

File: A112/21

Applicant: Caterina Nappi & Vincenzo Imparato

Address: 16 Woodland Trail Ct Woodbridge

Agent: Frasca Design & Planning Inc.

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment <input checked="" type="checkbox"/> Negative Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Wednesday, June 30, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance
Application

Agenda Item: 11

A112/21

Ward: 2

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Wednesday, June 30, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Caterina Nappi & Vincenzo Imperato

Agent: Frasca Design & Planning Inc.

Property: 16 Woodland Trail Ct Woodbridge

Zoning: The subject lands are zoned R3 9(978) and subject to the provisions of Exception under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana and pool equipment to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 7.5m is required. (Schedule T.105)	1. To permit a minimum rear yard setback of 0.93 for the proposed accessory structure (Cabana).
2. A maximum encroachment of 1.5m into the rear yard is permitted for the pool equipment. (3.14.H)	2. To permit a maximum rear yard encroachment of 6.57m for the proposed pool equipment.
3. A minimum interior side yard setback of 1.2m is required. (Schedule T.105)	3. To permit a minimum side yard setback of 0.61 for the proposed accessory structure (Cabana).

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on June 15, 2021

Applicant confirmed posting of signage on June 9, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1997/1998 (Purchased 2009)

Applicant has advised that they cannot comply with By-law for the following reason(s): Setbacks seem to be too restrictive for a cabana.

Adjournment Request: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

Building Permit No. 21-106635 for Single Detached Dwelling - Alteration, Issue Date: Apr 28, 2021

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No response

Development Planning:

Official Plan: City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is proposing to construct a cabana, pool and pool equipment in the rear yard of the subject lands with the above-noted variances.

The proposed cabana with a minimum rear yard setback of 0.93 m and interior side yard setback of 0.61 m is considered appropriate for the subject lands. The rear yard setback is measured to an uncovered and partially enclosed portion of the cabana that contains the pool equipment and shower area and is at a lower height than the main structure. With a sizeable rear yard setback of 4 m measured to the main wall of the cabana, visibility of the cabana from Islington Avenue is limited. An area of soft landscaping located between the cabana and the interior lot line addresses concerns with drainage along the side yard.

Variance 2 for the requested maximum rear yard encroachment of 6.57 m to the proposed pool equipment is considered minor in nature. The rear yard setback for the pool equipment is effectively measured at 0.93 m from the rear yard. The location of the enclosed pool equipment in the rear yard instead of the typical location in the interior side yard will have less of an impact on neighbouring dwellings.

In support of the application, the Owner has submitted a Tree Inventory and Preservation Plan Report prepared by Kuntz Forestry Consulting Inc. on April 23, 2021 and revised on June 14, 2021. The report inventoried a total of 12 trees, with the removal of one tree proposed. The Urban Design Division has reviewed the report and concurs with its recommendations.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A112/21 subject to the following condition(s):

The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

Parks Development - Forestry:

No comment no concerns subject to following conditions:

Applicant/Agent must obtain a permit from the Forestry Division for Protection Only. And install approved tree protection as per the attached arborist report and tree preservation plan from Kuntz Forestry.

By-Law and Compliance, Licensing and Permit Services:
No comment no concerns

Development Finance:
No comment no concerns

Fire Department:
No comments received to date

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: None

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations Patrick Courchesne 905-832-8585 x 3617 Patrick.Courchesne@vaughan.ca	Applicant/Agent must obtain a permit from the Forestry Division for Protection Only. And install approved tree protection as per the attached arborist report and tree preservation plan from Kuntz Forestry.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

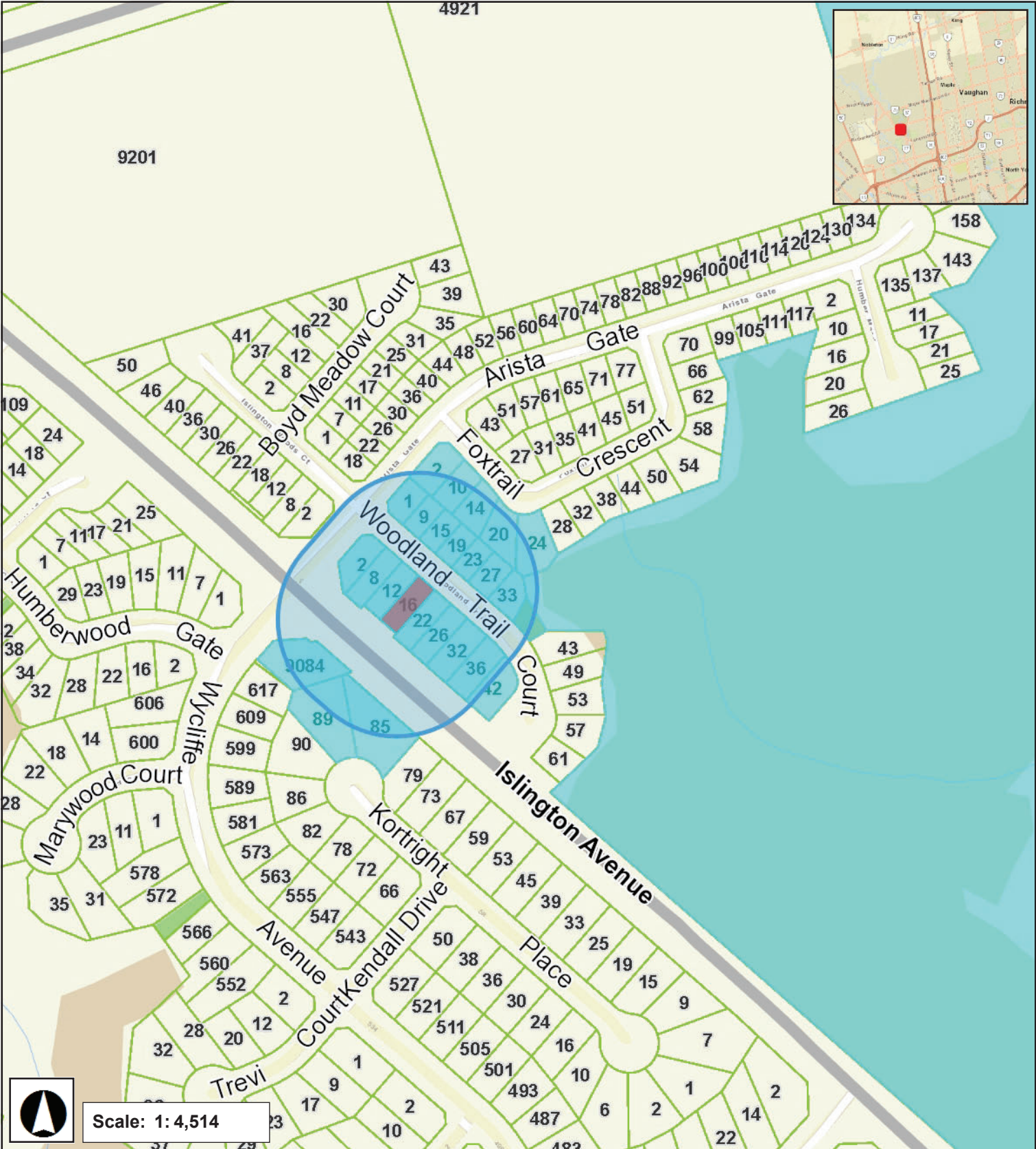
Location Map
Plans & Sketches



LOCATION MAP - A112/21

16 WOODLAND TRAIL CRT, WOODBRIDGE

Rutherford Road



Langstaff Road

June 8, 2021 2:52 PM

SKETCH SHOWING TOPOGRAPHY OF
LOT 4

REGISTERED PLAN 65M-3231

CITY OF VAUGHAN

REGIONAL MUNICIPALITY OF YORK

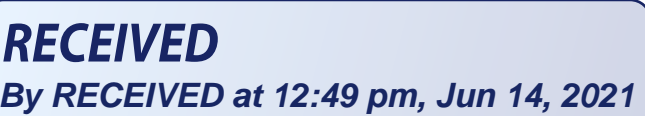
**SITE INFORMATION TAKEN FROM
PLAN OF SURVEY PREPARED BY:**

GUIDO PAPA SURVEYING

MAR 3, 2021

<u>PROPOSED</u> POOL EQUIPMENT	<u>PROPOSED</u> SHOWER AREA
<p>1. Pool Equipment</p> <p>2. Pool Equipment</p> <p>3. Pool Equipment</p> <p>4. Pool Equipment</p> <p>5. Pool Equipment</p> <p>6. Pool Equipment</p> <p>7. Pool Equipment</p> <p>8. Pool Equipment</p> <p>9. Pool Equipment</p> <p>10. Pool Equipment</p> <p>11. Pool Equipment</p> <p>12. Pool Equipment</p> <p>13. Pool Equipment</p> <p>14. Pool Equipment</p> <p>15. Pool Equipment</p> <p>16. Pool Equipment</p> <p>17. Pool Equipment</p> <p>18. Pool Equipment</p> <p>19. Pool Equipment</p> <p>20. Pool Equipment</p> <p>21. Pool Equipment</p> <p>22. Pool Equipment</p> <p>23. Pool Equipment</p> <p>24. Pool Equipment</p> <p>25. Pool Equipment</p> <p>26. Pool Equipment</p> <p>27. Pool Equipment</p> <p>28. Pool Equipment</p> <p>29. Pool Equipment</p> <p>30. Pool Equipment</p> <p>31. Pool Equipment</p> <p>32. Pool Equipment</p> <p>33. Pool Equipment</p> <p>34. Pool Equipment</p> <p>35. Pool Equipment</p> <p>36. Pool Equipment</p> <p>37. Pool Equipment</p> <p>38. Pool Equipment</p> <p>39. Pool Equipment</p> <p>40. Pool Equipment</p> <p>41. Pool Equipment</p> <p>42. Pool Equipment</p> <p>43. Pool Equipment</p> <p>44. Pool Equipment</p> <p>45. Pool Equipment</p> <p>46. Pool Equipment</p> <p>47. Pool Equipment</p> <p>48. Pool Equipment</p> <p>49. Pool Equipment</p> <p>50. Pool Equipment</p> <p>51. Pool Equipment</p> <p>52. Pool Equipment</p> <p>53. Pool Equipment</p> <p>54. Pool Equipment</p> <p>55. Pool Equipment</p> <p>56. Pool Equipment</p> <p>57. Pool Equipment</p> <p>58. Pool Equipment</p> <p>59. Pool Equipment</p> <p>60. Pool Equipment</p> <p>61. Pool Equipment</p> <p>62. Pool Equipment</p> <p>63. Pool Equipment</p> <p>64. Pool Equipment</p> <p>65. Pool Equipment</p> <p>66. Pool Equipment</p> <p>67. Pool Equipment</p> <p>68. Pool Equipment</p> <p>69. Pool Equipment</p> <p>70. Pool Equipment</p> <p>71. Pool Equipment</p> <p>72. Pool Equipment</p> <p>73. Pool Equipment</p> <p>74. Pool Equipment</p> <p>75. Pool Equipment</p> <p>76. Pool Equipment</p> <p>77. Pool Equipment</p> <p>78. Pool Equipment</p> <p>79. Pool Equipment</p> <p>80. Pool Equipment</p> <p>81. Pool Equipment</p> <p>82. Pool Equipment</p> <p>83. Pool Equipment</p> <p>84. Pool Equipment</p> <p>85. Pool Equipment</p> <p>86. Pool Equipment</p> <p>87. Pool Equipment</p> <p>88. Pool Equipment</p> <p>89. Pool Equipment</p> <p>90. Pool Equipment</p> <p>91. Pool Equipment</p> <p>92. Pool Equipment</p> <p>93. Pool Equipment</p> <p>94. Pool Equipment</p> <p>95. Pool Equipment</p> <p>96. Pool Equipment</p> <p>97. Pool Equipment</p> <p>98. Pool Equipment</p> <p>99. Pool Equipment</p> <p>100. Pool Equipment</p>	<p>1. Shower Area</p> <p>2. Shower Area</p> <p>3. Shower Area</p> <p>4. Shower Area</p> <p>5. Shower Area</p> <p>6. Shower Area</p> <p>7. Shower Area</p> <p>8. Shower Area</p> <p>9. Shower Area</p> <p>10. Shower Area</p> <p>11. Shower Area</p> <p>12. Shower Area</p> <p>13. Shower Area</p> <p>14. Shower Area</p> <p>15. Shower Area</p> <p>16. Shower Area</p> <p>17. Shower Area</p> <p>18. Shower Area</p> <p>19. Shower Area</p> <p>20. Shower Area</p> <p>21. Shower Area</p> <p>22. Shower Area</p> <p>23. Shower Area</p> <p>24. Shower Area</p> <p>25. Shower Area</p> <p>26. Shower Area</p> <p>27. Shower Area</p> <p>28. Shower Area</p> <p>29. Shower Area</p> <p>30. Shower Area</p> <p>31. Shower Area</p> <p>32. Shower Area</p> <p>33. Shower Area</p> <p>34. Shower Area</p> <p>35. Shower Area</p> <p>36. Shower Area</p> <p>37. Shower Area</p> <p>38. Shower Area</p> <p>39. Shower Area</p> <p>40. Shower Area</p> <p>41. Shower Area</p> <p>42. Shower Area</p> <p>43. Shower Area</p> <p>44. Shower Area</p> <p>45. Shower Area</p> <p>46. Shower Area</p> <p>47. Shower Area</p> <p>48. Shower Area</p> <p>49. Shower Area</p> <p>50. Shower Area</p> <p>51. Shower Area</p> <p>52. Shower Area</p> <p>53. Shower Area</p> <p>54. Shower Area</p> <p>55. Shower Area</p> <p>56. Shower Area</p> <p>57. Shower Area</p> <p>58. Shower Area</p> <p>59. Shower Area</p> <p>60. Shower Area</p> <p>61. Shower Area</p> <p>62. Shower Area</p> <p>63. Shower Area</p> <p>64. Shower Area</p> <p>65. Shower Area</p> <p>66. Shower Area</p> <p>67. Shower Area</p> <p>68. Shower Area</p> <p>69. Shower Area</p> <p>70. Shower Area</p> <p>71. Shower Area</p> <p>72. Shower Area</p> <p>73. Shower Area</p> <p>74. Shower Area</p> <p>75. Shower Area</p> <p>76. Shower Area</p> <p>77. Shower Area</p> <p>78. Shower Area</p> <p>79. Shower Area</p> <p>80. Shower Area</p> <p>81. Shower Area</p> <p>82. Shower Area</p> <p>83. Shower Area</p> <p>84. Shower Area</p> <p>85. Shower Area</p> <p>86. Shower Area</p> <p>87. Shower Area</p> <p>88. Shower Area</p> <p>89. Shower Area</p> <p>90. Shower Area</p> <p>91. Shower Area</p> <p>92. Shower Area</p> <p>93. Shower Area</p> <p>94. Shower Area</p> <p>95. Shower Area</p> <p>96. Shower Area</p> <p>97. Shower Area</p> <p>98. Shower Area</p> <p>99. Shower Area</p> <p>100. Shower Area</p>

0" / [0.0]



A112/21

SITE PLAN
SCALE 1:125

Project #:

21004

CONSTRUCTION

NORTH

FRASCA
Design & Planning

Residential - Retail - Commercial

2781 HIGHWAY 7, SUITE 201 VAUGHAN, ON, L4K 1W1 416.272.2022
201ogiorio@gmail.com & giorio@frascadesignandplanning.com

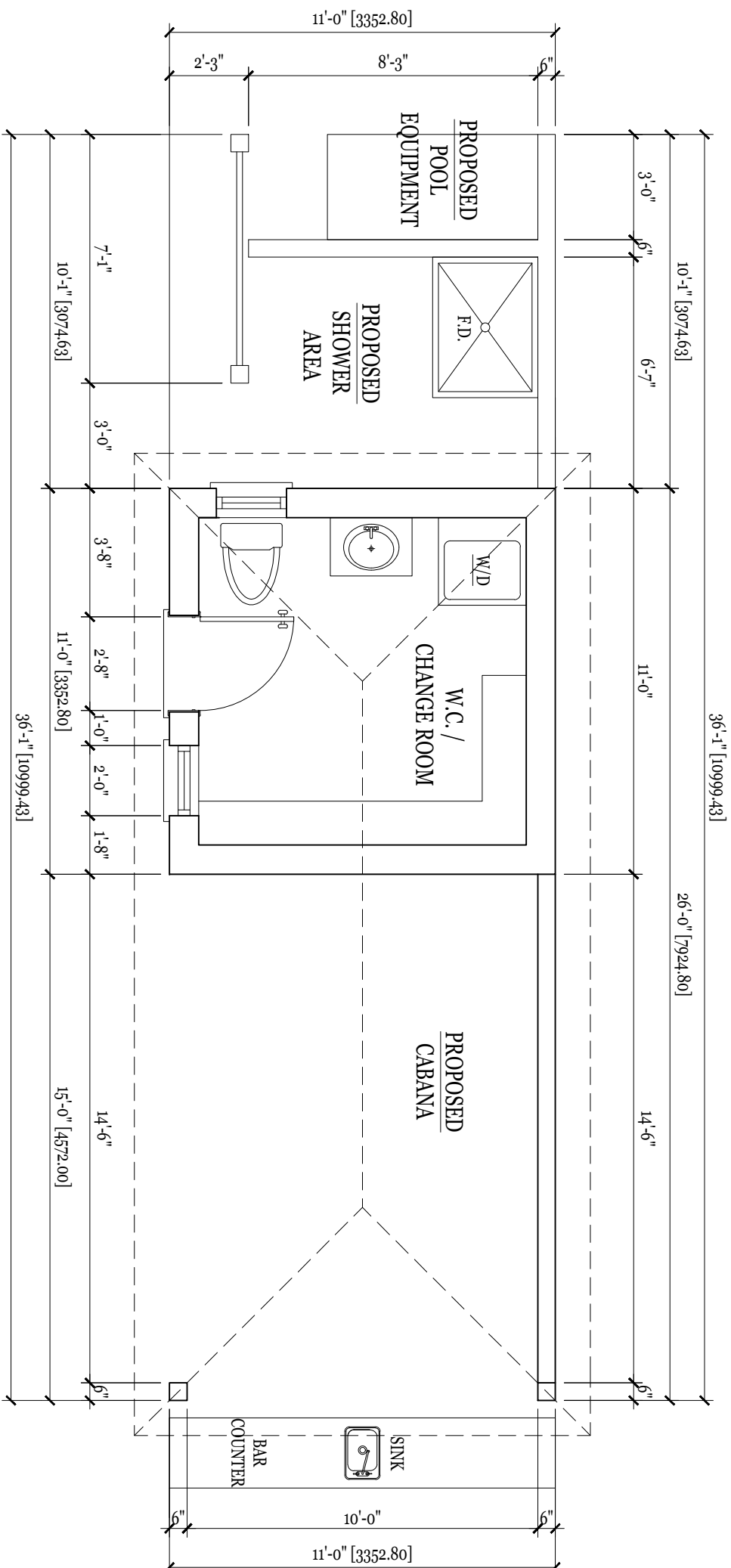
SITE DATA			
ACCESSORY STRUCTURES			
CITY OF VAUGHAN			
ZONING	R3		
LOT	506.62 SM (EXISTING) (5,453.27 SF)		
	PERMITTED	PROPOSED	
LOT COVERAGE*	N/A		
ACCESSORY STRUCTURE			
SIDE SETBACK (NORTH)	1.2 M	0.61 M	
SIDE SETBACK (SOUTH)	1.2 M	9.7 M	
REAR SETBACK (WEST)	7.5 M	0.93 M	
MAX. HEIGHT (TO ROOF PEAK)	4.5 M	3.63 M	
POOL EQUIPMENT (ENCROACHMENT INTO REAR YARD)	1.5 M	6.57 M	
*1 LOT COVERAGE NOT APPLICABLE AS PER EXCEPTION 9(9/78) - T105 SCHEDULE UNDER BY LAW 1-88			
SITE AREAS			
	EXISTING	PROPOSED	LOT COVERAGE
1. EXISTING DWELLING & GARAGE	147.57 SM (1,588.43 SF)	-	29.13%
2. COVERED PORCH	40.10 SM (431.62 SF)	-	7.91%
3. PROPOSED CABANA	-	26.57 SM (286.00 SF)	5.24%
TOTAL LOT COVERAGE (1+2+3) PERMITTED LOT COVERAGE <u>N/A</u>			42.28 %

REAR YARD		
	PERMITTED	AREAS
TOTAL REAR YARD AREA	-	257.99 SM (2,777.06 SF)
SOFT LANDSCAPING *	60% (MIN.) OF LANDSCAPED AREA IN EXCESS OF .135 SM <u>SOFT LANDSCAPING 73.79</u>	<u>SOD</u> 74.15 SM (798.18 SF)
* SOFT LANDSCAPING INCLUDES ONLY SOD		

PROPOSED CABANA	
Project:	Project #:
16 WOODLAND TRAIL CT., WOODBIDGE, ON, L4L 9H9	21004

2.	REVISION FOR CoFA (08)	MAY 17, 2021	RP
1.	ISSUED FOR CoFA (04)	APRIL 1, 2021	EB
No.	Description	Date	By

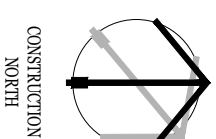
SITE STATISTICS	1
SCALE N.T.S	A1.1



PROPOSED
CABANA

Project:	Project #:
16 WOODLAND TRAIL CT, WOODBRIIDGE, ON, L4L 9H9	21004

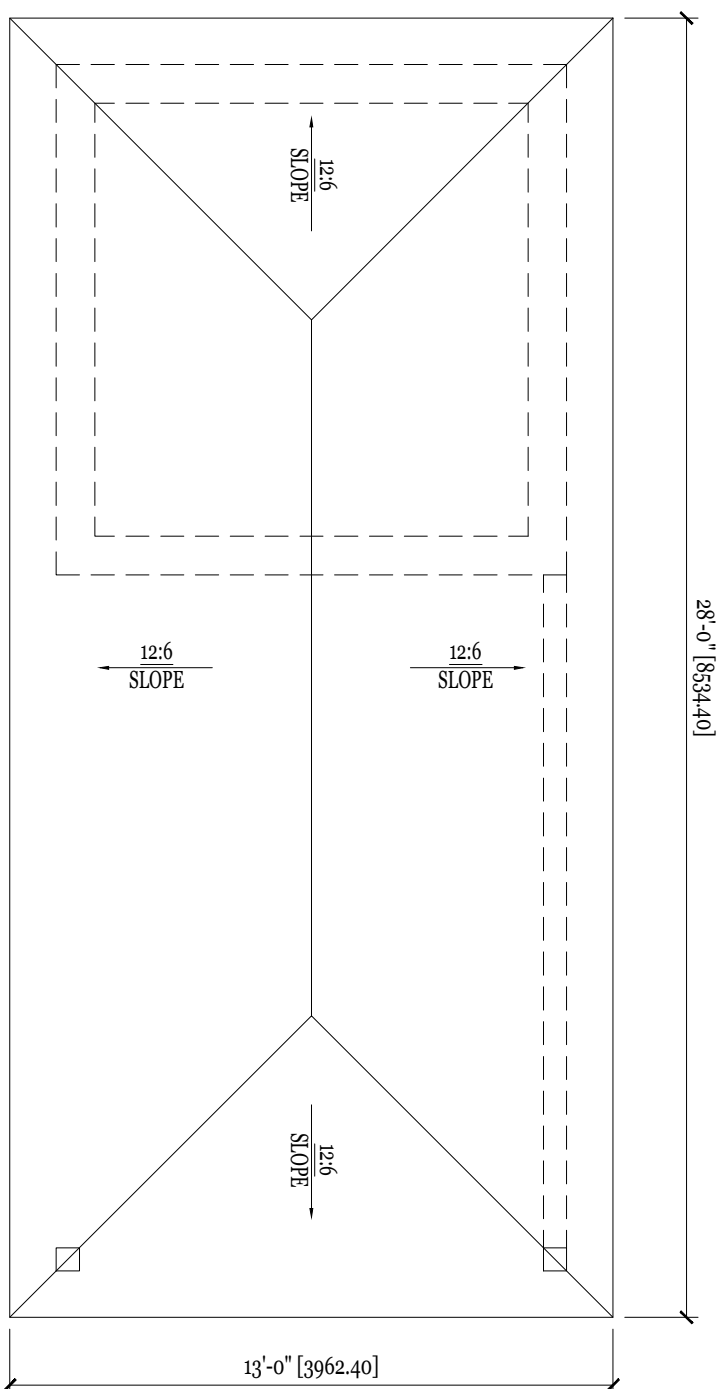
2.	REVISION FOR CoDA (08)	MAY 17, 2021
1.	ISSUED FOR CoDA (04)	APRIL 1, 2021
No. Description	Date	By



FLOOR PLAN

SCALE 1/4" = 1'-0"

1
A2



13'-0" [3962.40]

12:6
SLOPE

$$\frac{12:6}{\text{SLOPE}}$$
$$\frac{12:6}{\text{SLOPE}}$$

12:6
SLOPE

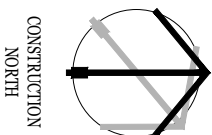
PROPOSED
CABANA

Project #:

16 WOODLAND TRAIL CT.,
WOODBRIDGE, ON.,
L4L 9H9

21004

2.	REVISION FOR CoFA (08)	MAY 17, 2021	RP
1.	ISSUED FOR CoFA (04)	APRIL 1, 2021	EB
No.	Description	Date	By






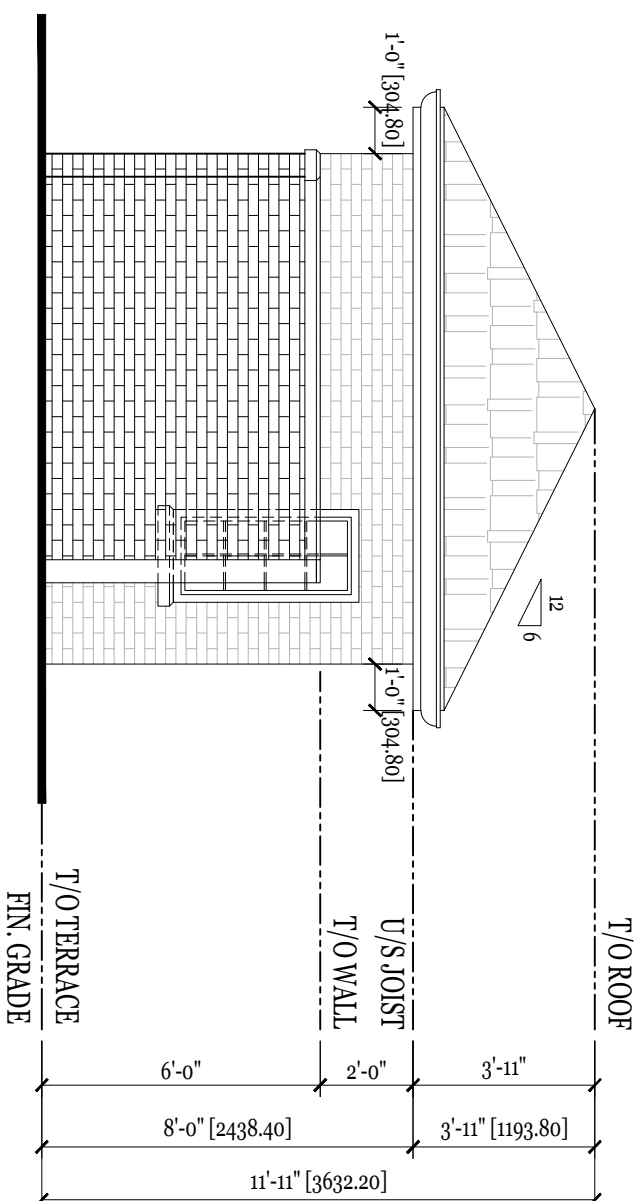
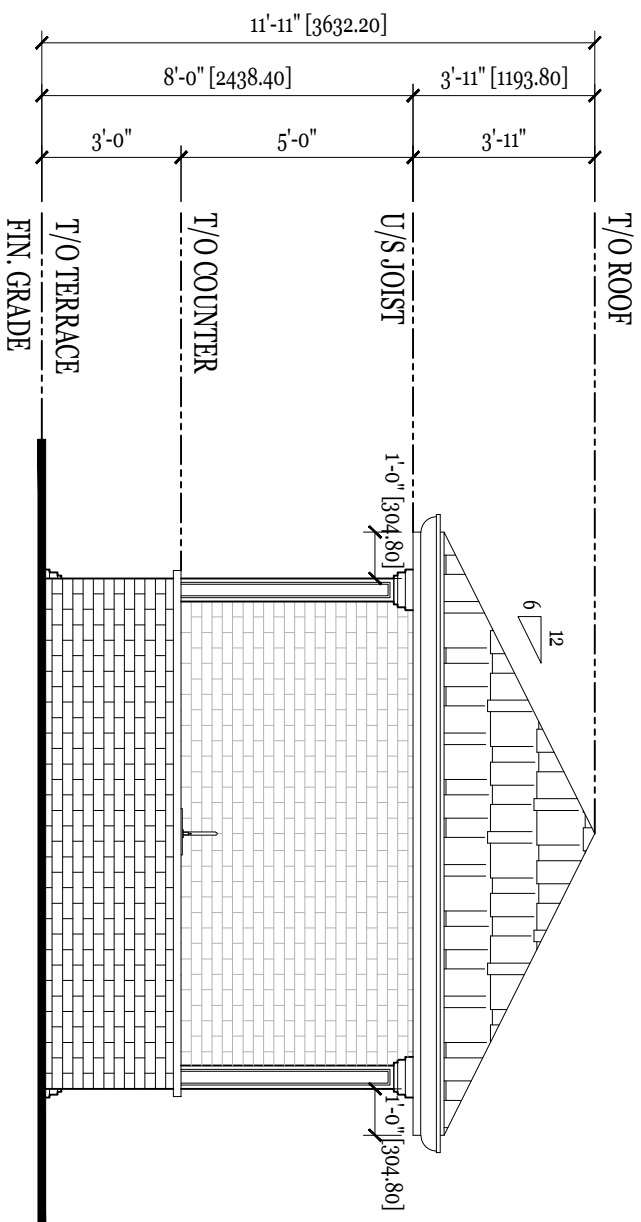
ROOF PLAN
SCALE 1/4" = 1'-0"

A2.1

FRASCA
Design & Planning
Residential - Retail - Commercial

2781 HIGWAY 7, SUITE 201 VAUGHAN, ON, L4K 1W1 416-272-2024
2010@frasca@gmail.com & giorio@frascadesignandplanning.com

LEGEND	
	PROPOSED WALL
	BRICK VENEER
	ROOF SHINGLES




EAST ELEVATION

WEST ELEVATION

PROPOSED CABANA	
Project: 16 WOODLAND TRAIL CT., WOODBRIIDGE, ON, L4L 9H9	Project #: 21004

2.	REVISION FOR CoFA (08)	MAY 17, 2021	RP
1.	ISSUED FOR CoFA (04)	APRIL 1, 2021	EB
No.	Description	Date	By



EAST & WEST ELEVATION	1
SCALE 1/4" = 1'-0"	A3.2

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: RE A112/21 (16 Woodland Trail Court, Kleinburg) - Request for Comments
Attachments: A112-21 - Circulation.pdf

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: May-27-21 10:17 AM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE A112/21 (16 Woodland Trail Court, Kleinburg) - Request for Comments

Good morning Pravina,
The Regional Municipality of York has completed its review of the above minor and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca