



File: A108/21

Applicant: Luigi and Nadia Ruffolo

Address: 66 Artist View Avenue, Kleinburg

Agent: Francesco DiSarra

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None)

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Wednesday, June 30, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance
Application

Agenda Item: 9

A108/21

Ward: 1

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Wednesday, June 30, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Luigi and Nadia Ruffolo

Agent: Francesco DiSarra

Property: 66 Artist View Ave, Kleinburg

Zoning: The subject lands are zoned R1 and subject to the provisions of Exception 9(1379) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", subject to Site Specific Policy 13.21: North Humber Extension Area 1.

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum lot coverage of 35% is permitted (Schedule A, By-law 1-88a.a.).	1. To permit a maximum lot coverage of 44.15% (Dwelling- 40.67% + Covered Porch- 3.48%)
2. An interior side yard setback of 1.2 metres is required (Schedule A, By-law 1-88a.a.).	2. To permit a minimum interior side yard setback of 0.9 metres.
3. A minimum rear yard setback of 5.7 metres to the proposed deck is required (Schedule A and Section 3.14, By-law 1-88a.a.).	3. To permit a minimum rear yard setback of 3.79 metres to the proposed deck.
4. A minimum interior side yard setback 1.2 metres to the proposed stairway is required (Schedule A, By-law 1-88a.a.).	4. To permit a minimum interior side yard setback 0.0 metres to the proposed stairway. *Variance removed by applicant to address Development Engineering requirements

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on June 15, 2021

Applicant confirmed posting of signage on June 14, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): The design proposal includes an expansive covered porch at the front and rear side of the property as required by the subdivision's Control Architect. The design does not comply due to the lot configuration. The variance is minor in nature as the design has received tentative approval from the Control Architect and is undergoing review by the Engineers in order to ensure that it meets the standards of the rest of the dwellings in this community. All required setbacks are retained to maintain existing grades and drainage. The 0.9m southern side yard setback is for the cantilevered bay that will not have foundation walls, therefore, not interfere with draining.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", subject to Site Specific Policy 13.21: North Humber Extension Area 1.

The Owner is proposing to construct a two-storey single-family dwelling with the above noted variances. The subject lands are within a site-specific Exception 9(1379) to Zoning By-law 1-88 that permits increases in maximum lot coverage ranging between 35.89% to 41.53%, however, does not include an increase in lot coverage for the subject lands. The requested maximum lot coverage of 44.15% includes the dwelling coverage of 40.67%.

The dwelling coverage remains within the range of increased lot coverages within the neighbourhood. Although the proposed dwelling requires a reduced interior side yard setback of 0.9 m for a small protrusion of the dwelling, the dwelling complies with all other height and setback requirements of the Zoning By-law. The remaining coverage of 3.48% consists of non-livable space in the form of covered porch areas at the front and rear of the dwelling. Overall, the proposed dwelling remains consistent and compatible with the existing dwellings in the neighbourhood. The minimum rear yard setback of 3.79 m to the proposed deck is required for a small portion of the deck due to the angle of the rear lot line. Most of the deck area is compliant with the required 5.7 m rear yard setback. The rear of the subject lands also abuts an Open Space Zone containing a significant woodland feature within the City of Vaughan’s Natural Heritage Network. Policy Planning and Environmental Sustainability staff have confirmed through the review of the application that the proposed works will not impact the feature.

The Development Planning Department therefore has no concern with the requested reduction in rear yard setback to the proposed deck. The subject lands are also partially located within the Toronto and Region Conservation Authority ('TRCA') Regulated Area of the Humber River due to a valley corridor located on the adjacent lands to the west. The TRCA has reviewed the application and are satisfied with the proposed works, on the condition that a permit under Ontario Regulation 166/06 be required for the portion of proposed works located within the Regulated Area.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land. Recommendation: The Development Planning Department recommends approval of the application

Development Engineering:

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for the pool permit.

The Development Engineering (DE) Department does not object to variance application A108/21. subject to the following condition(s):

Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.

Parks Development - Forestry:

No comments received to date.

By-Law and Compliance, Licensing and Permit Services:

No comments received to date

Development Finance:

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Fire Department:

No comments received to date

Schedule A – Plans & Sketches**Schedule B – Public Correspondence**

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

TRCA – comments with conditions

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.
2	TRCA Hamedeh Razavi 416-661-6600 x 5256 hamedeh.razavi@trca.ca	1. The applicant obtains a permit pursuant to Ontario Regulation 166/06 to authorize the proposed pool, pool patio, and soft landscaping at the rear yard. 2. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

Adriana MacPherson

T 905 832 8585 Extension 8360

E CofA@vaughan.ca

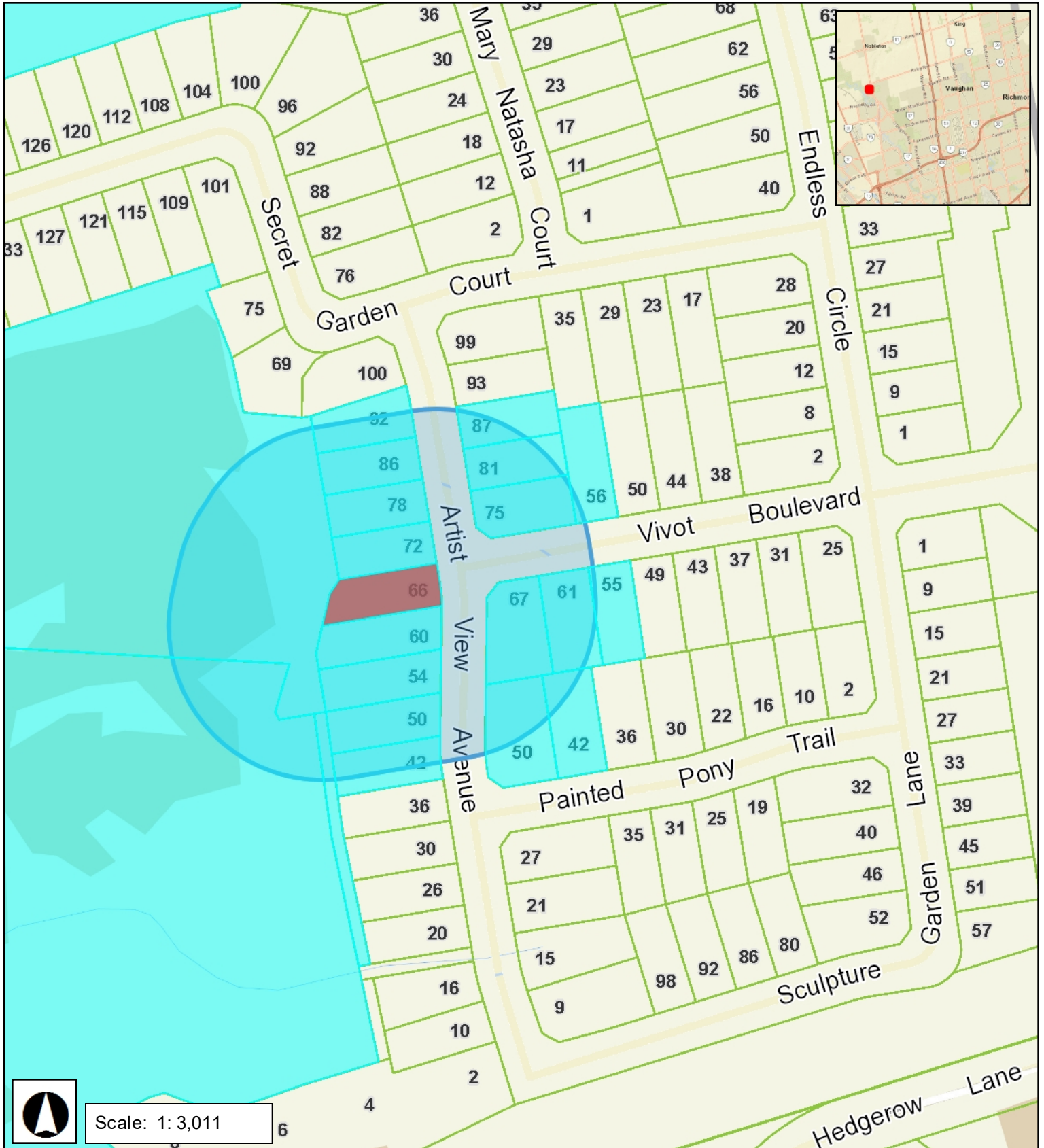
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches

66 Artist View, Kleinburg

Kirby Road



Highway 27

STATISTICS *

ZONING BY-LAW 1-88 *

BY-LAW REQUIREMENT

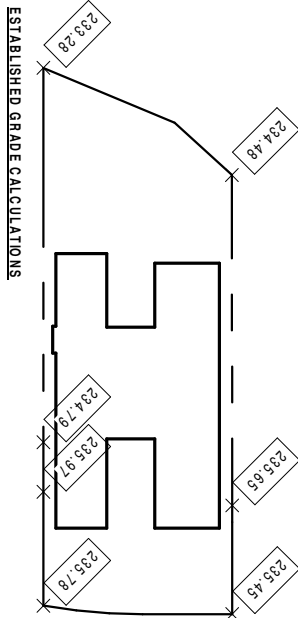
ALLOWED

PROPOSED

VENUE, VAUGHAN ON, L4H 3N5
ED PLAN 65M-4371 19T-03V02
GIONAL MUNICIPALITY OF YORK

S PUMP ROOM)	849.27 m ²	(40.67%)
BACK (NO.)	17.04 m ²	(1.49%)
CK (NO.)	12.82 m ²	(1.49%)
	979.13 m ²	(44.15%)

LOT AREA	720 m ²	858.67 m ² (9242.64 SF)
LOT FRONTAGE	18 m	15.6 m
LOT DEPTH MIN	40 m	48.1 m (exist.)
LOT COVERAGE (INCLUDES PUMP ROOM)	35 %	44.15 % (379.13 m ² , 4080.92 SF)
FRONT YARD (EAST) SETBACK	7.5 m	7.61 m
REAR YARD (WEST) SETBACK	7.5 m	8.43 m
INT. SIDE YARD (SOUTH) SETBACK	1.2 m	0.9 m
INT. SIDE YARD (NORTH) SETBACK	1.2 m	1.2 m
INT. SIDE YARD (NORTH) SETBACK - STAIRS	1.2 m	0 m
EAVES/GUTTERS ENCROACHMENTS	0.5 m	0.45 m
HEIGHT (ABOVE ESTABLISHED GRADE)	10.55 m	9.1 m
DRIVEWAY WIDTH	6.0 m	6.0 m
INT. SIDE YARD SETBACK FOR POOL	1.5 m	2.7 m
UPPER DECK SIDE YARD SETBACK	1.2 m	1.48 m
UPPER DECK REAR YARD SETBACK	5.7 m	3.79 m



ESTABLISHED GRADE CALCULATIONS

AVERAGE GRADE $(234.48 + 235.65 + 235.45 + 235.78 + 235.97 + 234.79 + 233.28) / 7 = 235.08$

LANDSCAPE CALCULATIONS

FRONT YARD

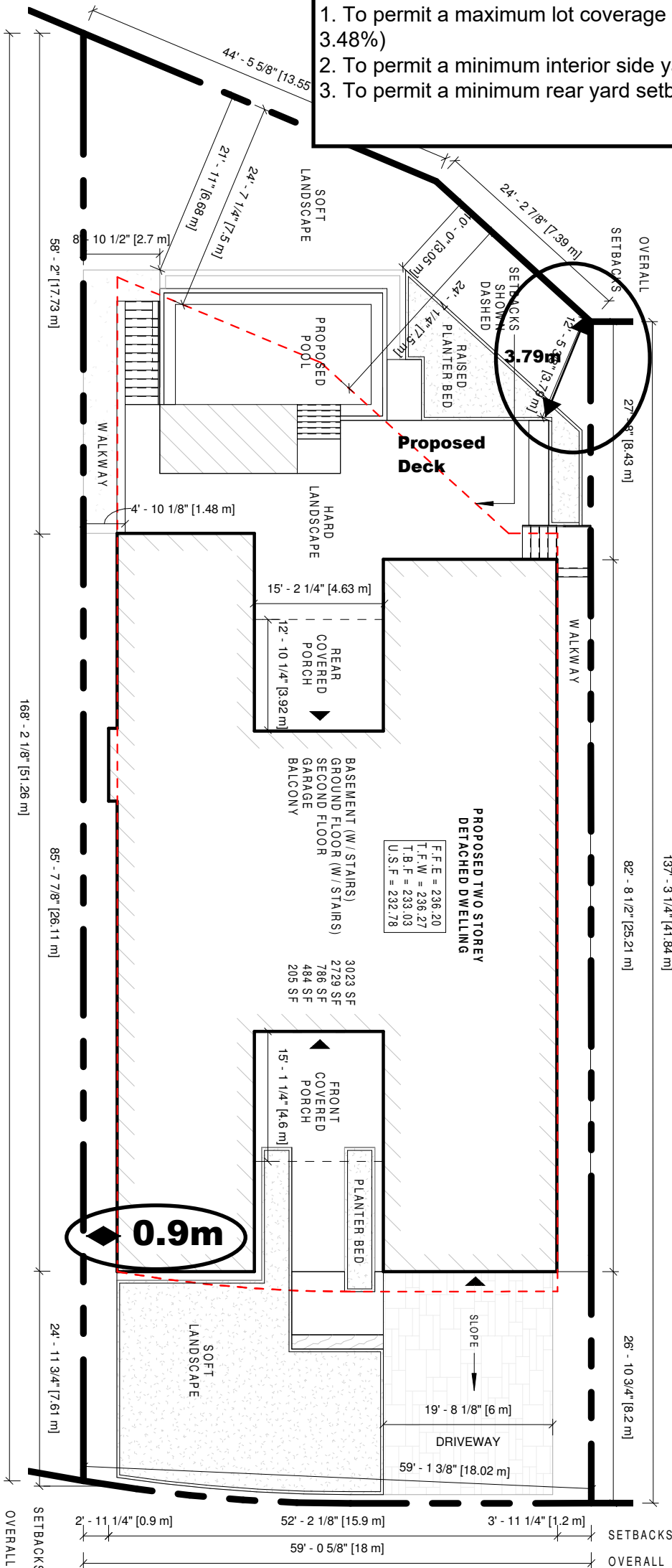
TOTAL FRONT YARD AREA = 163.14m²
MIN. REQUIRED LANDSCAPED AREA
= 163.14m² x 50% = 81.57m²
MIN. REQUIRED SOFTSCAPING
= 81.57m² x 60% = 48.94m²
PROPOSED FRONT YARD SOFTSCAPING
= 52.43m²

REAR YARD

TOTAL REAR YARD AREA = 264.58m²
MIN. REQUIRED SOFTSCAPING
= (264.58m² - 135m²) x 60%
= 28.35m² x 60% = 17.01m²
PROPOSED REAR YARD SOFTSCAPING
= 24.93m²

PROPOSAL:

1. To permit a maximum lot coverage of 44.15% (Dwelling- 40.67% + Covered Porch- 3.48%)
2. To permit a minimum interior side yard setback of 0.9 metres.
3. To permit a minimum rear yard setback of 3.79 metres to the proposed deck.



GENERAL NOTE:

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NO.	DATE	ISSUED FOR
1	2021.05.20	COA



10320 PINE VALLEY DR., VAUGHAN, ON, L3L 0B3
647.749.0557 | FRANK@FRANKFRANCO.COM

66 ARTIST VIEW AVE
VAUGHAN, ON L4H 3N5

PROJECT NO.	
PROJECT MANAGER	FD
DRAWN	TG
CHECKED	FD
SCALE	As indicated

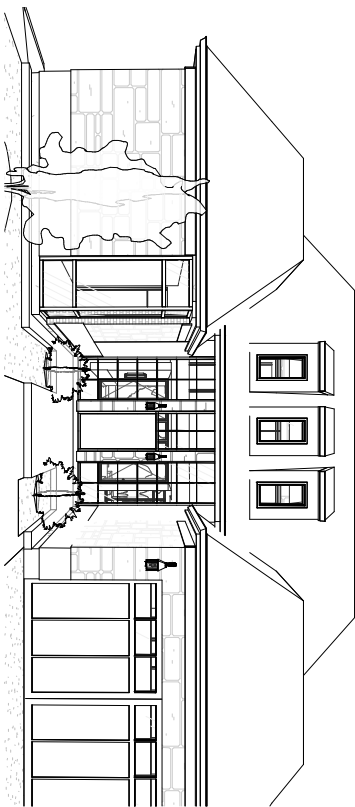
SITE PLAN

A001

MAY 28, 2021

SINGLE FAMILY DWELLING

66 ARTIST VIEW AVENUE, VAUGHAN, ONTARIO



PROJECT PERSONNEL

PRINCIPAL DESIGNER: FRANCESCO DI SARRA

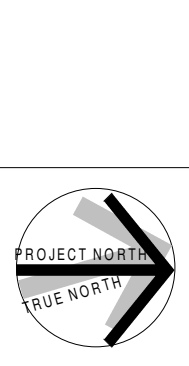
DRAWN BY: TANYA GRADYUK

NO. DRAWING

- A001 SITE PLAN
- A100 BASEMENT FLOOR PLAN
- A101 MAIN FLOOR PLAN
- A102 SECOND FLOOR PLAN
- A103 ROOF PLAN
- A200 ELEVATIONS
- A201 ELEVATIONS
- A202 ELEVATIONS

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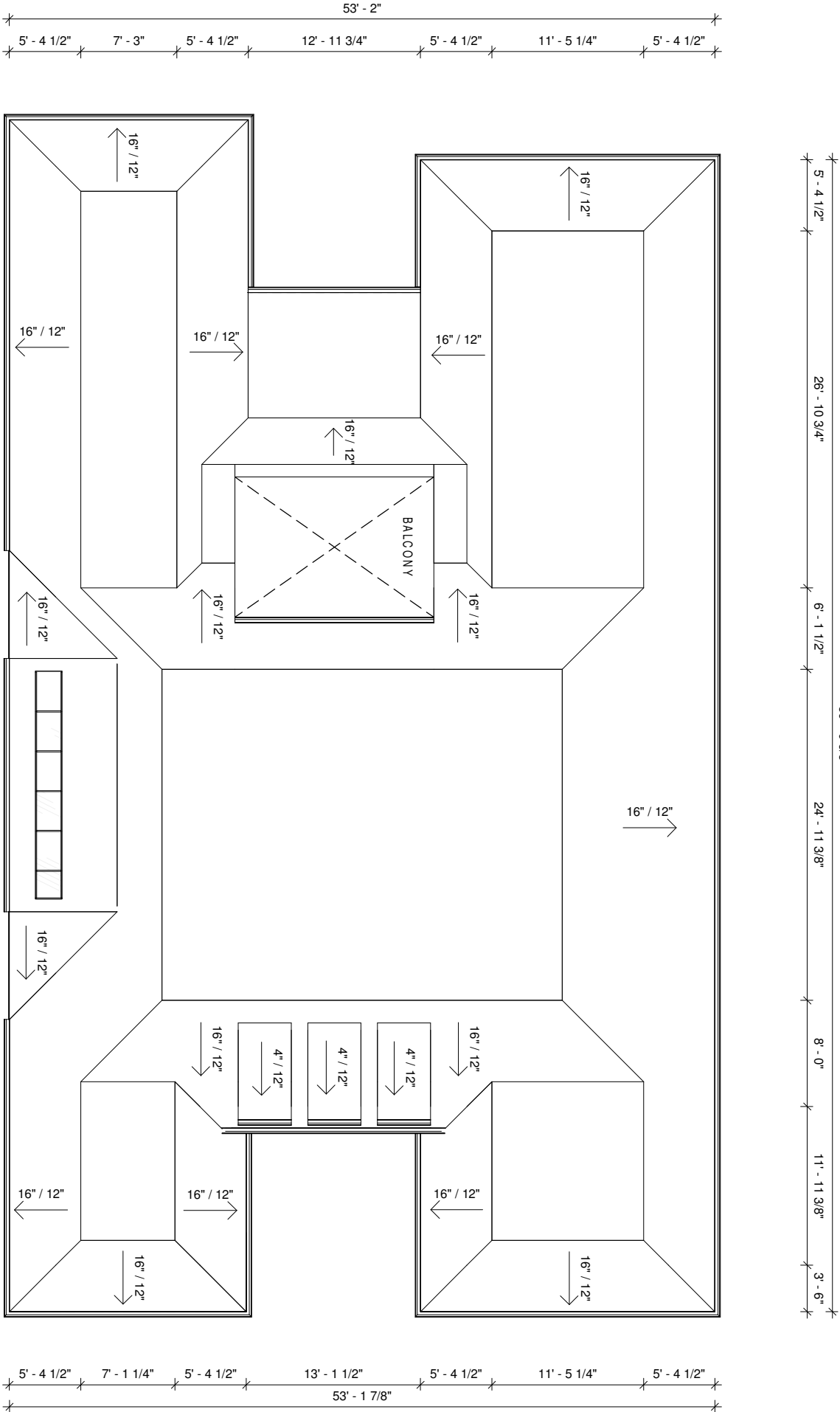
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SCALE	

COVER SHEET

MAY 28, 2021



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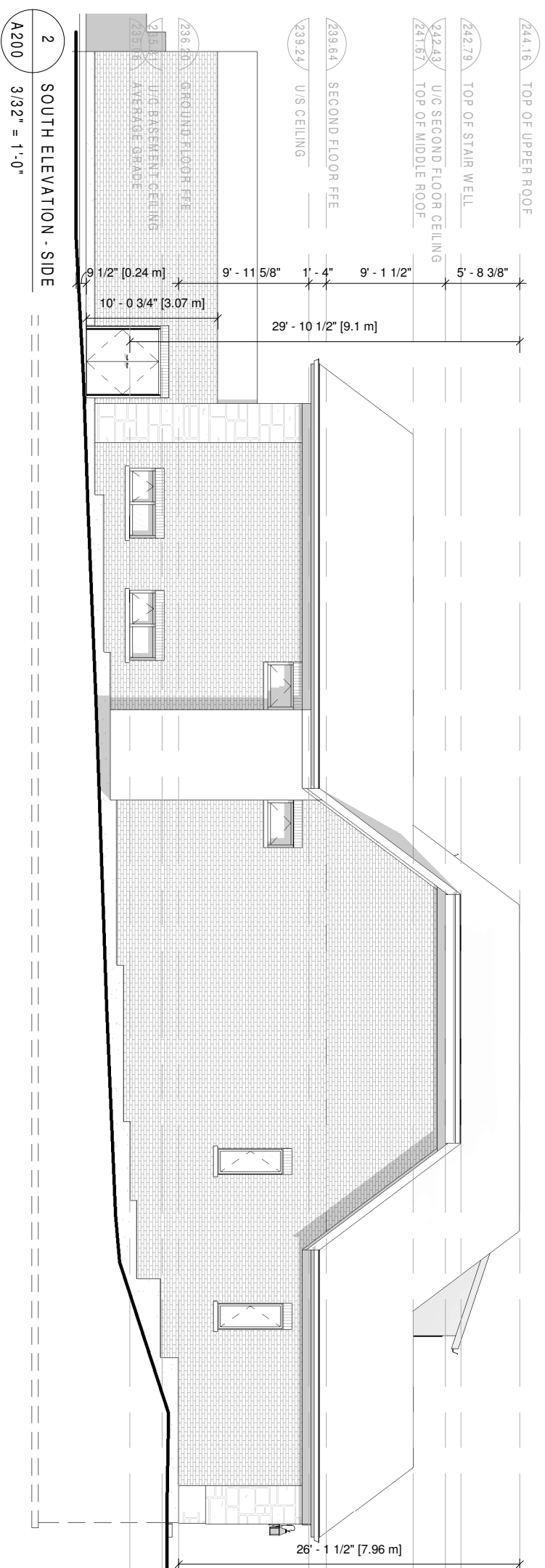
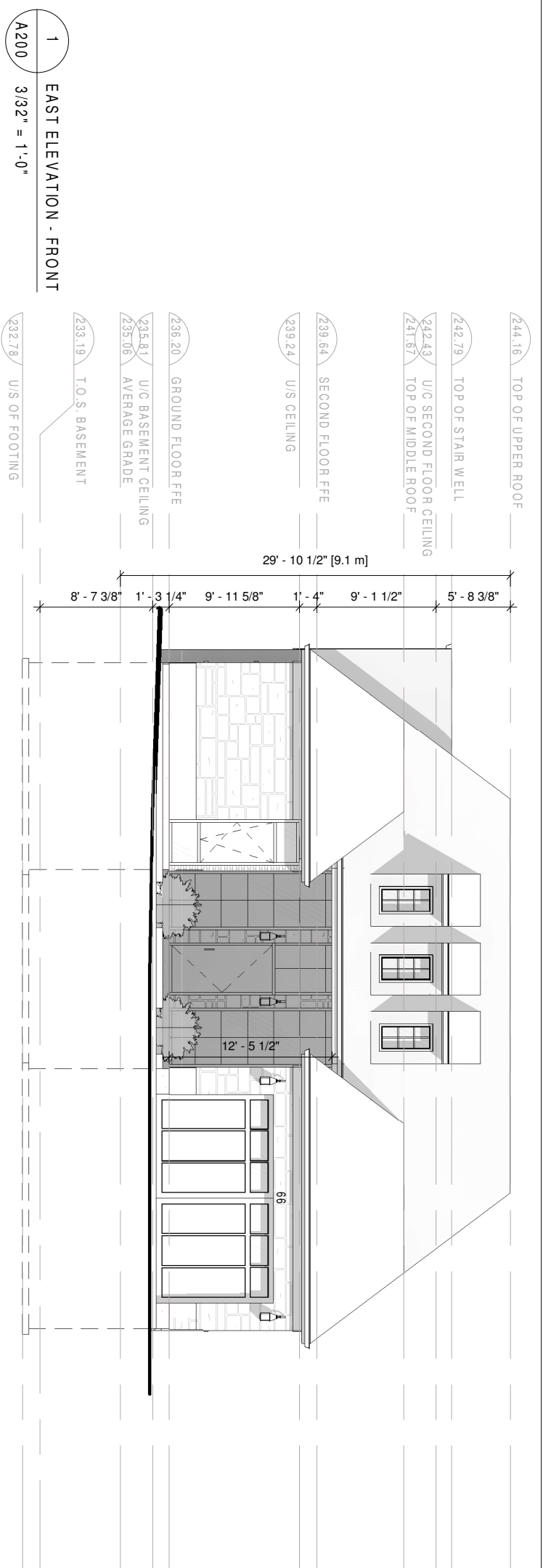
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VAUGHAN, ON L4H 3N5

PROJECT NO.	
PROJECT MANAGER	FD
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CHECKED	FD
SCALE	3/32" = 1'-0"

ROOF PLAN

A103

MAY 28, 2021



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ARCHITECTS

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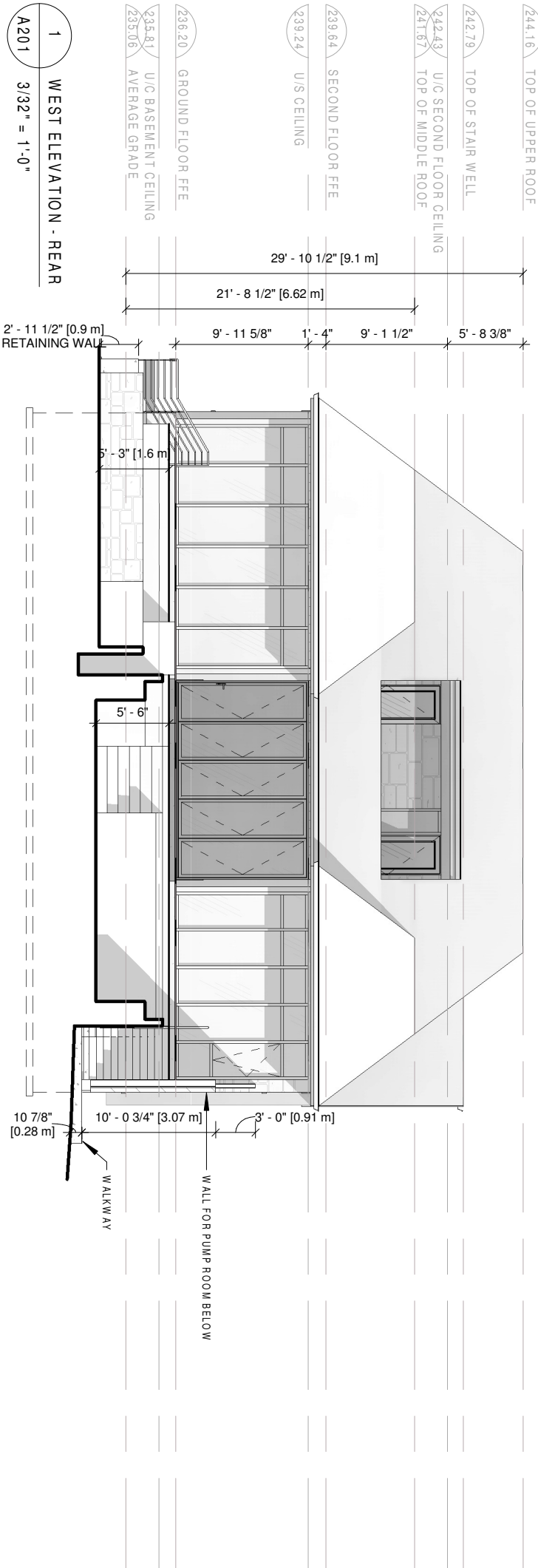
66 ARTIST VIEW AVE
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PROJECT NO.	
PROJECT MANAGER	FD
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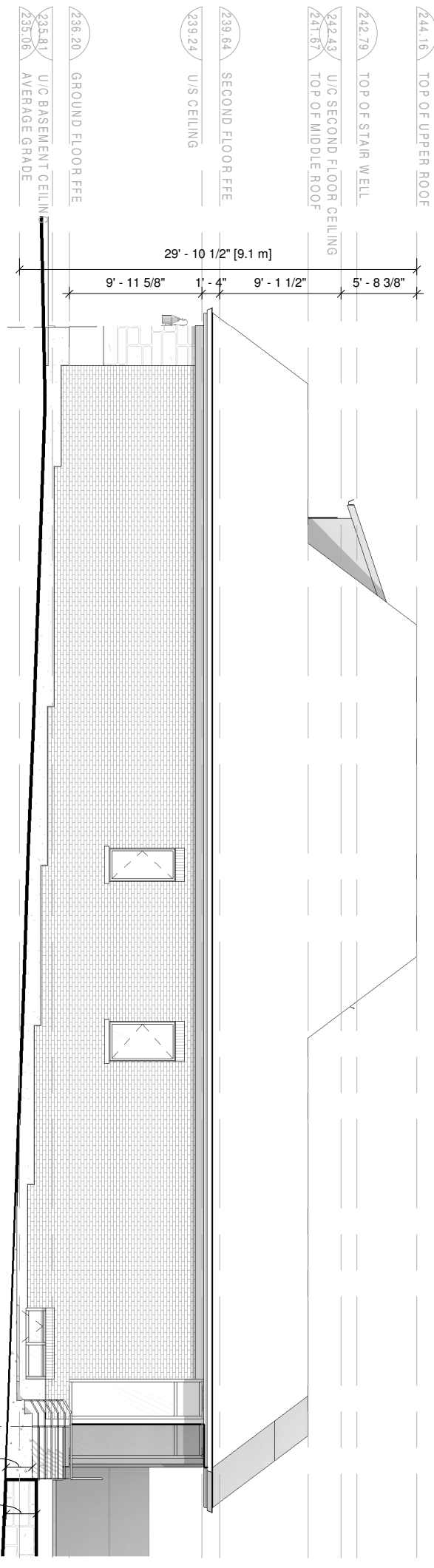
ELEVATIONS

A200

MAY 28, 2021



1 WEST ELEVATION - REAR
A201 3/32" = 1'-0"



2 NORTH ELEVATION - SIDE
A201 3/32" = 1'-0"

GENERAL NOTE:
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NO.	DATE	ISSUED FOR
1	2021.05.20	CoA



10320 PINE VALLEY DR., VAUGHAN, ON, L3L 0B3
647.749.0557 | FRANK@FRANKFRANCO.COM

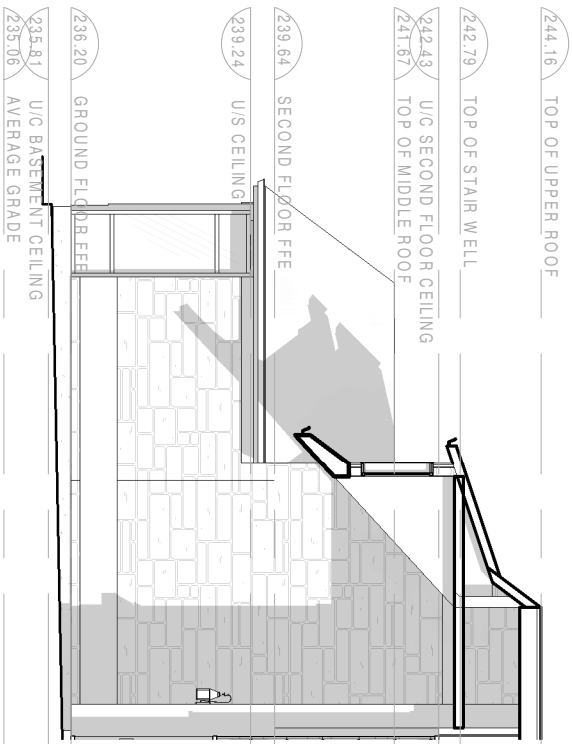
66 ARTIST VIEW AVE
VAUGHAN, ON L4H 3N5

PROJECT NO.	
PROJECT MANAGER	FD
DRAWN	TG
CHECKED	FD
SCALE	3/32" = 1'-0"

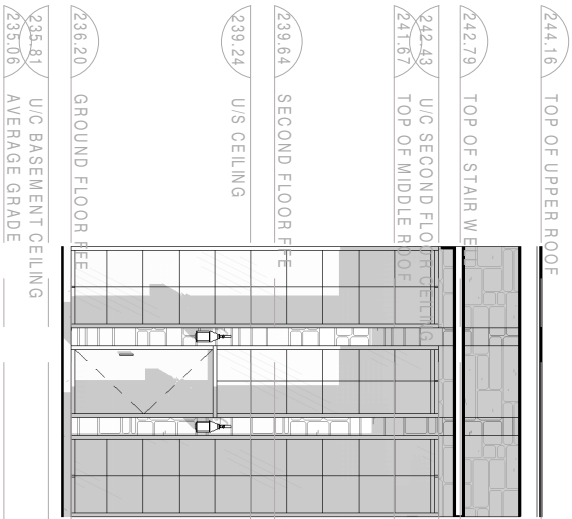
ELEVATIONS

A201

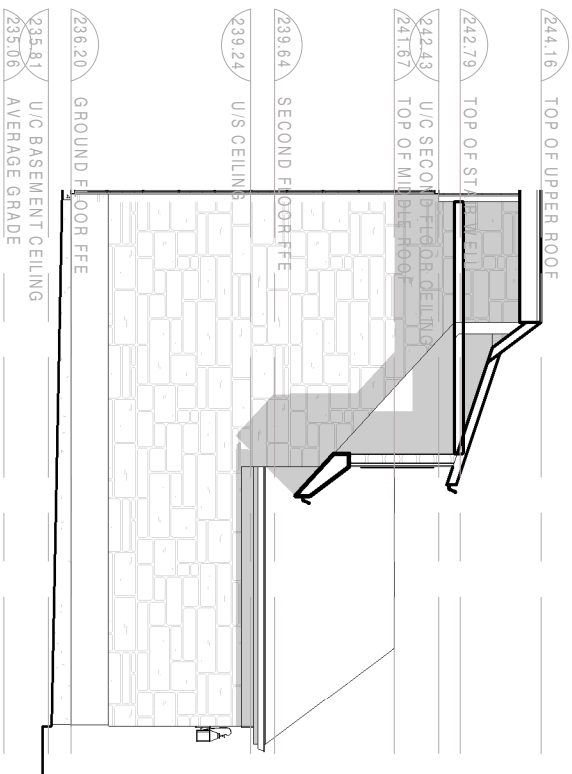
MAY 28, 2021



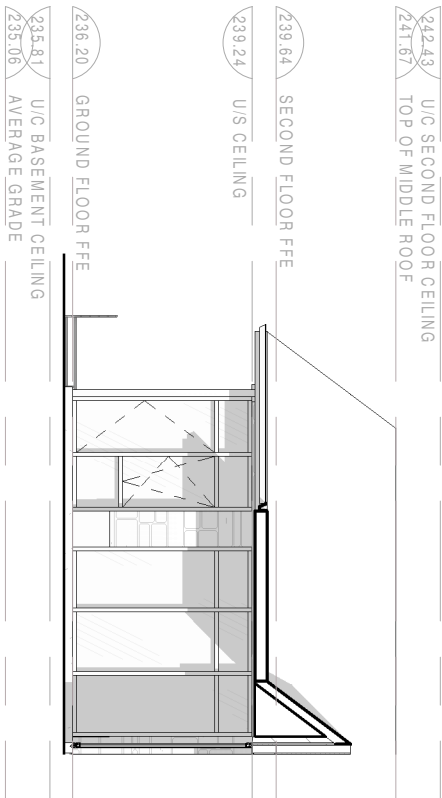
1 SOUTH ELEVATION - MAIN ENTRY
A202 3/32" = 1'-0"



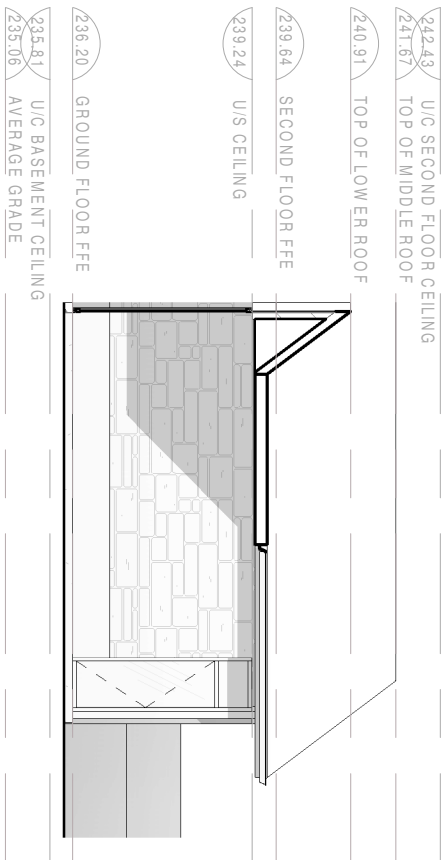
2 EAST ELEVATION - MAIN ENTRY
A202 3/32" = 1'-0"



3 NORTH ELEVATION - MAIN ENTRY
A202 3/32" = 1'-0"



4 NORTH ELEVATION - REAR COURTYARD
A202 3/32" = 1'-0"



5 SOUTH ELEVATION - REAR COURTYARD
A202 3/32" = 1'-0"

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NO.	DATE	ISSUED FOR
1	2021.05.20	CoA



FRANKFRANCO
ARCHITECTS

10320 PINE VALLEY DR., VAUGHAN, ON, L3L 0B3
647.749.0557 | FRANK@FRANKFRANCO.COM

PROJECT NO.	
PROJECT MANAGER	FD
DRAWN	TG
CHECKED	FD
SCALE	3/32" = 1'-0"
ELEVATIONS	

A202

MAY 28, 2021

Legend

- DSE DENOTES DOOR SILL ELEVATION
- GSE DENOTES GARAGE SILL ELEVATION
- EX DENOTES EXISTING
- PROPOSED DENOTES PROPOSED
- PROPOSED ELEVATION DENOTES PROPOSED ELEVATION
- TMG ELEVATION DENOTES TMG ELEVATION
- DOWN SPOUT DENOTES DOWN SPOUT
- DBF DENOTES DOUBLE BOARD FENCE
- BF DENOTES BOARD FENCE
- WIF DENOTES WROUGHT IRON FENCE
- TOP OF RETAINING WALL DENOTES TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL DENOTES BOTTOM OF RETAINING WALL
- NORTH, SOUTH, EAST, WEST DENOTES NORTH, SOUTH, EAST, WEST
- N.S.E.W DENOTES NORTH, SOUTH, EAST, WEST
- EXISTING SWALE DIRECTION DENOTES EXISTING SWALE DIRECTION
- TO BE REMOVED DENOTES TO BE REMOVED
- TBR DENOTES TRENCH DRAIN
- TPB DENOTES TREE PROTECTION BARRIER
- DENOTES TREE PROTECTION ZONE LINE
- DENOTES DRAINAGE DRAINAGE
- DENOTES EX. SWALE HIGH POINT (APPROX.)
- DENOTES DECIDUOUS TREE
- CB DENOTES CATCH BASIN
- DENOTES BELL PEDESTAL
- DENOTES CABLE TV PEDESTAL
- DENOTES STREET LIGHT
- DENOTES SUMP PUMP LOCATION

Notes

1. Dimensions and grade elevations are expressed in S units.
2. The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
3. Underside of footing shown is taken from architectural plans and may not represent actual footing depth.
4. Footings must bear on native, undisturbed soil or rock, and be a minimum of 1.22 m below finished grade.
5. Where rear lot catch-basins are provided, house footings adjacent to the RLCB lead must be lower than the lead. RLCB shall have a minimum of 150 mm concrete encasement from sewer to RLCB.
6. Permissible side yard encroachments (i.e., - A.C. units, Chimneys, gas or hydro meters, water spigots, etc.) may not encroach by more than 0.5 m (entry steps and bay windows 0.3 m) nor be within 1.2 m of any lot line (excluding eaves and gutters).
7. Exterior cladding, thresholds and windows shall be a minimum of 150 mm above finished grade. Where window wells are provided, they must be properly drained and connected to the foundation drain.
8. Slope parameters:
 - Driveways - minimum 1.5% and maximum 8.0%.
 - Swales - minimum 2.0% and maximum 5.0%.
 - Embankments - minimum 3.4% and maximum 5.0%.
 - Front and Rear yards - minimum 2.0% and maximum 5.0%, and grade within 60 m of the dwelling unit of 2% to 5%.
9. Driveways:
 - Gravel - 4 in 200 mm after compaction.
 - Asphalt - 14.3 mm 50 mm after compaction placed with 9 months of occupancy.
 - Concrete - 14.3 mm 25 mm after compaction placed within 1 winter after the HLB.
 - Minimum width 6.0 m.
 - 10. Water service boxes should not be located within 10 m of the edge of driveway. Frost collars are to be provided and installed to City standards where a water service valve box is located in the driveway.
 - 11. The firm or person hiring the sod contractor must ensure that all water boxes are adjusted to sod level and are operational following completion of the works.
 - 12. Topsoil - minimum 100 mm under all turf.
 - 13. Refer to Vaughan Lot Grading Design criteria and bylaws 1-88 and 353-90 for complete requirements.
 - 14. Balder is to verify location of all hydrants, streetlights, transformers, and other services. If minimum dimensions are not maintained, the builder is to relocate them at their own expense.
 - 15. Roof drains to discharge towards front of dwelling unit onto grassed areas via concrete splash pads and not conflict with walkways.
 - 16. Plans shall conform to City of Vaughan Development/Transportation Engineering Department Lot Grading Notes, (revised on December 12, 2016 or newer).

Stairs are re-configured to account for the 1.2m northern side yard setback. No treads within are proposed within the setback.

Waterflow direction Permeable pavers along side yard, shown shaded

Maintain 1m setback from edge of driveway and field verify during construction

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and bylaws in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

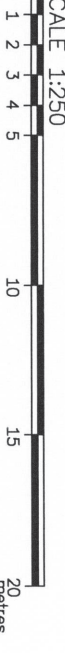
WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING SHOWN ON THIS PLAN IS IN CONFORMITY WITH THE APPROVED SUBDIVISION GRADING PLANS AND CITY STANDARDS. THE MUNICIPAL INFRASTRUCTURE GROUP DATE: 2021-JUNE-9

Revision

1.	06/09/2021	Moved downspouts
2.	MM/DD/YYYY	Description
3.	MM/DD/YYYY	Description

Metric DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

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ertl surveys 2021
Ontario Land Surveyors



GRADING PLAN
No 66 ARTIST VIEW AVENUE
LOT 3
REGISTERED PLAN 65M-4371
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK



March 31st 2021
Date
Lawrence O. Ertl
Ontario Land Surveyor



1234 RED STREET, UNIT 10, RICHMOND HILL L4B 1C1
TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@es-ols.com
DRAWING : ARTIST-VIEW--AVE--66-GRADING.dwg PROJECT : 21106
DESIGN BY LE, DRAWN BY LE, CHECKED BY LE

TMIG (Engineers)

11143 Kleinburg North Subdivision

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- TRCA – comments with conditions

COMMENTS:

- ☐
- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Adriana MacPherson

Subject: FW: A108/21 - Request for Comments (66 Artist View Avenue, Woodbridge)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: June-09-21 3:42 PM

To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A108/21 - Request for Comments (66 Artist View Avenue, Woodbridge)

Good afternoon Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment

Gabrielle

Gabrielle Hurst BAA MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

June 15, 2021

CFN 64195.18

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Ms. Christine Vigneault, Secretary Treasurer
Committee of Adjustment, City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Ms. Vigneault:

Re: Minor Variance Application A108-21
66 Artist View Avenue, PLAN 65M4371 Lot 3
City of Vaughan, Region of York
Owner: Luigi and Nadia Ruffolo
Agent: Francesco Di Sarra c/o Frank Franco Architects

This letter acknowledges receipt of the above noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on June 7, 2021. TRCA staff has reviewed the above noted application, and as per the "Living City Policies for Planning and Development within the Watersheds of the TRCA" (LCP), provides the following comments as part of TRCA's commenting role under the *Planning Act*; the Authority's delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA's Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

Background

It is our understanding that the purpose of the above noted application is to permit the construction of a two-storey detached dwelling, a swimming pool, associated pool patio and soft landscape. Staff understand that the following variances are required:

1. To permit a maximum lot coverage of 44.15%.
2. To permit a minimum interior side yard setback of 0.9 metres.
3. To permit a minimum rear yard setback of 3.79 metres to the proposed deck
4. To permit a minimum interior side yard setback 0.0 metres to the proposed stairway.

Ontario Regulation 166/06

The subject property is partially located within the TRCA's Regulated Area of the Humber River due to a valley corridor located on the adjacent lands to the west. In accordance with *Ontario Regulation 166/06 (Regulation of Development, interference with Wetlands and Alterations to Shorelines and Watercourses)*, development, interference or alteration may be permitted in the Regulated Area where

it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

The rear of the subject property is adjacent to an Open Space block established as part of the Draft Plan of Subdivision 19T-03V02. The valley and stream corridor limits were delineated through the subdivision process, appropriate buffers were applied, and a portion of lands were conveyed to TRCA.

TRCA previously provided correspondence to the proponent clearing the construction of the proposed two-storey dwelling on May 19, 2021. Based on a review of the plans submitted with this variance application, TRCA is satisfied that the noted works are consistent with the plans previously reviewed and cleared. As such, TRCA has no concerns with the proposed variances.

That being said, a permit under Ontario Regulation 166/06 will be required for the portion of the proposed works located within the Regulated Area (i.e., pool, pool patio, and soft landscaping). A list of TRCA's permit requirements has been provided in Appendix 'A' for the applicant's reference.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$610.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendation

Based on the above, TRCA staff have **no objection** to the approval of Minor Variance Application A108-21, subject to the following condition:

1. The applicant obtains a permit pursuant to Ontario Regulation 166/06 to authorize the proposed pool, pool patio, and soft landscaping at the rear yard.
2. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

TRCA trusts these comments are of assistance. Should you have any questions, please contact the undersigned at extension 5256 or at Hamedeh.Razavi@trca.ca

Sincerely,



Hamedeh Razavi
Planner I
Development Planning and Permits

HR/mh

C: Holyday, Margaret Margaret.Holyday@vaughan.ca
Simbana, Roberto Roberto.Simbana@vaughan.ca
Torres, Michael Michael.Torres@vaughan.ca

Appendix 'A': TRCA Permit Requirements

In order to initiate the permit review process for the proposed minor works at the rear yard, the following materials must be submitted (digitally) to TRCA:

1. Complete Application for Development, Interference with Wetlands & Alterations to Shorelines & Watercourses (Residential/Development Projects) (Pursuant to Ontario Regulation 166/06).
2. The following plans/drawings:
 - Site Plan showing the dimensions and location (distance to the property lines) of proposed works;
 - Grading Plan showing existing and proposed grades. If grades will remain unchanged, please add a note to site plan;
 - Landscape Plan. Species should be native to TRCA's jurisdiction and compatible with adjacent forest. For native species within TRCA jurisdiction, please see species ranked L1 to L5 on the following table: https://s3-ca-central-1.amazonaws.com/trcaca/app/uploads/2019/07/08142613/2019_Flora_Ranks_Scores.pdf; and,
 - Erosion and Sediment Control Plan.
3. The Legal Survey
4. Permit review fee of \$495.00 (Works on Private Residential Property – Minor)