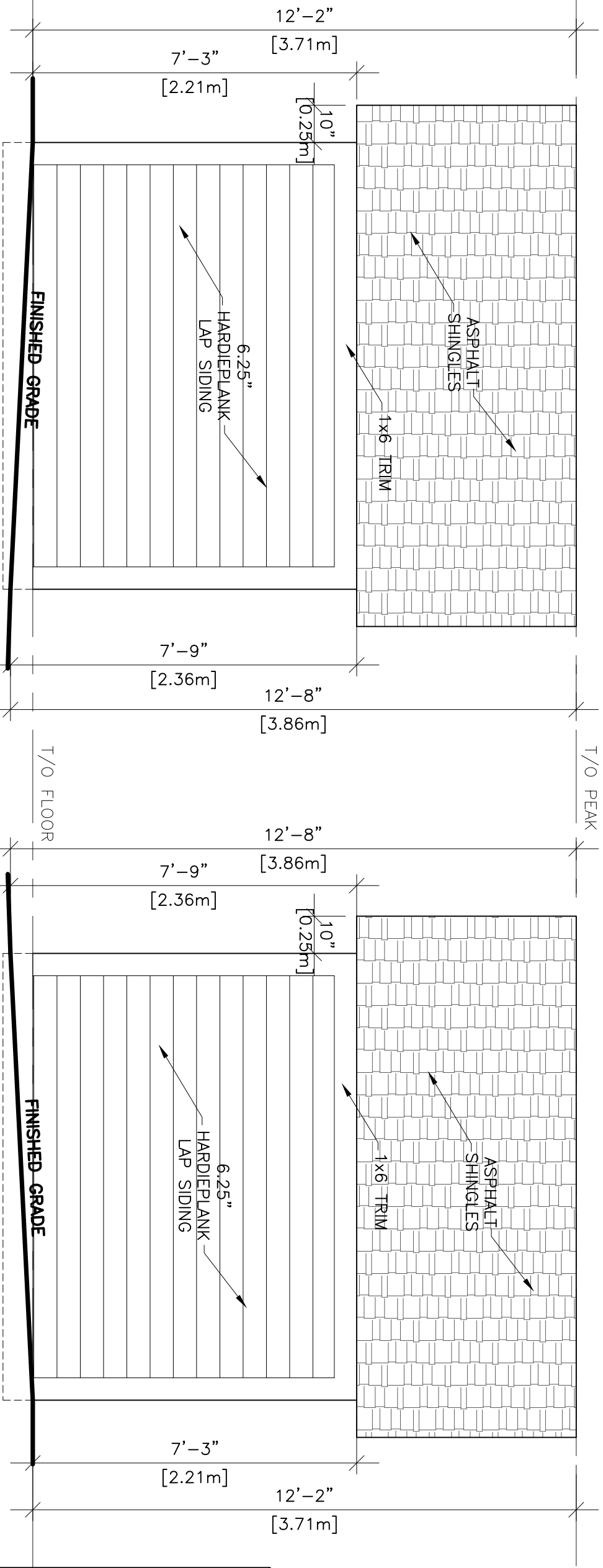
REV	DATE:	NOTE:
1	MAR 10, 2021	ISSUED FOR COFA SUBMISSION

JOB # | 19-034 | DWG # | **A17**

TITLE:  
**SHED ELEVATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

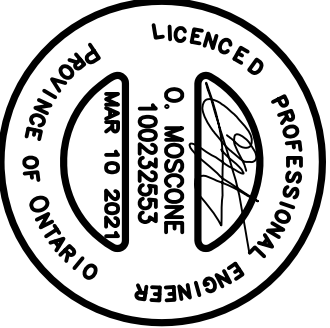


**NEW**  
March 16, 2021



**1** RIGHT ELEVATION  
3/8" = 1'-0"

**2** LEFT ELEVATION  
3/8" = 1'-0"



**XTX**  
ENGINEERING LTD

42 GOODMARK PLACE, UNIT #1 TEL: (416) 888-4144  
TORONTO, ON. M9W 6S2 E: onorio@xtxeng.ca

REV	DATE:	NOTE:
1	MAR 10, 2021	ISSUED FOR COFA SUBMISSION

JOB # | 19-034 | DWG # | **A18**

TITLE:  
**SHED ELEVATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

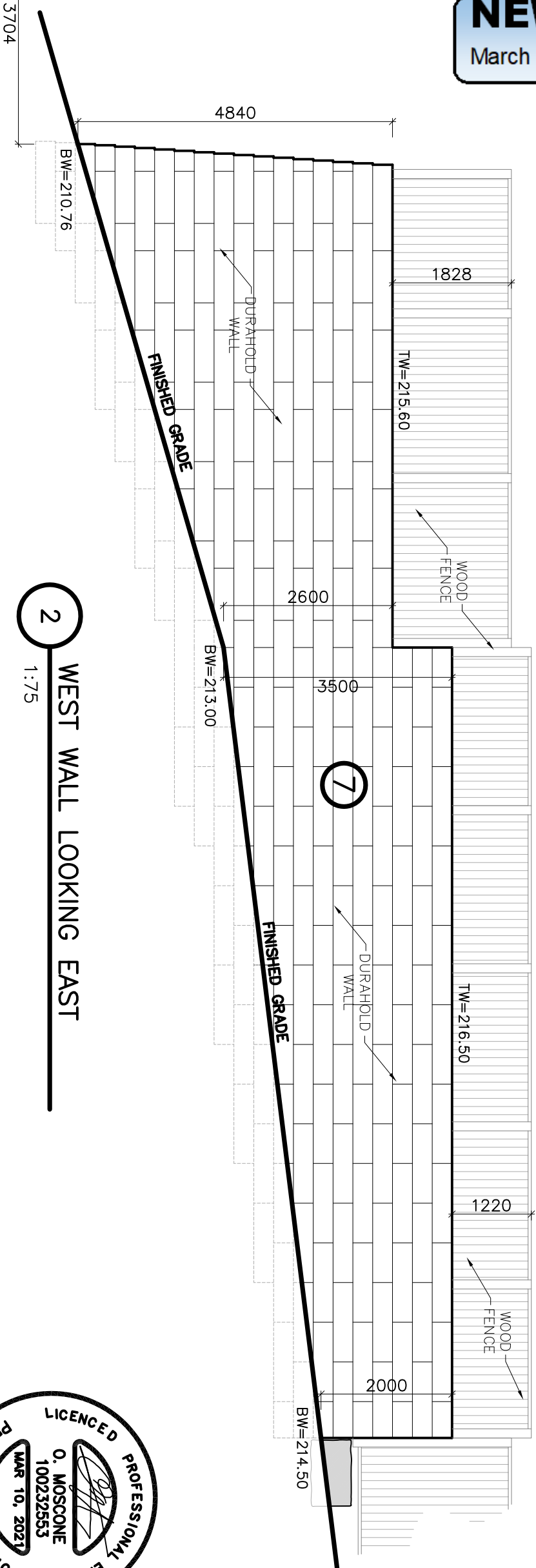
PROPERTY LINE

PROPERTY LINE

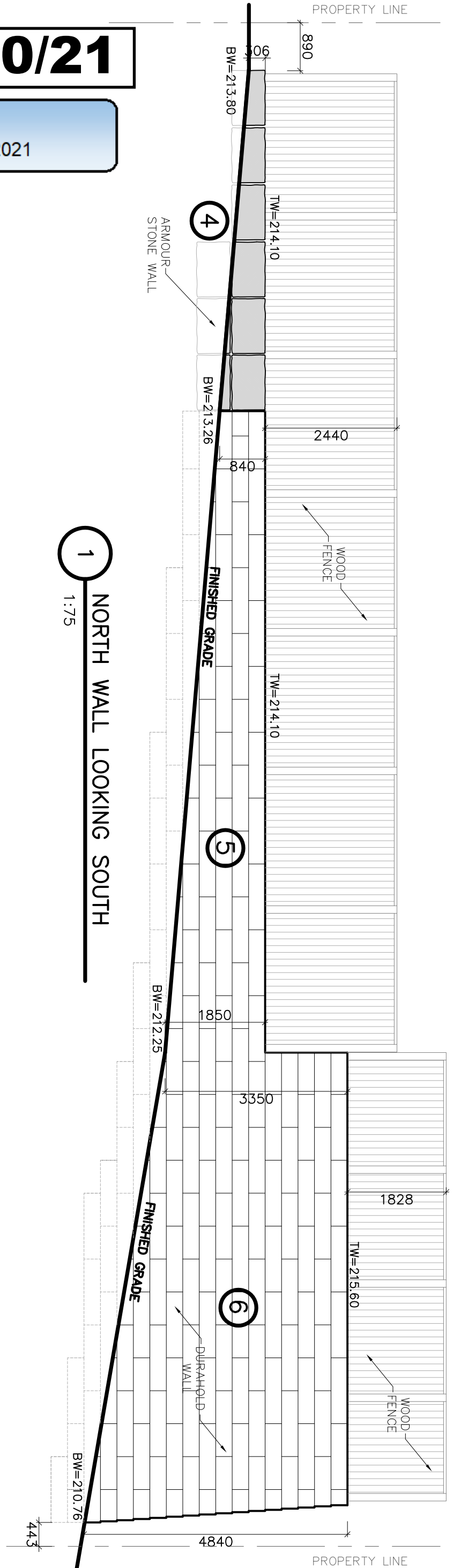
# A040/21

## NEW

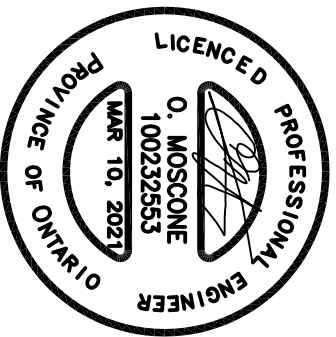
March 16, 2021



**2**  
1:75  
WEST WALL LOOKING EAST



**1**  
1:75  
NORTH WALL LOOKING SOUTH



No:	1	DATE:	MAR 10/21	REVISION:	ISSUED FOR CDA SUBMISSION

**XTX**  
ENGINEERING LTD

43 GODDARD PLACE, UNIT #1  
TORONTO, ON. M9W 6S2

TEL: (416) 889-4144  
E-MAIL: oninfo@xtxeng.ca

PROJECT:  
**MINOR VARIANCE APPLICATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

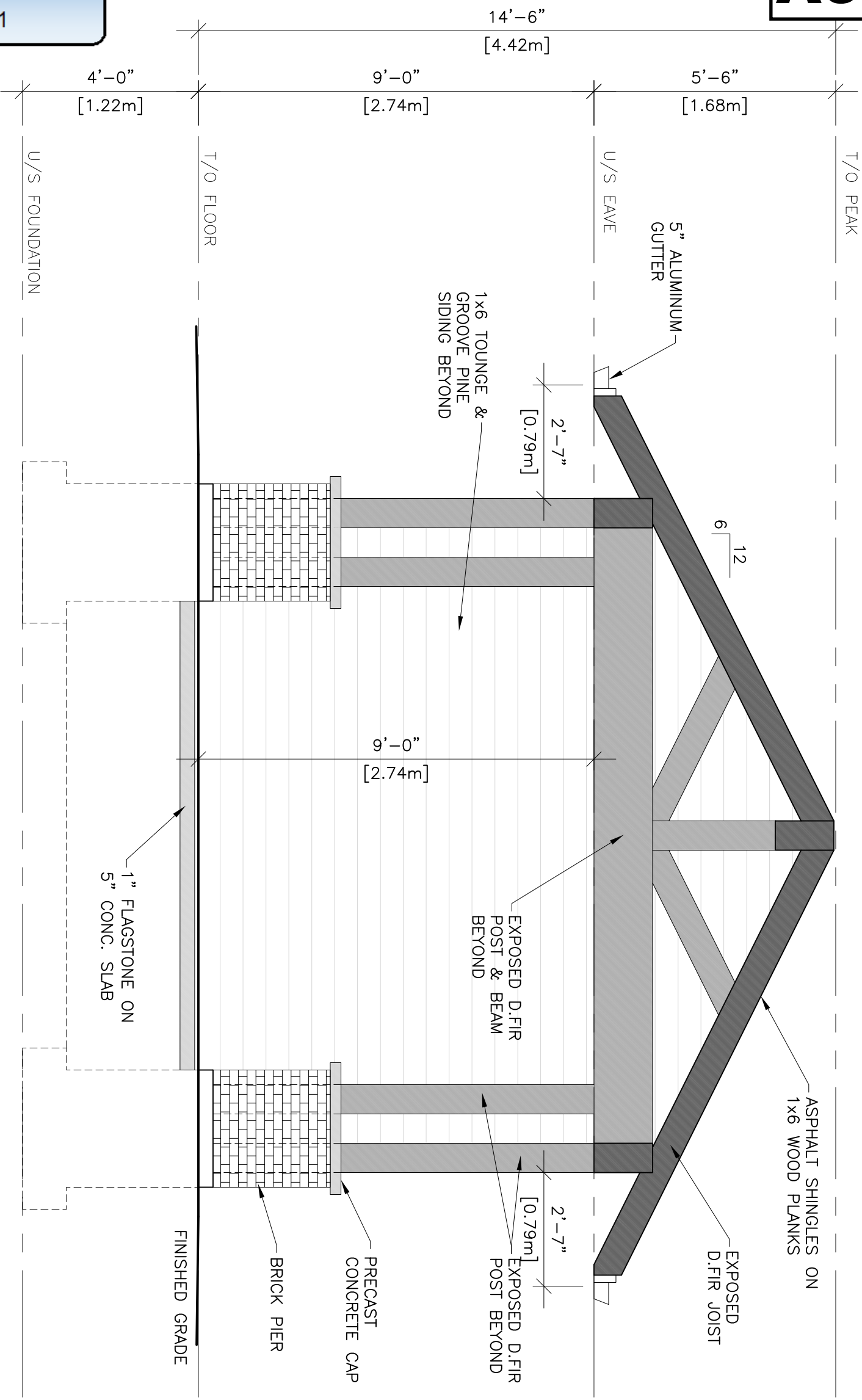
SHEET TITLE:  
**RETAINING WALL ELEVATIONS**

SCALE:	AS SHOWN	DWG #	
JOB #	19-034		
DRAWN BY:	O.M.		

# A5

# A040/21

**NEW**  
March 16, 2021



① FRONT ELEVATION  
3/8" = 1'-0"



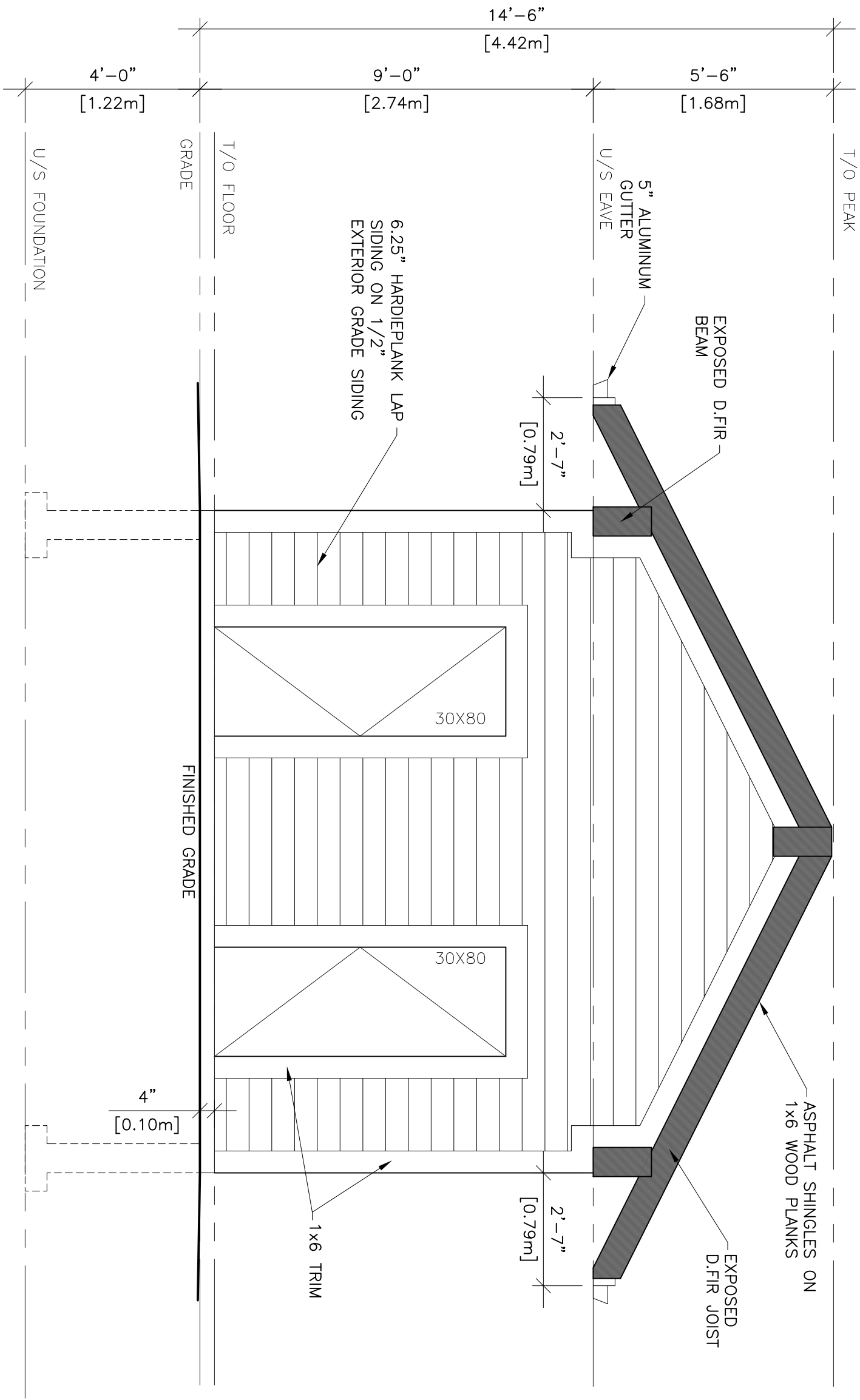
**XTX**  
ENGINEERING LTD

42 GOODMARK PLACE, UNIT #1 TEL: (416) 888-4144  
TORONTO, ON. M9W 6S2 E: omofrio@xtkeng.ca

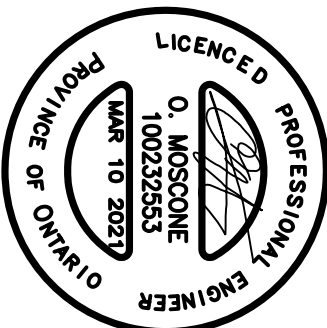
1	MAR 10, 2021	ISSUED FOR COFA SUBMISSION
REV DATE: NOTE:		
JOB #   19-034		
DWG #   A9		

TITLE:  
**CABANA ELEVATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

**NEW**  
March 16, 2021



**1** REAR ELEVATION  
3/8"=1'-0"



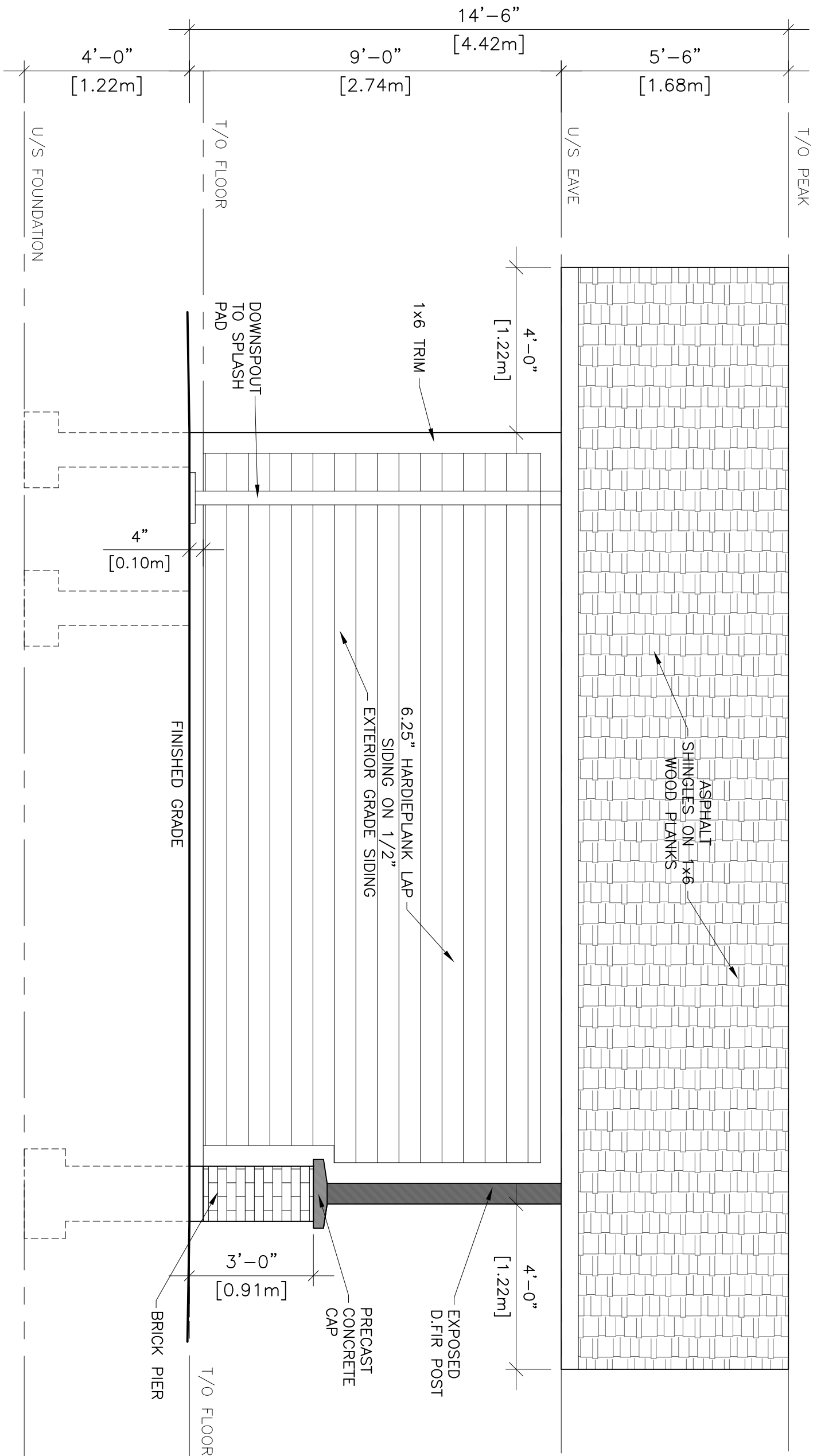
**XTX**  
ENGINEERING LTD

42 GOODMARK PLACE, UNIT#1 TEL: (416) 888-4144  
TORONTO, ON. M9W 6S2 E: onorio@xtxeng.ca

REV	DATE:	NOTE:
1	MAR 10, 2021	ISSUED FOR COFA SUBMISSION

JOB # | 19-034 | DWG # | **A10**

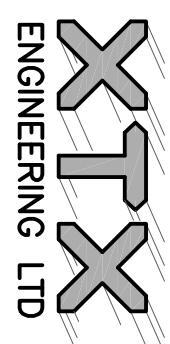
TITLE:  
**CABANA ELEVATION**  
20 BELL COURT  
VAUGHAN, ONTARIO



**1** LEFT SIDE ELEVATION  
 $\frac{3}{8}'' = 1'-0''$

**A040/21**

**NEW**  
 March 16, 2021

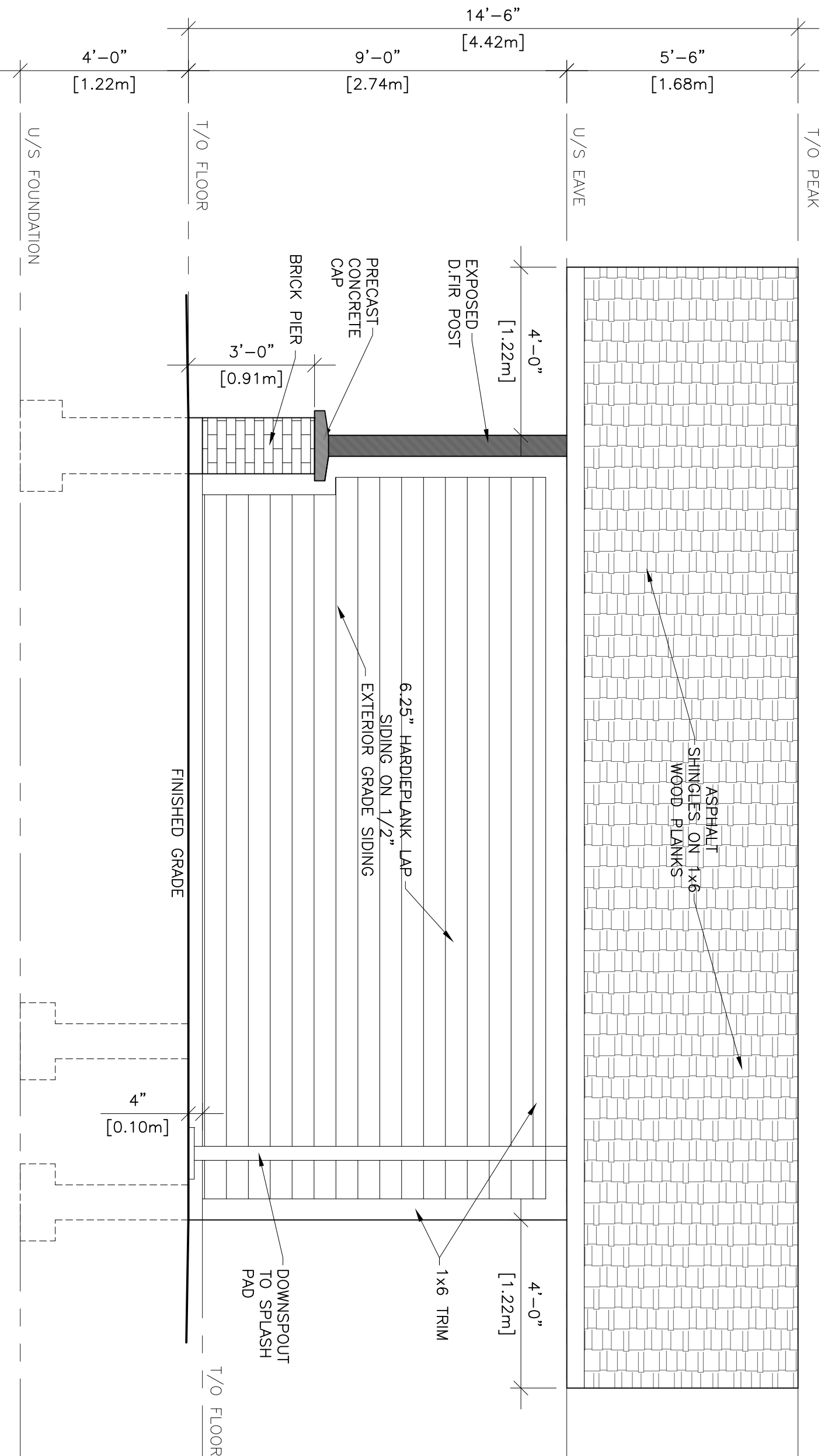


42 GOODMARK PLACE, UNIT#1 TEL: (416) 888-4144  
 TORONTO, ON. M9W 6S2 E: onorio@xtkeng.ca

REV	DATE:	NOTE:
1	MAR 10, 2021	ISSUED FOR COFA SUBMISSION

JOB # | 19-034 | DWG # | **A11**

TITLE:  
**CABANA ELEVATION**  
 20 BELL COURT  
 VAUGHAN, ONTARIO



**A040/21**

**NEW**  
March 16, 2021



**XTX**  
ENGINEERING LTD

42 GOODMARK PLACE, UNIT#1 TEL: (416) 888-4144  
TORONTO, ON. M9W 6S2 E: onorio@xtkeng.ca

REV	DATE:	NOTE:
1	MAR 10, 2021	ISSUED FOR COFA SUBMISSION

JOB # **19-034** DWG # **A12**

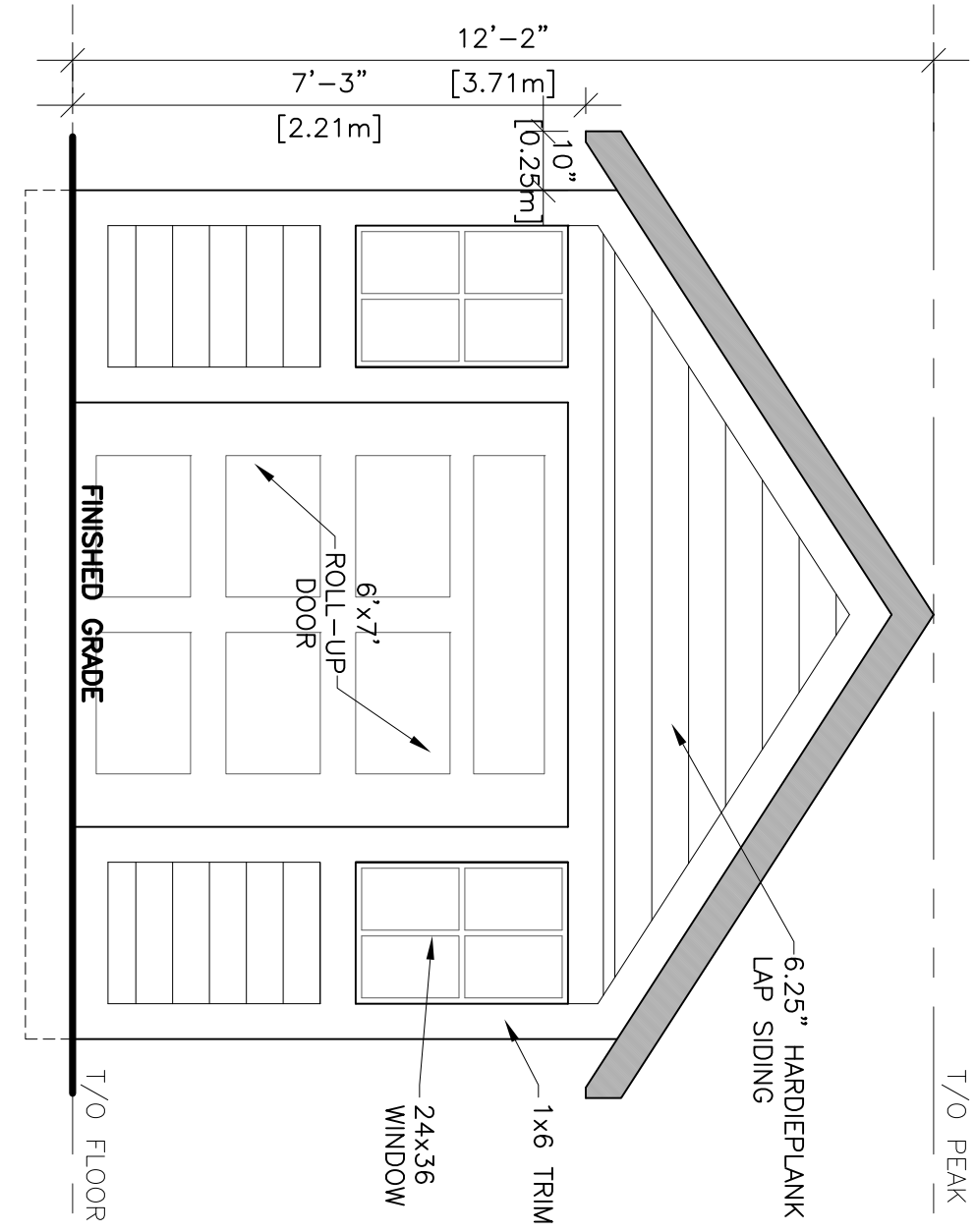
TITLE:  
**CABANA ELEVATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

**1** RIGHT SIDE ELEVATION  
3/8"=1'-0"

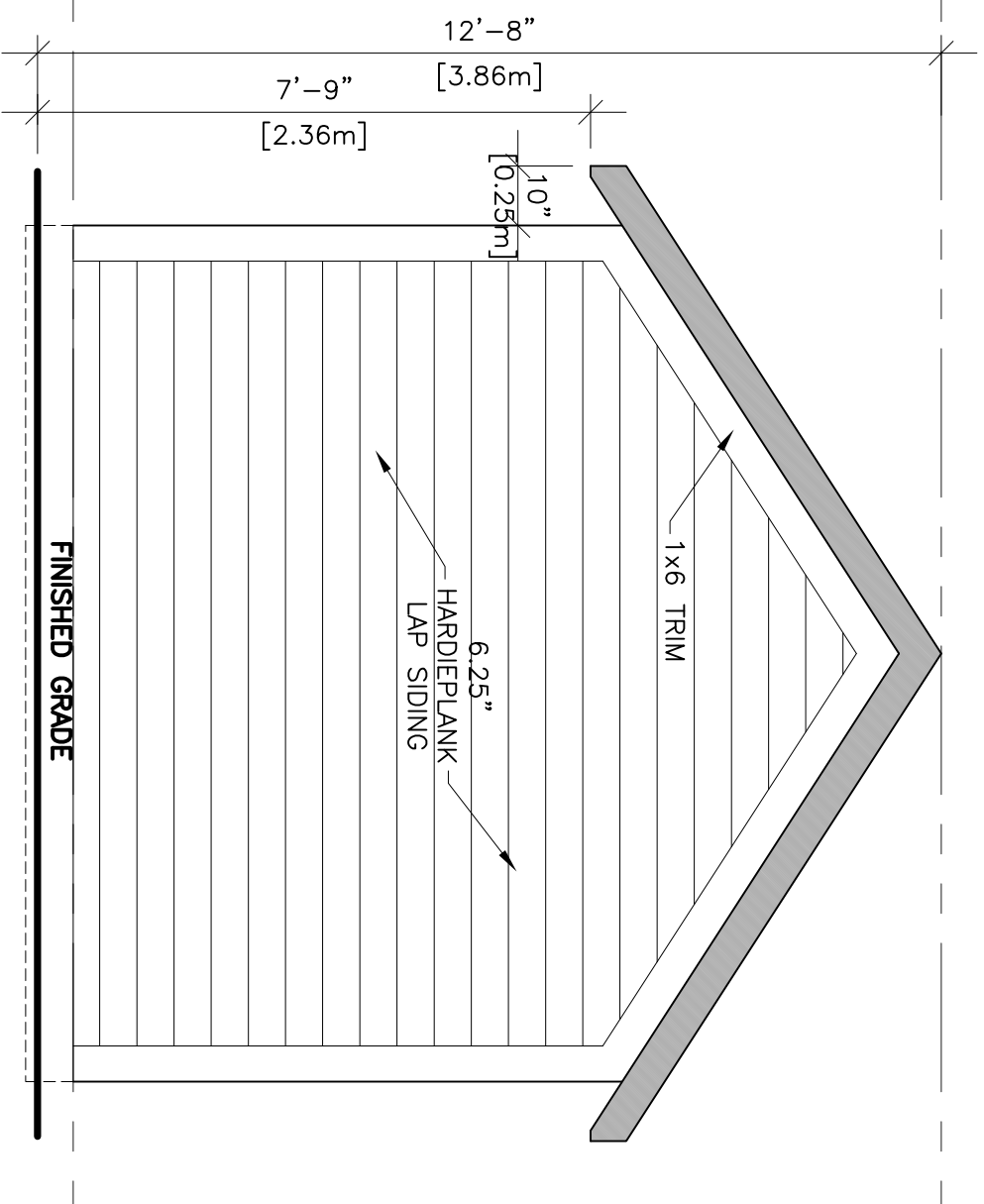


**NEW**  
March 16, 2021

**1 FRONT ELEVATION**  
3/8"=1'-0"



**2 REAR ELEVATION**  
3/8"=1'-0"



**XTX**  
ENGINEERING LTD

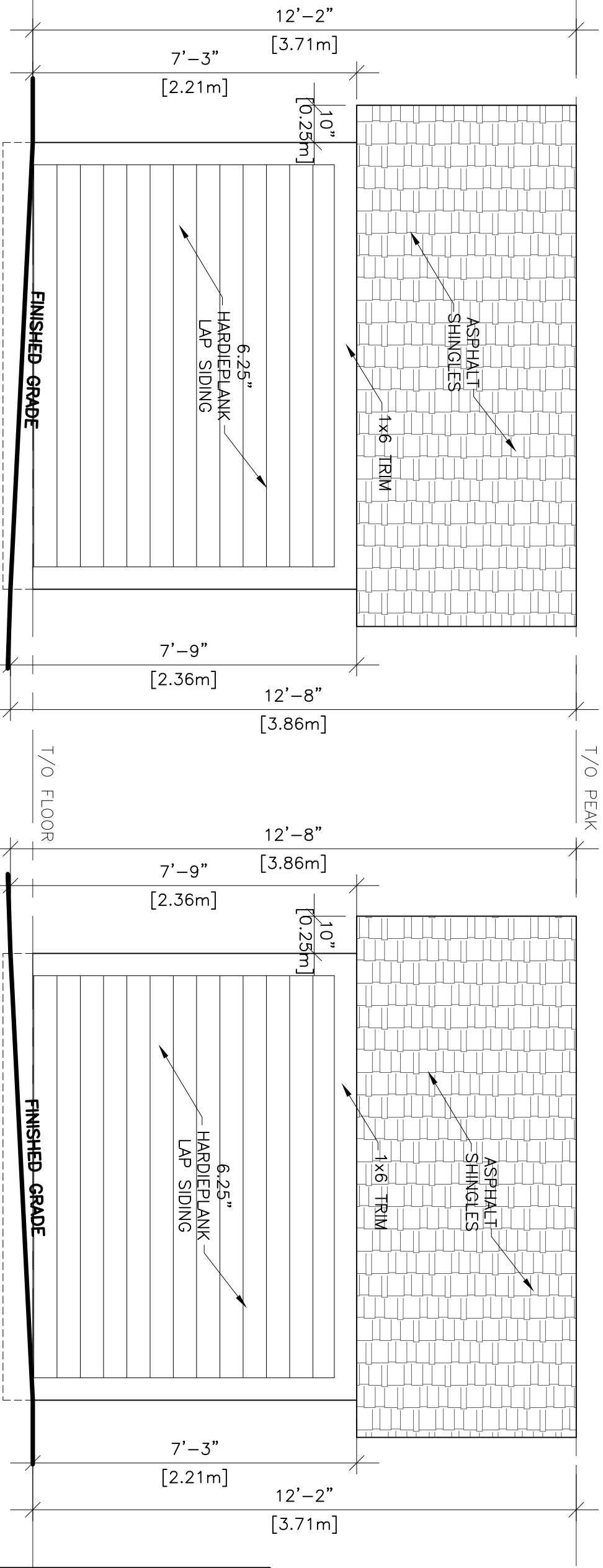
42 GOODMARK PLACE, UNIT#1 TEL: (416) 888-4144  
TORONTO, ON. M9W 6S2 E: onorio@xtxeng.ca

1	MAR 10, 2021	ISSUED FOR CoFA SUBMISSION
REV	DATE:	NOTE:

JOB # | **19-034** | DWG # | **A17**

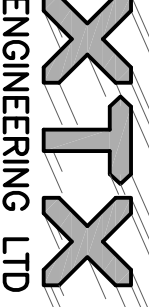
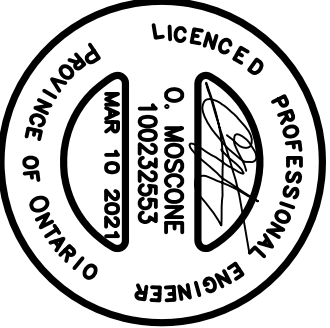
TITLE:  
**SHED ELEVATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

**NEW**  
March 16, 2021



**1** RIGHT ELEVATION  
3/8"=1'-0"

**2** LEFT ELEVATION  
3/8"=1'-0"



42 GOODMARK PLACE, UNIT#1 TEL: (416) 888-4144  
TORONTO, ON. M9W 6S2 E: onorio@xtkeng.ca

REV	DATE:	NOTE:
1	MAR 10, 2021	ISSUED FOR CoFA SUBMISSION

JOB # | 19-034 | DWG # | **A18**

TITLE:  
**SHED ELEVATION**  
20 BELL COURT  
VAUGHAN, ONTARIO

## **Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None**

## **Schedule C: Agency Comments**

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

**Alectra (Formerly PowerStream) – No concerns or objections**

**Region of York – No concerns or objections**

**MTO – Located outside of MTO permit control area**



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

**Providence, Lenore**

---

**Subject:** FW: A040/21 - REQUEST FOR COMMENTS - 20 Bell Ct Kleinburg (Full Circulation)

**From:** Development Services <developmentsservices@york.ca>

**Sent:** March-31-21 3:10 PM

**To:** Providence, Lenore <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A040/21 - REQUEST FOR COMMENTS - 20 Bell Ct Kleinburg (Full Circulation)

Good afternoon Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has **no comment**.

Regards,

*Gabrielle*

**Gabrielle Hurst, MCIP, RPP**

Programs and process Improvement | Community Planning and Development Services | Regional Municipality of York |  
905-830-4444x 71538 [|gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca)



**Providence, Lenore**

---

**Subject:** FW: A040/21 - REQUEST FOR COMMENTS - 20 Bell Ct Kleinburg (Full Circulation)

---

**From:** Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>

**Sent:** March-26-21 10:40 AM

**To:** Providence, Lenore <Lenore.Providence@vaughan.ca>

**Cc:** Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>

**Subject:** [External] Re: A040/21 - REQUEST FOR COMMENTS - 20 Bell Ct Kleinburg (Full Circulation)

Good morning,

This site 20 Bell Ct. is not within MTO permit control area and MTO has no concerns.

**Colin Mulrenin | Corridor Management Officer | York**

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7<sup>th</sup> Floor, Building D | Downsview, Ontario | M3M 0B7

[Colin.Mulrenin@ontario.ca](mailto:Colin.Mulrenin@ontario.ca)

## **Schedule D: Previous Approvals (Notice of Decision)**

**Minor Variance Application A052/14**

# **NOTICE OF DECISION**

## **MINOR VARIANCES**

**FILE NUMBER:** A052/14

**APPLICANT:** DENISE DE CICCO

**PROPERTY:** Part of Lot 25, Concession 8 (Registered Plan 65R-4066) municipally known as 20 Bell court, Kleinburg

**ZONING:** The subject lands are zoned RR, Rural Residential under By-law 1-88 as amended.

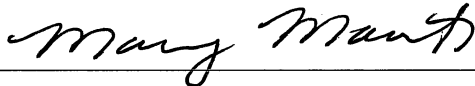
**PURPOSE:** To permit the construction of a single family dwelling, as follows:

**PROPOSAL:** 1. To permit a minimum front yard setback of 8m.  
2. To permit a maximum lot coverage of 14%.

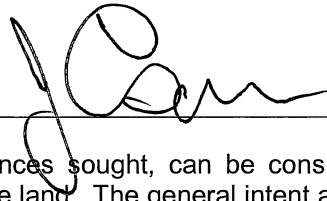
**BY-LAW REQUIREMENT:** 1. Minimum front yard setback 15m.  
2. Maximum lot coverage 10%.

A sketch is attached illustrating the request.

**MOVED BY:**



**SECONDED BY:**



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A052/14**, **DENISE DE CICCO**, be **APPROVED**, in accordance with the sketches attached

**THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.**

**CARRIED.**

CHAIR: *Perrella*

Signed by all members present who concur in this decision:

*Perrella*  
A. Perrella,  
Chair  
*[Signature]*  
L. Fluxgold,  
Member

*[Signature]*  
H. Zheng,  
Vice Chair

*[Signature]*  
J. Cesario,  
Member  
*[Signature]*  
M. Mauti,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

*T. Coles*  
Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

**Date of Hearing: MARCH 27, 2014**  
**Last Date of Appeal: APRIL 16, 2014**

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at [www.omb.gov.on.ca](http://www.omb.gov.on.ca). If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

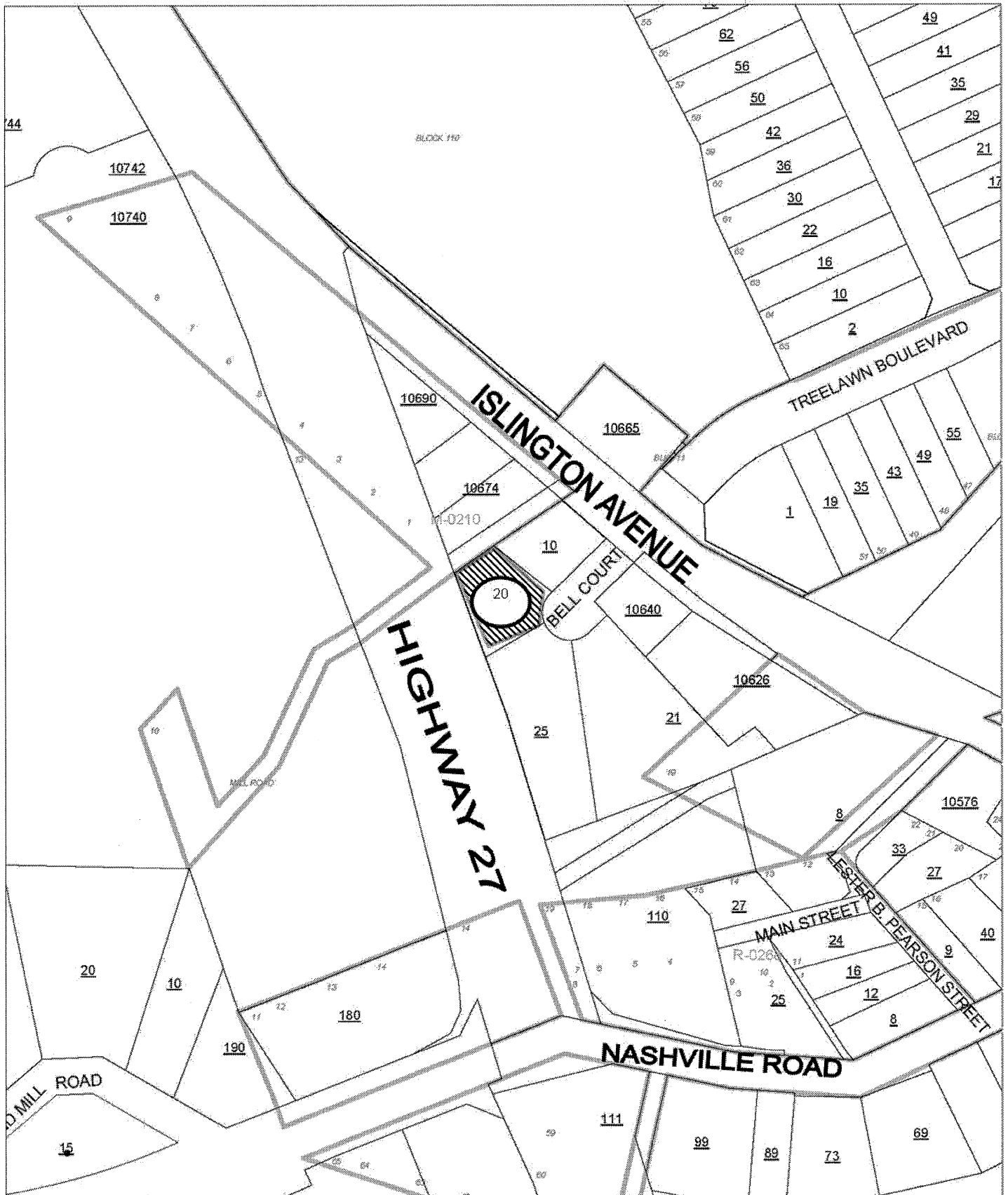
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

**NOTE:** The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**CONDITIONS**

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: **APRIL 16, 2015**





**MAJOR MACKENZIE DRIVE**



COMMITTEE OF ADJUSTMENT  
 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
 Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	<b>A052/14</b>
	APPLICANT:	<b>DENISE DE CICCO</b>
		<b>Subject Area</b> Municipally known as 20 Bell Court, Kleinburg