

**File:** A106/21**Applicant:** Valerio Zingone & Carla Mazzocco**Address:** 19 Jackson St Maple**Agent:** None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA		
Metrolinx	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala  
Hearing Date: Wednesday, June 30, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance  
Application

Agenda Item: 7

A106/21

Ward: 1

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Wednesday, June 30, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Valerio Zingone & Carla Mazzocco

**Agent:** None

**Property:** 19 Jackson St Maple

**Zoning:** The subject lands are zoned R1V, Old Village Residential, under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed second storey addition to the existing dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum Front yard setback of 11.08 metres is required (Schedule A, note 11).	1. To permit a minimum Front yard setback of 10.77 metres to a dwelling.
2. A maximum Lot coverage of 20% is permitted (Schedule A).	2. To permit a maximum Lot coverage of 25.65%. (21.7% dwelling; 3.55% rear porch; 0.4% front porch)

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit [www.vaughan.ca](https://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**  
Public notice was mailed on June 15, 2021

Applicant confirmed posting of signage on June 14, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1956 (Purchased 2004)

Applicant has advised that they cannot comply with By-law for the following reason(s): Due to the accessory space of covered rear and front porches as well the additional garage space

**Adjournment Request:** None

**Building Standards (Zoning Review):**  
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 21-101016 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued).

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

A ground mounted A/C unit and/or pool equipment shall be setback a minimum of 0.6 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard. A wall mounted A/C unit shall be setback a minimum of 0.3 metres from the interior side lot line and may encroach a maximum of 1.5 metres into the required rear yard.

**Building Inspections (Septic):**  
No comments or concerns

**Development Planning:**  
Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is requesting permission to retain a portion of an existing single storey dwelling and construct a two-storey single-family dwelling addition, covered porch and loggia. Development Planning staff is of the opinion the proposed variances are appropriate for the development of lot and compatible to other dwellings within an Old Village Residential (R1V) Zone. The main dwelling occupies 21.71%, while the remaining 3.95% is split between the covered porch and loggia, producing a dwelling mass that upholds the general intent and purpose of Zoning By-law 1-88. The front yard setback reduction is minimal and will not disrupt the existing streetscape. In support of the application, the Owner submitted an Arborist Report and Tree Protection Plan, prepared by Davey Resource Group dated April 27, 2021. Urban Design staff have reviewed the report and confirmed a total of 5 trees are the required amount of tree replacements for this project. The replacement of trees will be carried out by the Owner and Forestry and Horticulture Operations staff during the tree permit process.

The Development Planning Department is of the opinion the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Development Engineering:**  
The Development Engineering (DE) Department does not object to variance application A106/21.

The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert.

**Parks Development - Forestry:**  
No comment no concerns

**By-Law and Compliance, Licensing and Permit Services:**  
No comment no concerns

**Development Finance:** Prepared by: Nelson Pereira  
No comment no concerns

**Fire Department:**  
No comment no concerns

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**  
None

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections  
Region of York – No concerns or objections  
Metrolinx - No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: N/A

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended: None

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Notice to the Applicant – Development Charges**

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8002  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

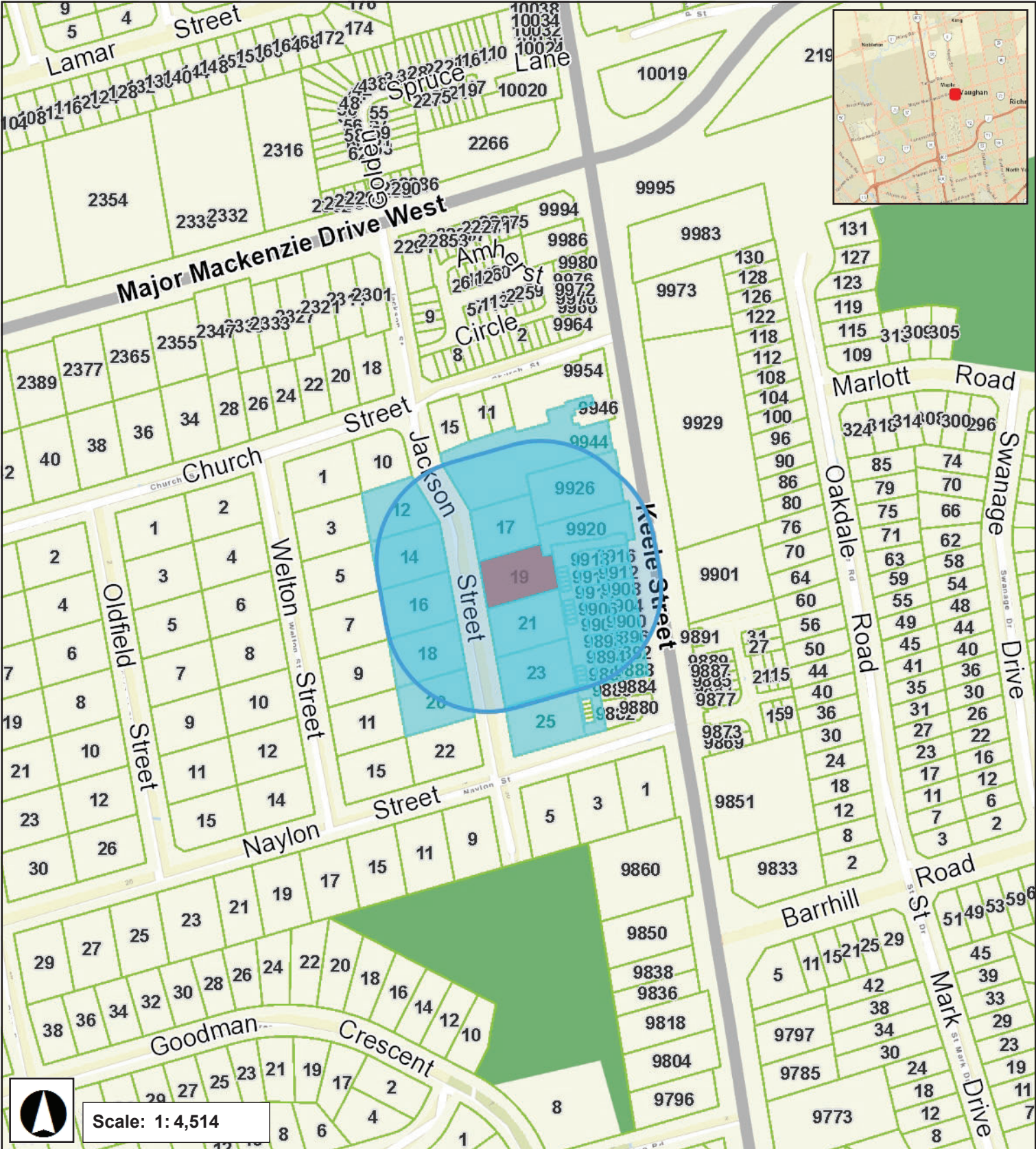
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map  
Plans & Sketches

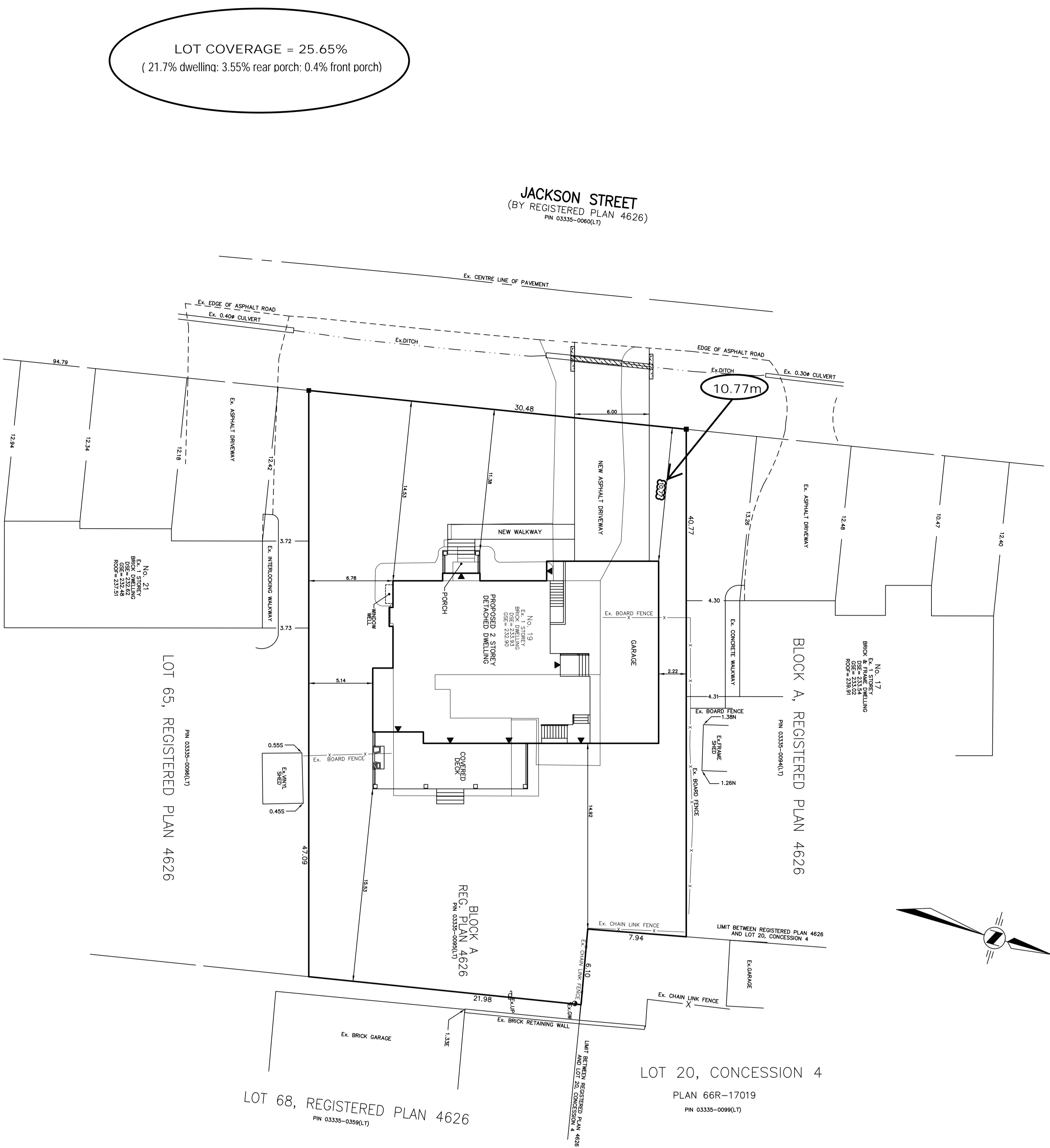


# LOCATION MAP - A106/21

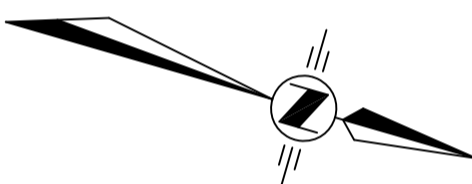
19 JACKSON STREET, MAPLE



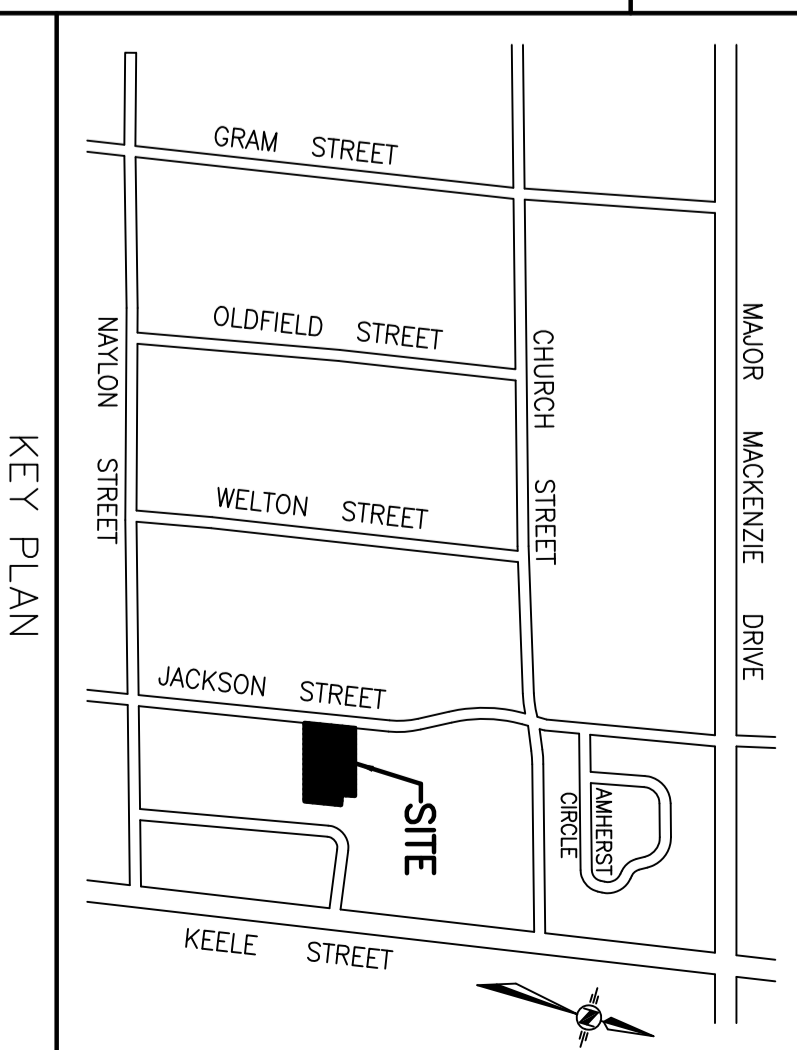
RECEIVED  
By RECEIVED at 12:34 pm, May 21, 2021



LOT COVERAGE = 25.65%  
( 21.7% dwelling: 3.55% rear porch; 0.4% front porch)



**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE  
IN METRES AND CAN BE CONVERTED  
TO FEET BY DIVIDING BY 0.3048.



**SITE PLAN**  
**19 JACKSON STREET**  
**PART OF BLOCK A**  
**REGISTERED PLAN 4626**  
**CITY OF VAUGHAN**  
REGIONAL MUNICIPALITY OF YORK  
**SCALE 1:200**  
**VLADIMIR DOSEN SURVEYING, O.L.S.**

THIS REPORT WAS PREPARED FOR  
ZINGONE, VALERIO AND  
MAZZUCCI, CARLA  
AND THE UNDERSIGNED ACCEPTS NO  
RESPONSIBILITY FOR USE BY  
OTHER PARTIES.

**SITE STATISTICS**

	EXISTING RETAINED		NEW		TOTAL PROPOSED		% COVERAGE
	Imperial (sf)	Metric (m)	Imperial (sf)	Metric (m)	Imperial (sf)	Metric (m)	
BUILDING FOOTPRINT	1004	93.27	2237	207.8	3241	301.1	21.71%
COVERED FRONT PORCH	0	0	59	5.48	59	5.48	0.40%
COVERED LOGGIA	0	0	530	49.23	530	49.23	3.55%
TOTAL COVERAGE	975.8	90.65			3630	355.83	25.65%
GROSS FLOOR AREA	EXISTING RETAINED		NEW		TOTAL PROPOSED		
	Imperial (sf)	Metric (m)	Imperial (sf)	Metric (m)	Imperial (sf)	Metric (m)	
BASEMENT	1004	93.27	1275	118.45	2279	211.72	
GROUND FLOOR	1004	93.27	1057	98.2	2061	191.47	
SECOND FLOOR	0	0	1803	167.5	1803	167.5	
PROPOSED TOTAL GROSS FLOOR AREA			AREA	6143	570.7		
SET BACKS	EXISTING DWELLING		PROPOSED DWELLING				
FRONT-WEST	14.53M		10.77M				
SIDE-SOUTH	6.78M		5.14M				
SIDE-NORTH	6.93M		2.22M				
REAR-EAST	15.17M		14.92M				
HEIGHTS OF DWELLING	EXISTING 5.0M+/-		PROPOSED 8.35M				

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN  
WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF  
VLADIMIR DOSEN, O.L.S.

1.	M.M.	MAY 20/21	REVISED AS PER CITY'S COMMENTS	Revision	V.O.
2.	By	Date			

**VLADIMIR DOSEN SURVEYING**  
**ONTARIO LAND SURVEYORS**  
555 DAVISVILLE AVENUE  
TORONTO, ONTARIO M4S 1J2  
PHONE:(416) 466-0440 EMAIL:vladdosen@rogers.com

FIELD: RK CAD FILE: 19 JACKSON STREET  
DRAWN BY: AT FILE: 14-216  
CHECKED BY: VD JOB NO: 17460

GENERAL NOTES

1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
2. ALL NEW DOWNSPOUTS FROM THE EAVES/TROUGH TO DISCHARGE ONTO CONCRETE SPLASH PADS AND THE DRAINAGE TRENCHES TO BE MAINTAINED AND NOT TO MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED
3. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND LOCATION OF THE EXISTING WATER SERVICE CONNECTION AND REPORT IT TO THE ENGINEER
4. ALL EXISTING EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE
5. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES
6. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE CITY OF VAUGHAN
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTIONS THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
8. ALL NEW CONNECTIONS SHALL BE INSTALLED AS PER THE CITY OF VAUGHAN STANDARDS AND SPECIFICATIONS.
9. FINISHED ELEVATION AND TOP OF CONSTRUCTION THE FINAL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
10. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150mm BELOW BRICK/STONE VENEER ELEVATION.
11. PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO LOT HAS BEEN GRADED TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 100mm OF TOPSOIL AND No. 1 NURSURY SOD.
12. NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER INSPECTION SHOULD BE NOT LESS THAN 2.0% AND NOT GREATER THAN 8.0%
13. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0%
14. WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING FENCE INSTALLED ON THE HIGH SIDE
15. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITHIN UNSURKABLE BACKFILL MATERIAL AS PER CITY OF VAUGHAN STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR TO CONSTRUCTION
16. ALL NEW WATER SERVICE CONNECTIONS ARE TO HAVE A MINIMUM DEPTH OF 1.7m WITH A MINIMUM HORIZONTAL SANDING OF 1:20 FROM ALL OTHER EXISTING WATER, STORM, SEWAGE, SLOPE, TRENCHING AND TREE PROTECTIVE VAUGHAN STANDARDS.
17. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.
18. A 0.60m WIDE UNDISTURBED STRIP IS TO BE PROVIDED ALONG THE REAR AND SIDE PROPERTY LINES.

GRADING NOTES

1. ALL FOOTING FOR WORK ELEVATIONS AND SETBACKS ARE TO BE CONTAINED WITHIN THE REGISTERED PROFESSIONAL ENGINEER OR REGISTERED LAND SURVEYOR'S PROPERTY LINE OR CONCRETE
2. PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING AND THE RELEASE OF THE COMPLETION STAGE PERMIT, THE OWNER'S CONSULTANT MUST CERTIFY THAT THE TOP OF FOUNDATIONS ARE IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY THE CITY.
3. ALL RAINWATER LEADERS SHALL DISCHARGE ONTO CONCRETE SPLASH PADS AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THIS PLAN.
4. EXISTING BOUNDARY ELEVATIONS ALONG THE SITE PERIMETER SHALL REMAIN UNDISTURBED. DRAINAGE RECEIVED FROM ADJACENT PROPERTIES SHALL BE ACCOMMODATED AND DRAINAGE FROM THE SUBJECT LANDS SHALL BE SODDED AND SODDED
5. ALL YARD AREAS SHALL RECEIVE A MINIMUM OF 100mm OF TOPSOIL PLUS SOD.
6. THE OWNER SHALL CONTACT THE CITY'S ARBORIST FOR CONSENT PRIOR TO ANY TREE BEING REMOVED.
7. THE OWNER SHALL CONTACT THE OPERATIONS SECTION OF THE ENGINEERING & PUBLIC WORKS DEPARTMENT AND MAKE ARRANGEMENTS NECESSARY FOR DRIVEWAY ACCESS AND SITE SERVICE CONNECTIONS.
8. THE OWNER SHALL CONTACT THE CITY BUILDING SERVICES DIVISION A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION OF ANY RETAINING WALL DEEMED TO BE A DESIGNATED STRUCTURE. IN ORDER TO AVOID ANY DELAYS TO THE CONSTRUCTION ACTIVITY
9. THE OWNER IS RESPONSIBLE TO ENSURE ANY CONSTRUCTION ACTIVITY AND FINAL PRODUCT CONFORMS TO ALL CITY BYLAWS.
10. FOR PROPOSED INSTALLATION GALLERIES, THE OWNER SHALL PROVIDE THE TOWN WITH CONSTRUCTION PHOTOS AFTER EXCAVATION OF THE GALLERY AND TRENCHES FOR ROOF DRAIN PIPE CONNECTIONS. PRIOR TO BACKFILLING, THE OWNER SHALL ALSO PROVIDE CONSTRUCTION PHOTOS AFTER INSTALLATION OF CLEAR STONE AND ROOF DRAIN PIPE.

UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE AND THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THE INFORMATION SHOWN HEREON AND EACH UTILITY MUST BE CONTACTED FOR AN ONSITE LOCATE PRIOR TO ANY EXCAVATION.

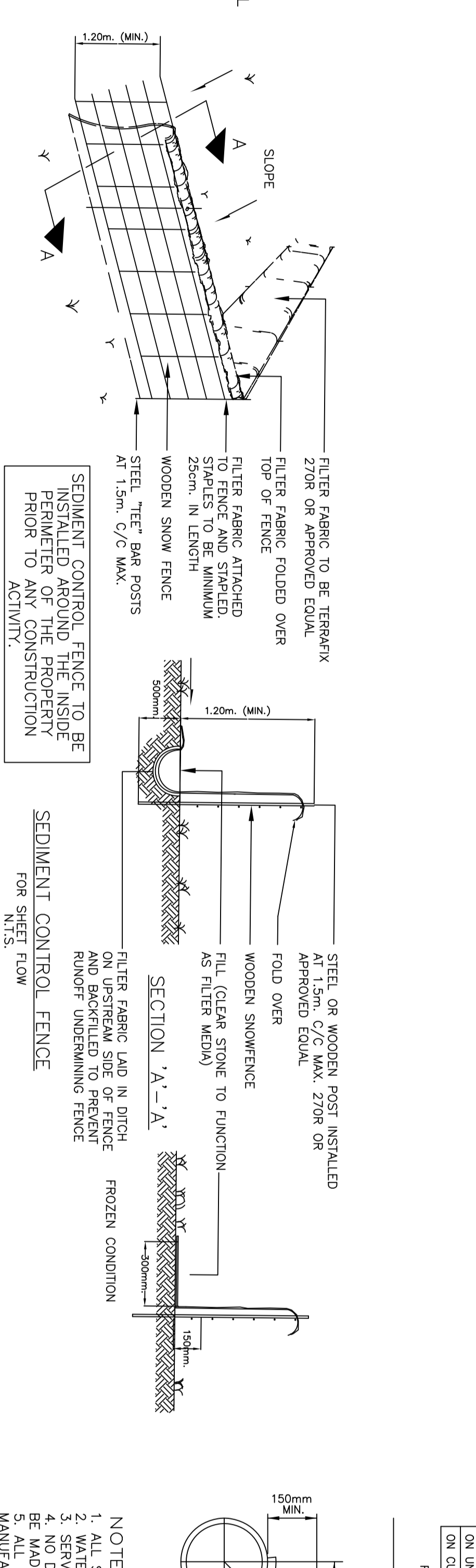
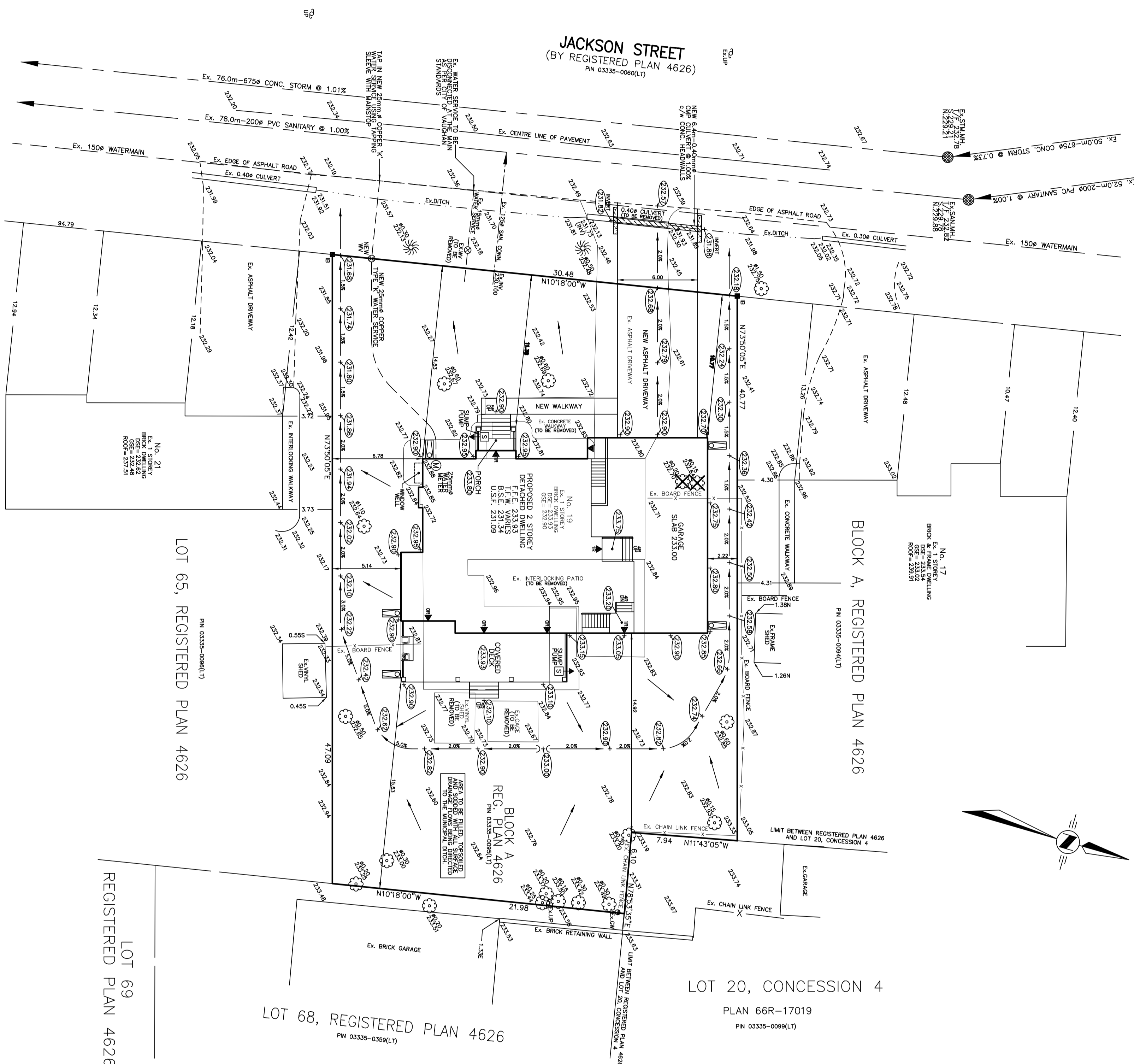
SITE GRADING CERTIFICATION:

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A NEW TWO STOREY DWELLING LOCATED AT 19 JACKSON STREET AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSED WITH ALL ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I ALSO CONFIRM THAT THE EXISTING SEWERS AND WATERMANS SHOWN ON THIS PLAN HAVE BEEN FIELD VERIFIED AS TO THE LOCATION AND ELEVATION.

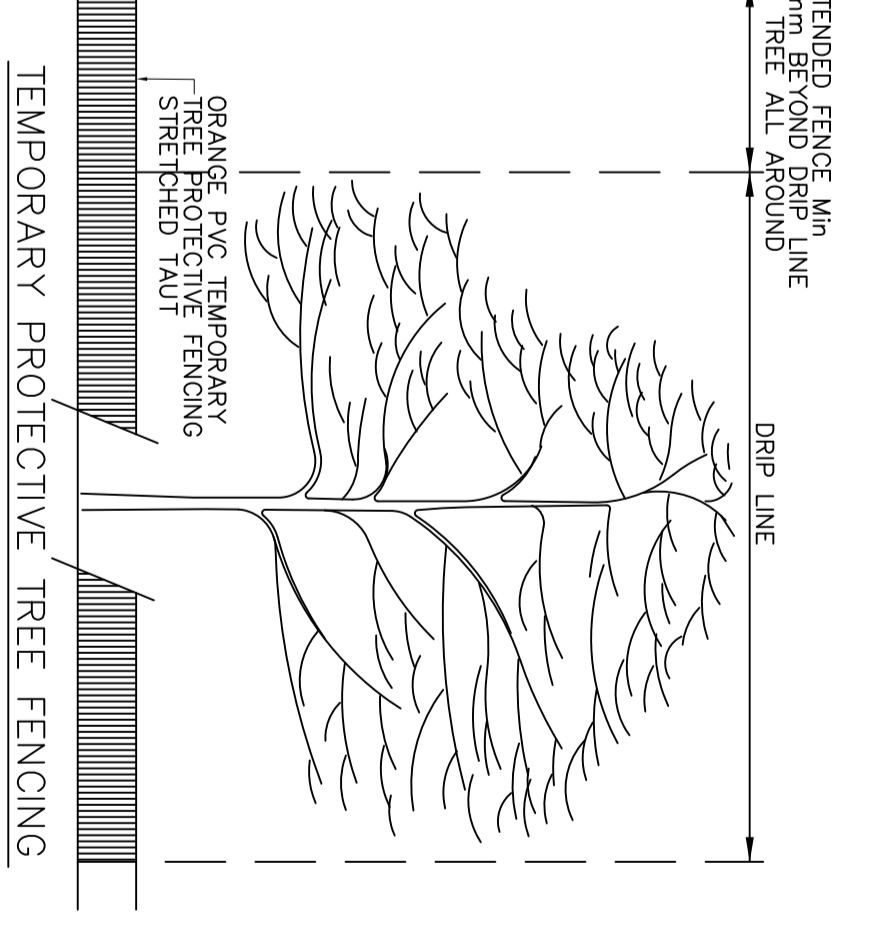
DATE : DECEMBER 24, 2020  
(REVISED APRIL 20, 2021)

V. ADMIR DOSEN, B.Sc.  
ONTARIO LAND SURVEYOR



TREE PROTECTION NOTES

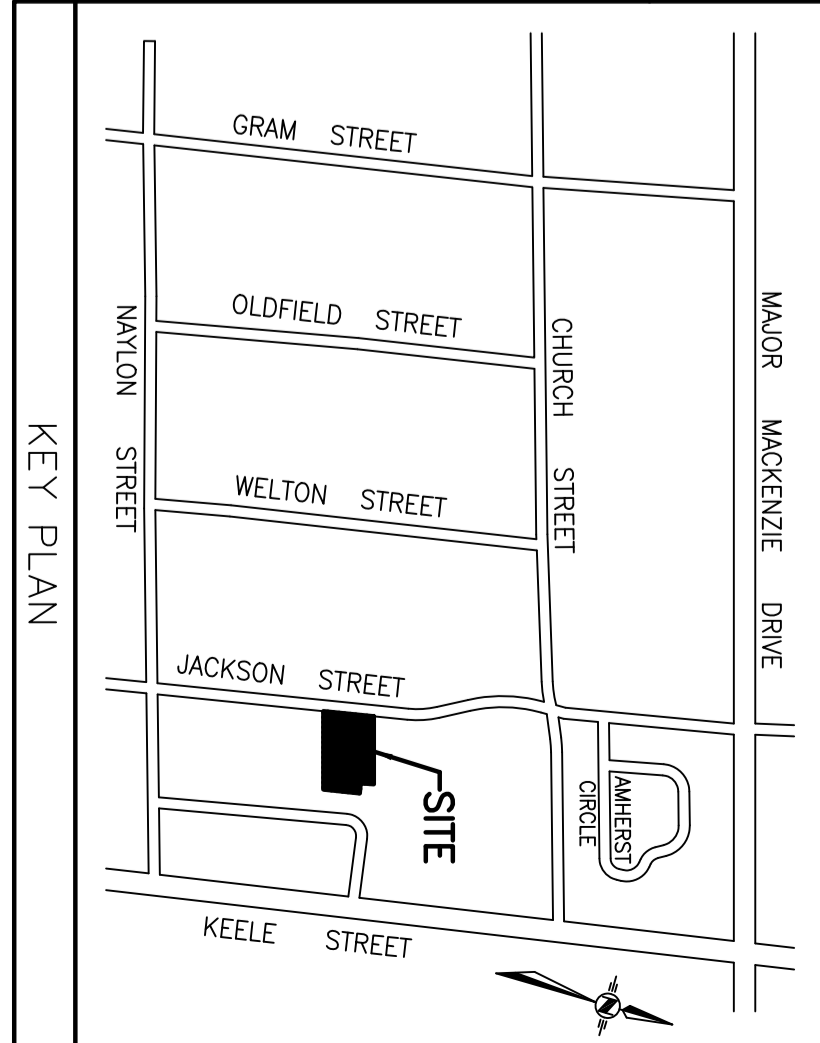
1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE CONSTRUCTION PERMIT. ALL TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED SHALL BE TREATED IN A LIKE MANNER WITH THE HOARDING AROUND THE ENTIRE CLUMP(S) AREAS WITHIN THE PROTECTED FENCING SYSTEMS FORME UNDISTURBED. ALL EXISTING TREES TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING AND EQUIPMENT. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE IN THE PROTECTED FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
2. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
3. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
4. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
5. WHERE NECESSARY, THE TREES WILL BE GIVEN AN BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
6. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE MEDICATED RETAINING SOILS AND SODS TO THE SATISFACTION OF THE TOWN OF RICHMOND HILL.
7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE MEDICATED RETAINING SOILS AND SODS TO THE SATISFACTION OF THE TOWN OF RICHMOND HILL.



- NOTES
1. DIMENSIONS IN MILLIMETRES
  2. THIS DETAIL IS TO BE USED IN CONJUNCTION SECTION 02210-PROTECTIVE TREE FENCING
  3. 1-BAR FENCING SUPPORTS TO BE SPACED MAXIMUM 1800 O.C.
  4. THIS DETAIL DOES NOT REPRESENT ANY PARTICULAR TREE
  5. DO NOT STOCKPILE OR STORE CONSTRUCTION MATERIALS WITHIN PROTECTED AREA.

METRIC

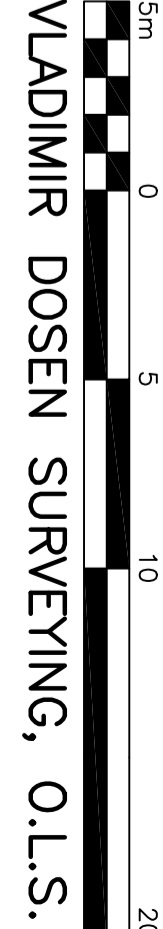
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



GRADING PLAN  
19 JACKSON STREET

PART OF BLOCK A  
REGISTERED PLAN 4626  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK

SCALE 1:200



VLADIMIR DOSEN SURVEYING, O.L.S.

THIS REPORT WAS PREPARED FOR ZINGONE, VALERIO AND MAZZOCCO, CARLA AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

LEGEND

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- ▬ DENOTES IRON BAR
- ▬ DENOTES STANDARD IRON BAR
- DENOTES DIAMETER/ROUND
- DENOTES BOARD FENCE
- DENOTES CHAIN LINK FENCE
- DENOTES FINISHED FLOOR ELEVATION
- DENOTES GARAGE SILL ELEVATION
- DENOTES DOOR SILL ELEVATION
- DENOTES INVERT
- DENOTES MAN HOLE
- DENOTES UTILITY POLE
- DENOTES GUY WIRE
- DENOTES WATER VALVE
- DENOTES CONFEROUS TREE
- DENOTES DECIDUOUS TREE
- DENOTES EXISTING ELEVATION
- DENOTES PROPOSED ELEVATION
- DENOTES DIRECTION OF SURFACE DRAINAGE
- DENOTES FINISHED FLOOR ELEVATION
- DENOTES TOP OF FOUNDATION WALL
- DENOTES BASEMENT SLAB ELEVATION
- DENOTES UNDERSIDE OF FOOTING
- DENOTES UNDERSIDE OF RISERS
- DENOTES RAINWATER DOWNSPOUT LOCATION
- DENOTES TOP OF FRAME
- DENOTES PROTECTION TREE FENCING
- DENOTES SEDIMENT CONTROL FENCE

BENCHMARK:

ELEVATIONS ARE GEODETIC OBTAINED BY R.T.K. MEASUREMENTS.

BEARING NOTE:

BEARINGS ARE ASTRONOMIC AND ARE DERIVED FROM THE EASTERLY END OF JACKSON STREET AS SHOWN ON REGISTERED PLAN 4626, HAVING A BEARING OF N10°18'00"W.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF VLADIMIR DOSEN, O.L.S.

NO. 19  
DATE  
REVISED AS PER CITY'S COMMENTS  
V.D.

VLADIMIR DOSEN SURVEYING  
ONTARIO LAND SURVEYORS

555 DAVISVILLE AVENUE  
TORONTO, ONTARIO M4S 1A2  
PHONE: (416) 466-0440 EMAIL: vladdosen@rogers.com

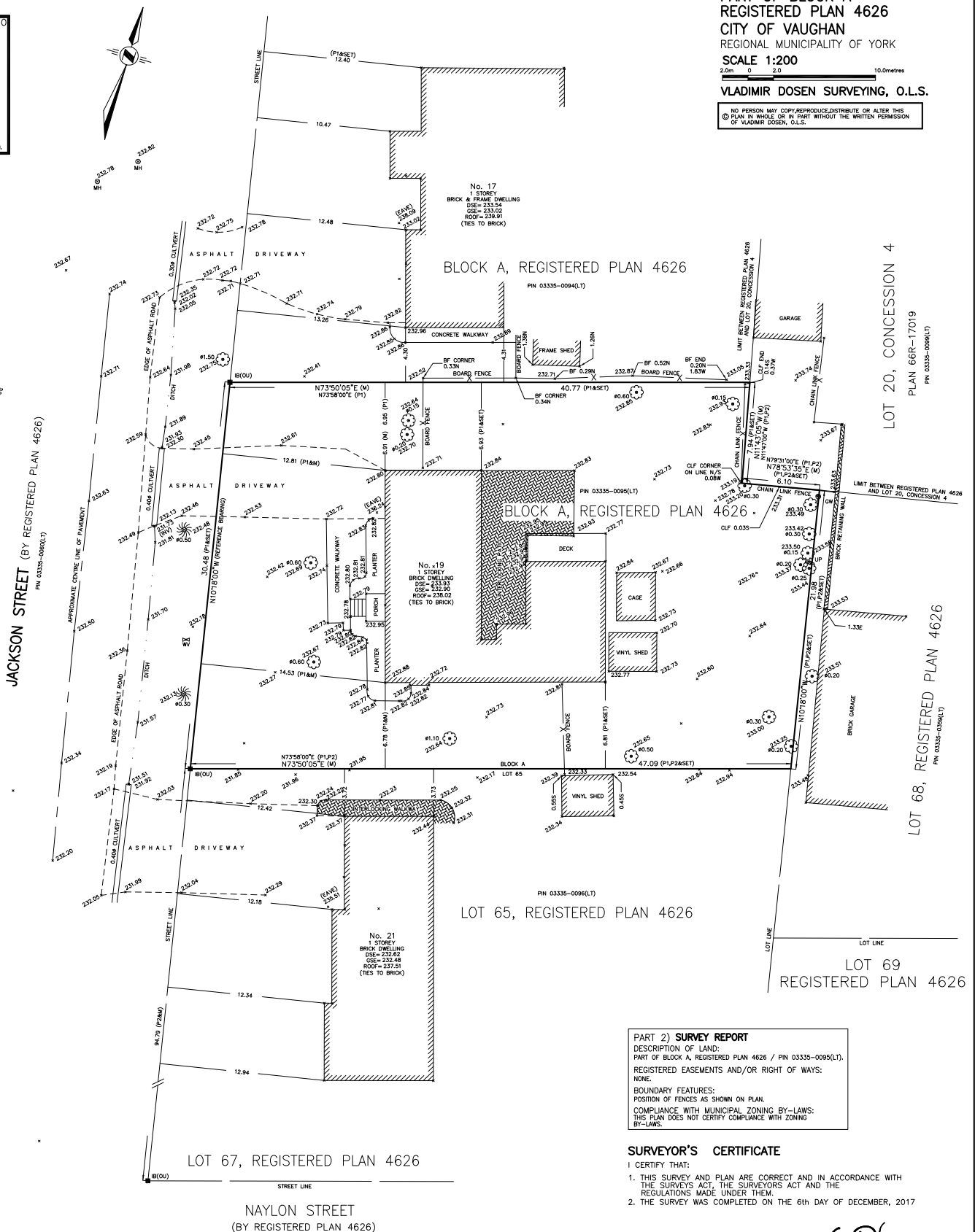
FIELD: RK  
DRAWN BY: AT  
JOB NO.: 17460

**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE  
IN METRES AND CAN BE CONVERTED  
TO FEET BY DIVIDING BY 0.3048.



**SURVEYOR'S REAL PROPERTY REPORT**  
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF  
**PART OF BLOCK A  
REGISTERED PLAN 4626**  
**CITY OF VAUGHAN**  
REGIONAL MUNICIPALITY OF YORK  
**SCALE 1:200**  
2.0m 0 2.0 10.0metres  
**VLADIMIR DOSEN SURVEYING, O.L.S.**

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS  
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION  
OF VLADIMIR DOSEN, O.L.S.



**PART 2) SURVEY REPORT**  
DESCRIPTION OF LAND:  
PART OF BLOCK A, REGISTERED PLAN 4626 / PIN 03335-0095(LT).  
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:  
NONE.  
BOUNDARY FEATURES:  
POSITION OF FENCES AS SHOWN ON PLAN.  
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:  
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING  
BY-LAWS.

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
  2. THE SURVEY WAS COMPLETED ON THE 6th DAY OF DECEMBER, 2017

DATE: DECEMBER 22, 2017

VLADIMIR DOSEN, B.Sc.  
ONTARIO LAND SURVEYOR

**NOTES AND LEGEND**

- |  |                                   |
|--|-----------------------------------|
| □ DENOTES SURVEY MONUMENT PLANTED                              | OSE DENOTES GARAGE SILL ELEVATION |
| ■ DENOTES SURVEY MONUMENT FOUND                                | GW DENOTES GUY WIRE               |
| M DENOTES MEASURED   | INV DENOTES INVERT                |
| P1 DENOTES PLAN BY G.T. YATES, O.L.S.,<br>DATED XXXXXXXX, XXXX | MH DENOTES MAN HOLE               |
| P2 DENOTES REGISTERED PLAN 4626                                | UP DENOTES UTILITY POLE           |
| Ø DENOTES DIAMETER   | WV DENOTES WATER VALVE            |
| BF DENOTES BOARD FENCE   | ○ DENOTES DECIDUOUS TREE          |
| CLF DENOTES CHAIN LINK FENCE                                   | ● DENOTES CONIFEROUS TREE         |
| DSE DENOTES DOOR SILL ELEVATION                                |                                   |

**BENCHMARK NOTE:**

ELEVATIONS ARE GEODETIC  
OBTAINED BY R.T.K. MEASUREMENTS  
**BEARING NOTE:**  
BEARINGS ARE ASTRONOMIC AND ARE  
DERIVED FROM THE EASTERLY LIMIT  
OF JACKSON STREET AS SHOWN  
ON REGISTERED PLAN 4626  
HAVING A BEARING OF N10°18'00\"/>

THIS REPORT WAS PREPARED FOR  
ZINGONE, VALERIO AND  
MAZZOCCHI, CARLA  
AND THE UNDERSIGNED ACCEPTS NO  
RESPONSIBILITY FOR USE BY  
OTHER PARTIES

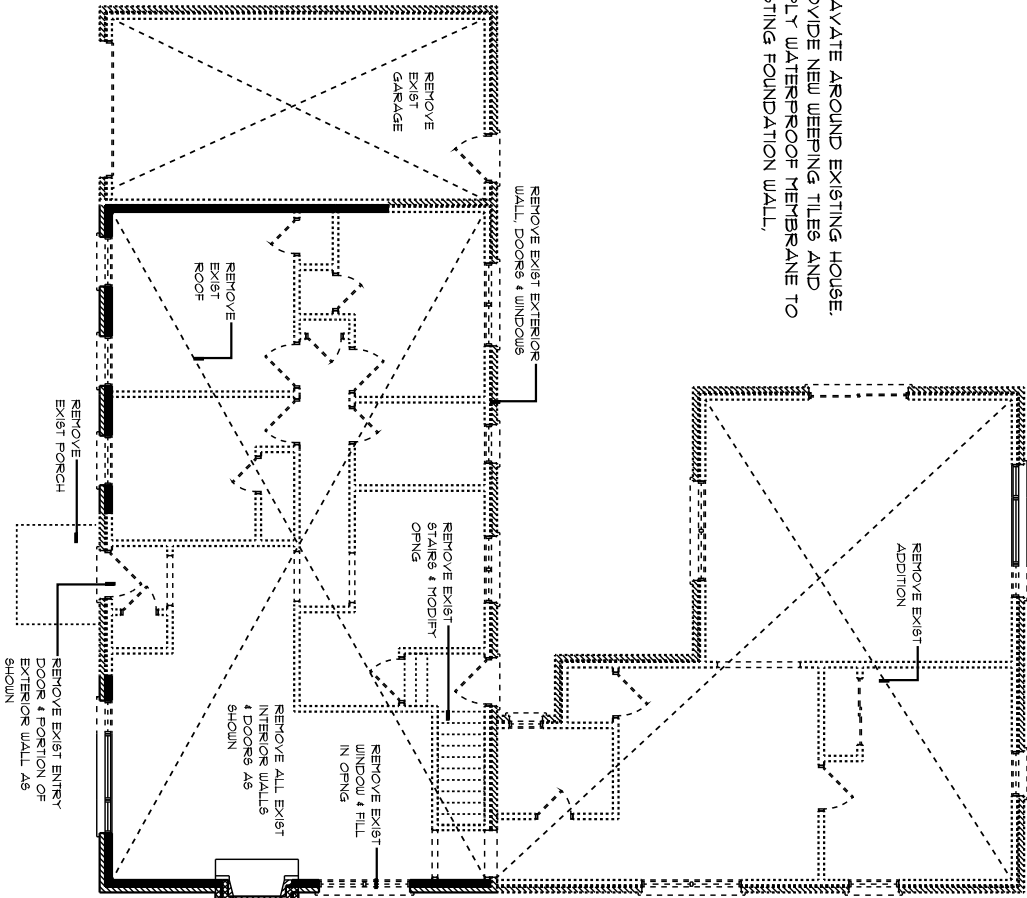
**VLADIMIR DOSEN SURVEYING**  
ONTARIO LAND SURVEYORS  
555 DAVISVILLE AVENUE  
TORONTO, ONTARIO M4S 1J2  
PHONE (416) 466-0440 EMAIL: vladdosen@rogers.com

JOB No: 17460	FIELD BY: RK
FILE: 14-216	DRAWN BY: AT
CAD FILE: 19 JACKSON STREET	CHECKED BY: VD

GENERAL NOTES

- This plan is the property of Residential Home Designs and shall not be reproduced by anyone by any method in whole or in part without written permission.
- The owner/contractor shall be responsible for getting all required approval and permits prior to construction.
- All materials, methods of constructions and workmanship shall be in compliance with CMHC requirements, the Ontario Building Code (latest edition - O.Reg. 332/12 & all subsequent amendments), the National Building Code and all local by-laws.
- Prior to proceeding with construction, the owner/contractor shall check and verify all information, dimensions, and specifications of this plan. Any discrepancies shall be reported to Residential Home Designs at once.
- Written dimensions always take precedence over scaled measurements. DO NOT SCALE DRAWING.
- The owner/contractor shall be responsible for the correct siting of the house on the property. The owner/contractor shall confirm all required setbacks prior to construction. Provide locate survey plan and/or site grading plan. Site Grading Plan to be prepared by a Surveyor, Civil Engineer or other Professional specializing in site grading plans. Provide all information to allow for correct siting of house/building on lot.
- Well systems shall be located and constructed in accordance with health authorities having jurisdiction. Sewage Systems shall be located and constructed in accordance with Part 8 - Ontario Building Code.
- Residential Home Designs has based the foundation design on a good, solid soil condition. The owner/contractor shall be responsible for any & all soil analysis and investigation prior to construction. If soil condition differs in any way, the foundation is be designed by a Professional Engineer.
- Any structural item noted "Design by others" is the responsibility of the owner/contractor. The structural information shall be designed by a structural engineer (P.Eng.), truss manufacturer or a Qualified Building Structure Designer (QB/NS) as per OBC. Provide all details & specs at building permit stage.
- All truss shop drawings shall be submitted to the local building official upon his/her request.
- Ground snow load: 1.1 kPa; Ground rain load: 0.4 kPa
- All framing lumber shall be #2 grade spruce or better, unless otherwise specified, except for stud walls - use stud grade.
- Wood framing spans are taken from the span tables provided by the Canadian Wood Council (2009 Edition - The Span Book) & are in accordance with CSA 086.1 "Engineering Design in Wood" (Limit States Design)" the Part 9 NBC criteria, and the OBC 2012 Appendix.
- All interior and exterior finishes to owner/contractor's specs.
- For additional notes and details, see sheet D1 - D2.

• EXCAVATE AROUND EXISTING HOUSE.  
• PROVIDE NEW WEEPING TILES AND  
• APPLY WATERPROOF MEMBRANE TO  
EXISTING FOUNDATION WALL.



EXISTING FLOOR PLAN

SCALE 3/16" = 1'-0"

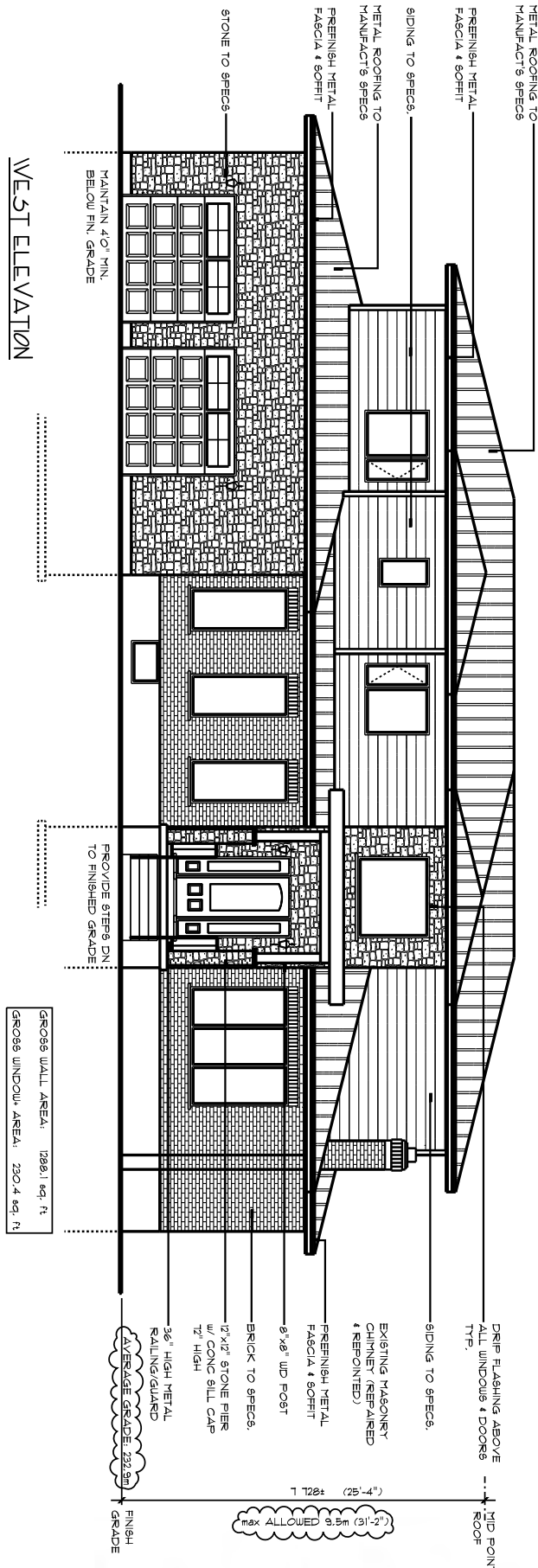
• REMOVE EXISTING BRICK & REUSE IN MODIFIED AREAS  
MATCHING BRICK TO EXISTING DWELLING

EXISTING BASEMENT PLAN

SCALE 3/16" = 1'-0"

MAKE GOOD ALL TRADES  
& REMOVAL.

JOBSITE VERIFY ALL EXISTING  
CONDITIONS PRIOR TO CONSTRUCTION.  
CONFIRM ANY & ALL CHANGES  
W/RESIDENTIAL HOME DESIGNS  
IMMEDIATELY.



WEST ELEVATION

SCALE 3/16" = 1'-0"

EXISTING RETAINED		NEW		TOTAL PROPOSED		% COVERAGE
Imperial (sq)	Metric (m)	Imperial (sq)	Metric (m)	Imperial (sq)	Metric (m)	
<b>BUILDING FOOTPRINT</b>	1004	93.27	2237	207.8	3241	21.71%
<b>COVERED FRONT PORCH</b>	0	0	59	5.48	59	0.40%
<b>TOTAL COVERAGE</b>	0	0	530	48.23	530	3.55%
	1004	93.27		3880	355.8	25.65%
GROSS FLOOR AREA		EXISTING RETAINED		NEW		TOTAL PROPOSED
Imperial (sq)	Metric (m)	Imperial (sq)	Metric (m)	Imperial (sq)	Metric (m)	
<b>FLOOR AREA</b>	1004	93.27	1275	118.45	2279	211.72
<b>BASEMENT</b>	1004	93.27	1057	98.2	2061	191.47
<b>SECOND FLOOR</b>	0	0	1803	167.5	1803	167.5
<b>PROPOSED TOTAL</b>			AREA	6143	570.2	
<b>GROSS FLOOR AREA</b>			AREA	6143	570.2	
SET BACKS		EXISTING DWELLING		PROPOSED DWELLING		HEIGHTS OF DWELLING
FRONT - WEST	14.53M		10.17M			
SIDE - SOUTH	6.79M		5.14M			
SIDE - NORTH	6.93M		2.22M			
REAR - EAST	15.17M		14.97M			
	EXISTING		PROPOSED			
	5.0M +/-		8.35M			

RESIDENTIAL  
HOME DESIGNS  
705-328-1838

ZINCONE

19 Jackson St., Vaughan

SCALE: AS NOTED DRAWN BY: MBS

DATE ISSUED: NOV 2020 - FOR CONSTRUCTION

3865 sq. ft. T.S. ADDITION

18D-131 A1

ENERGY EFFICIENCY DESIGN

THE ENERGY EFFICIENCY DESIGN IS BASED ON THE FOLLOWING:  
SPACE HEATING UNIT TO BE HIGH EFFICIENCY NATURAL GAS OR PROPANE FURNACE.

MIN. RSI (R) VALUE

CEILING w/ATTIC SPACE	10.56 (R60)
CEILING w/o ATTIC	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)
WALLS ABV. GRADE	3.81 (R22)
WALLS BELOW GRADE	3.52 (R20ci)

WINDOWS & DOORS	1.6 MAX. U-VALUE OR MIN. 25 ENERGY RATING
SKYLIGHTS	2.8 MAX. U-VALUE

SPACE HTG. EQUIPMENT MIN. AFUE: 96%

HEV MIN. EFFICIENCY: 75%

DOMESTIC HOT WATER HEATER MIN. EF: 0.8

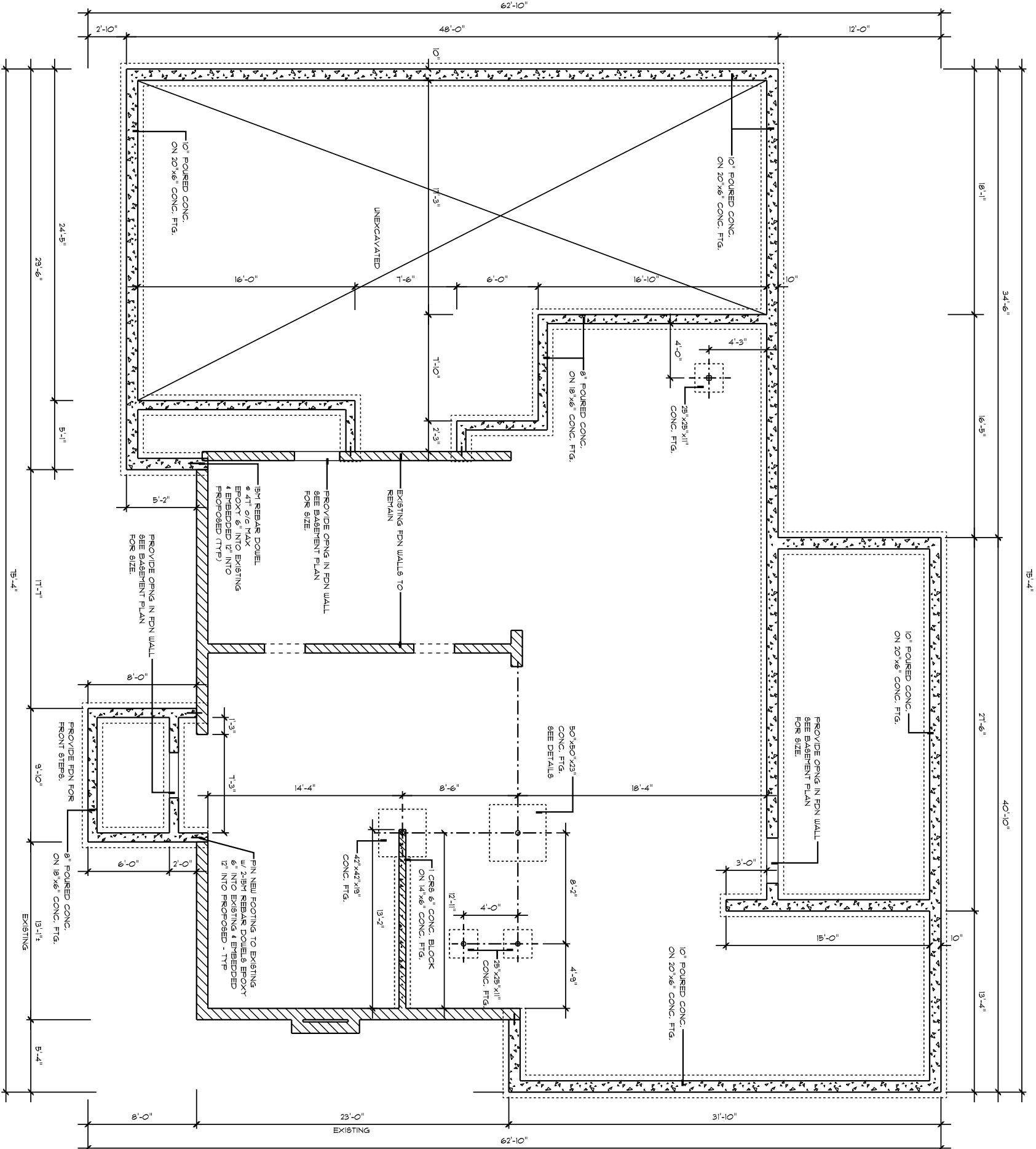
REFER TO COMPLIANCE PACKAGE 'A1'  
- TABLE 3.11.2.4 - 9812, 2012 OBC.

ANY CHANGE TO THE SPACE HTG. EQUIPMENT, HEV &/OR DOMESTIC HOT WATER HEATER SHALL REQUIRE REDESIGN OF INSULATION R-VALUES.

DRAIN WATER HEAT RECOVERY (DWHR) SHALL BE INSTALLED TO RECEIVE DRAIN WATER FROM ALL SHOWERS, DUCHR SHALL CONFORM TO CSA B55.2 'DRAIN WATER HEAT RECOVERY UNITS' AND HAVE A MINIMUM EFFICIENCY OF 42%. INSTALLATION OF DWHR UNITS SHALL CONFORM TO 3.11.12 (6) 98-12, 2012 OBC.

WINDOW/SKYLIGHT/GLASS DOORS

GROSS WALL AREA:	55912 sq. ft
GROSS WINDOW AREA:	124.2 sq. ft
TOTAL % OF WINDOWS:	13.0 %



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

THE FOOTING/FOUNDATION HAS BEEN DESIGNED FOR STABLE SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 15KPa OR GREATER.  
FOOTING TO REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL.  
EXCAVATION TO BE KEPT FREE FROM STANDING WATER.

ZINCONE

19 Jackson St., Vaughan

SCALE: AS NOTED DRAWN BY: MB

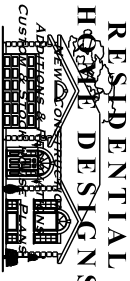
DATE ISSUED: NOV 2020 - FOR CONSTRUCTION

3865 sq. ft. T.S. ADDITION

DWG #:

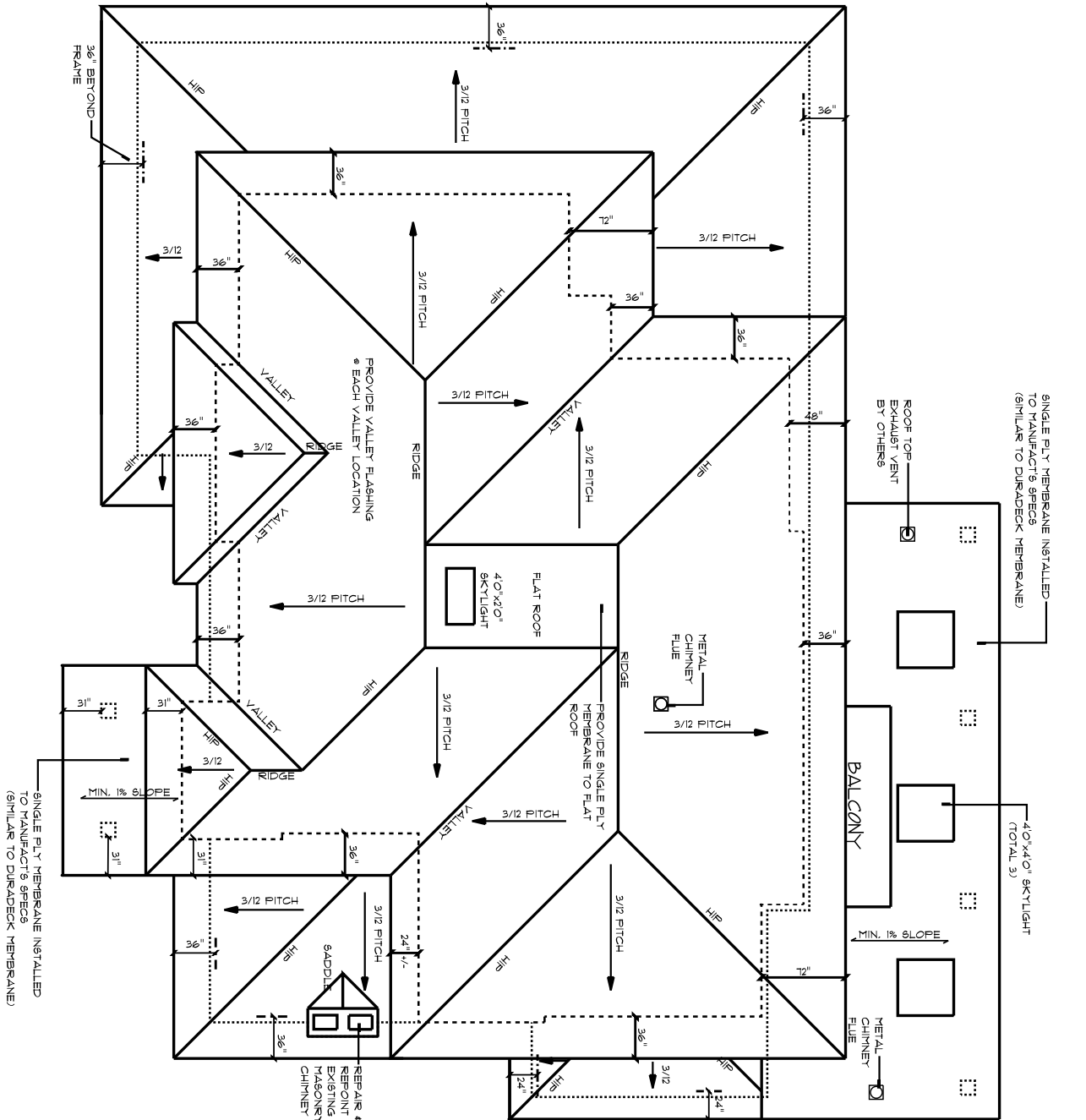
18D131

A2



Mark Barnetson Registered Design Consultant 705-328-1838



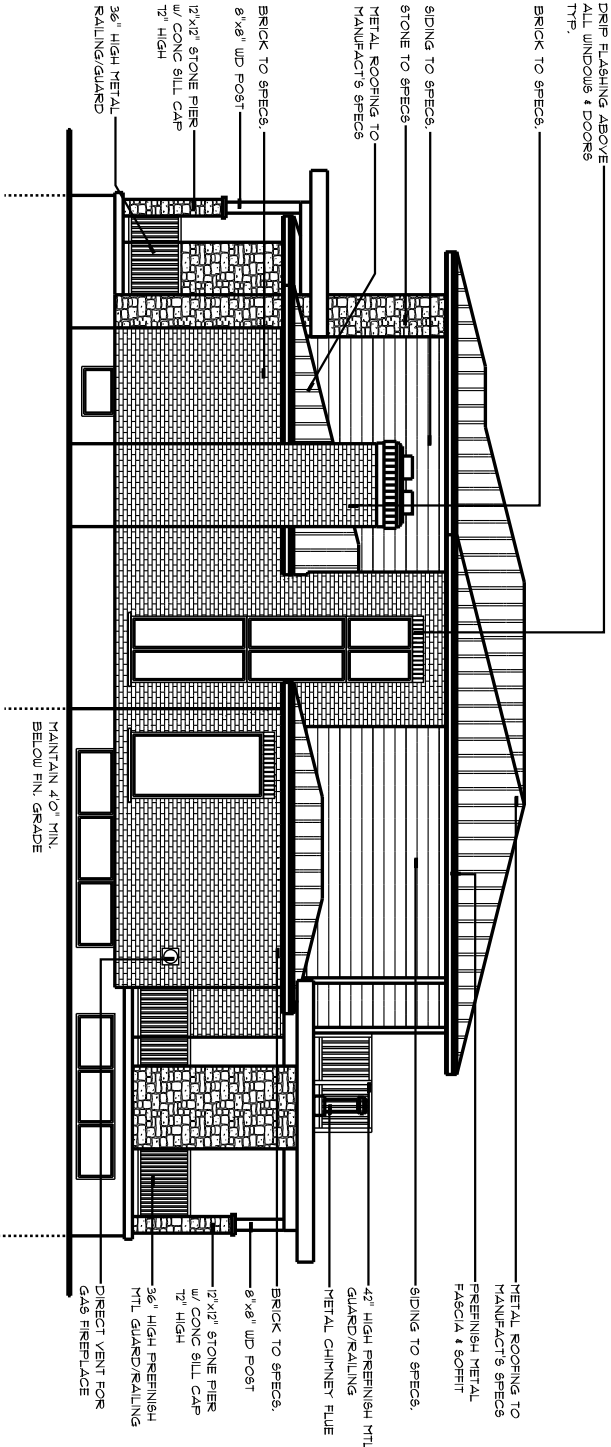


ROOF PLAN  
SCALE: 3/16" = 1'-0"

ROOF VENT REQUIREMENTS:  
- PROVIDE UNOBSERVED VENT AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.  
- VENTS TO BE ROOF TYPE, GABLE END TYPE, OR ANY COMBINATION THEREOF. & SHALL BE DISTRIBUTED UNIFORMLY ON OPPOSITE SIDE OF THE BUILDING WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT TOP & BOTTOM OF SPACE.

PROVIDE 3/16" & 24" o/c RATHER FRAMING OVER ROOF TRUSSES AS REQUIRED. SINGLE BOARD & 2x4 COLLAR TIES AS NEEDED REEFS TO TRUSS MANUFACT'S DUESS FOR LOCATION

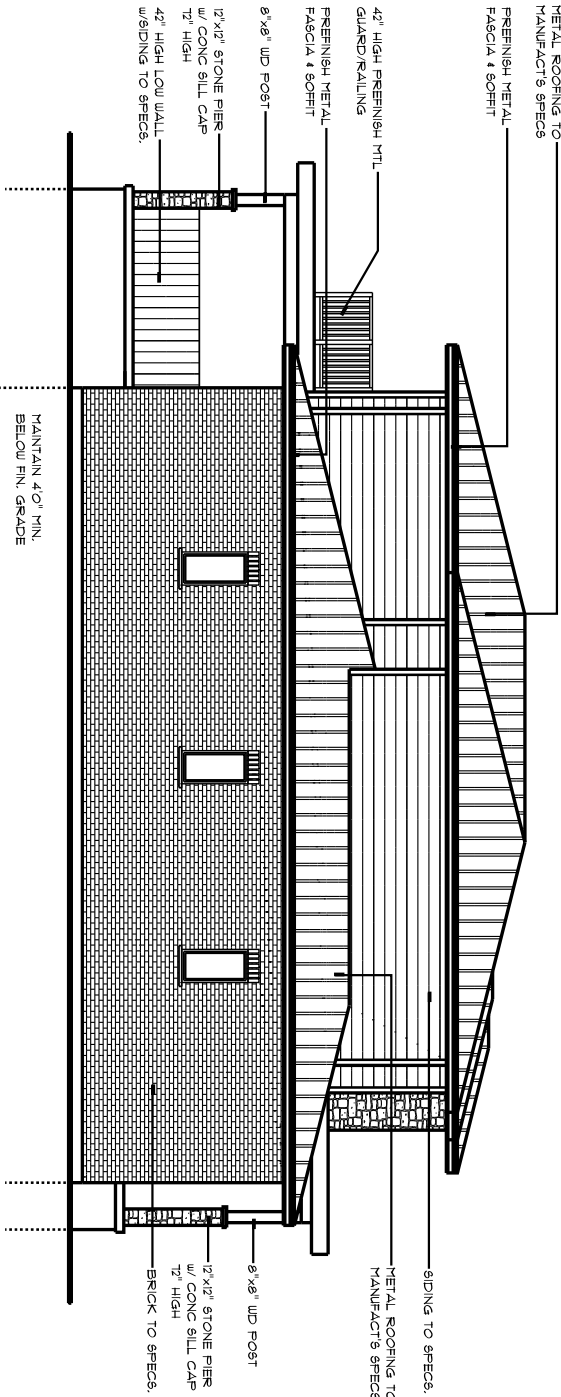
SINGLE PLY MEMBRANE INSTALLED TO MANUFACT'S SPECS (SIMILAR TO DURADECK MEMBRANE)



SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

WALL AREA:  
LIMITING DISTANCE: 270 SF  
OPENGS ALLOWED: 202.5 SF  
PROPOSED OPENG: 63.3 SF

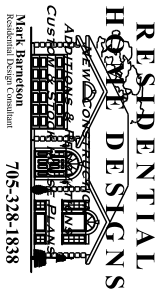
GROSS WALL AREA: 1116.1 sq. ft.  
GROSS WINDOW AREA: 151.3 sq. ft.



NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

WALL AREA:  
LIMITING DISTANCE: 116m & 8%  
OPENGS ALLOWED: 50 SF  
PROPOSED OPENG: 24 SF

GROSS WALL AREA: 1014.0 sq. ft.  
GROSS WINDOW AREA: 0 sq. ft.



Mark Barnetson  
Residential Design Consultant  
705-328-1838

ZINCONE

19 Jackson St., Vaughan

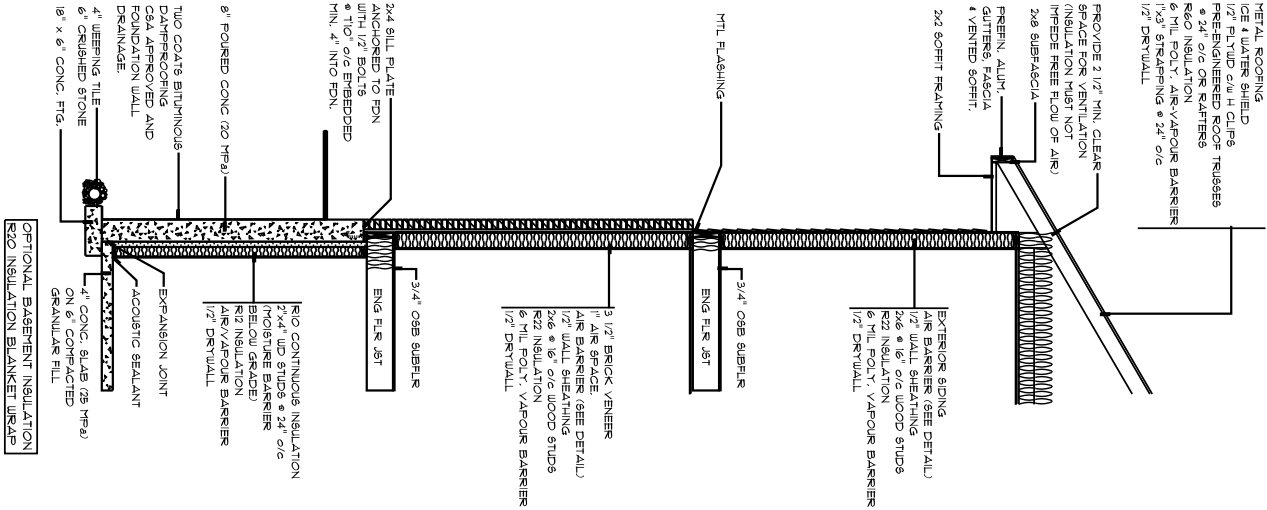
SCALE: AS NOTED  
DATE ISSUED: NOV 2020 - FOR CONSTRUCTION

3865 sq. ft. T.S. ADDITION

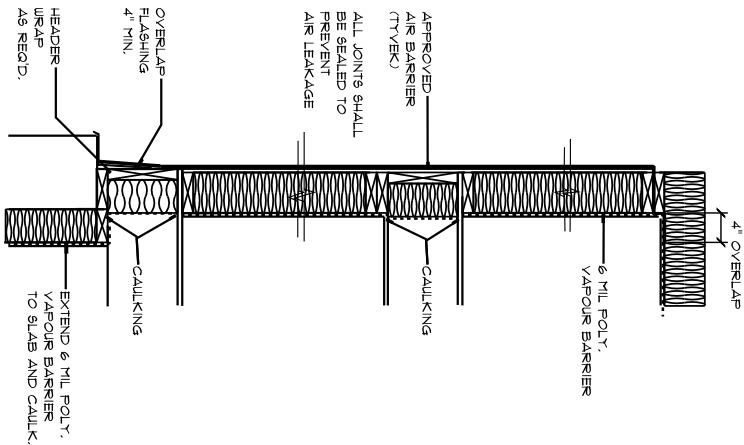
18D-131

A6

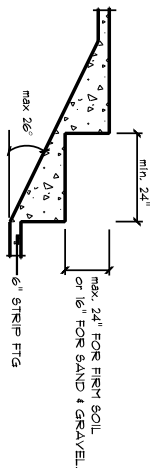




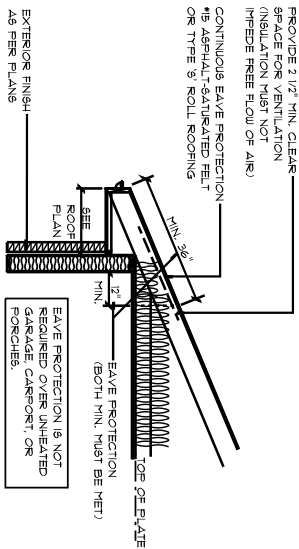
WALL SECTION



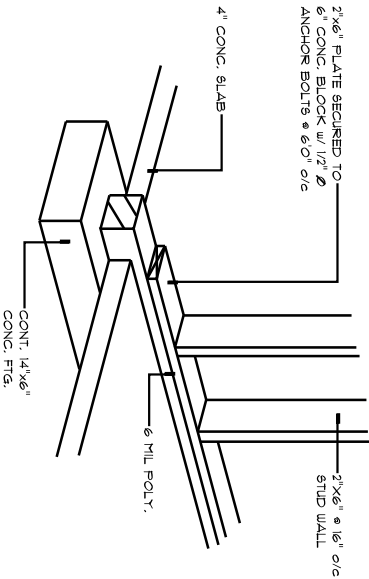
AIR-VAPOUR BARRIER DETAIL



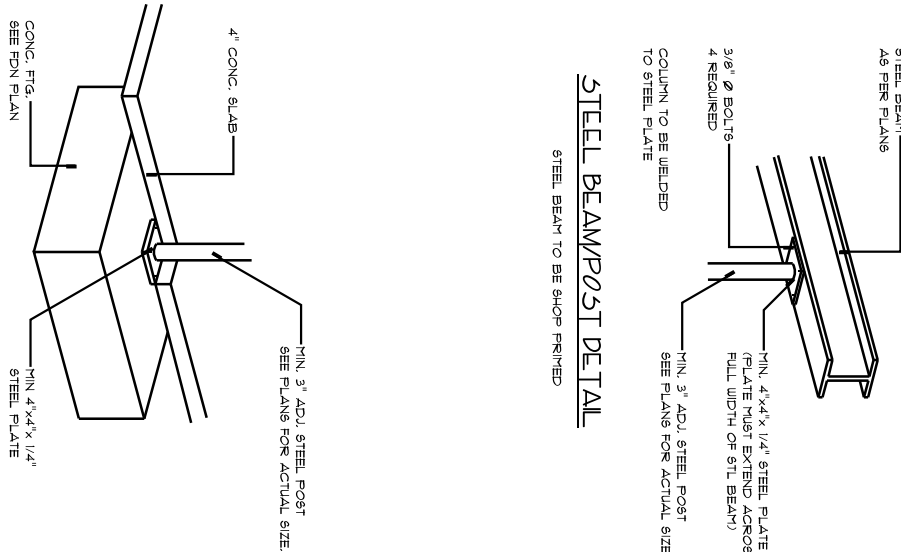
STEP DOWN FOOTING DETAIL



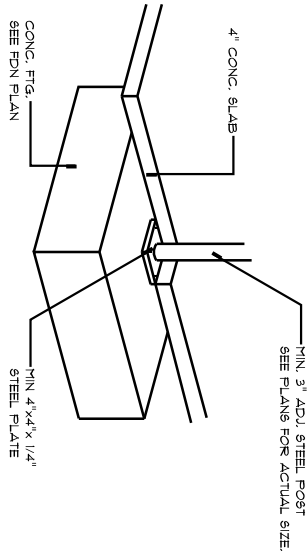
EAVE PROTECTION DETAIL



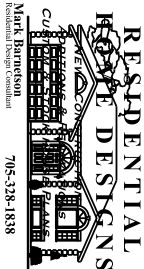
LOAD BEARING WALL DETAIL



STEEL BEAM/POST DETAIL



CONCRETE PAD DETAIL



Mark Barnetson  
Residential Design Consultant  
705-328-1838

WALL SECTION  
& DETAIL 5

SCALE: N.T.S.  
DRAWN BY: TMB  
DATE ISSUED: NOV 2020

18-D-131

D1

DETAIL NOTES

1. FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH & STRUCTURAL FLOOR FRAMING (INCLUDING PLUMB SUBFLOOR) REQUIRED TO BE INSTALLED. THE FOUNDATION WALL SHALL BE PROPERLY ANCHORED & THE WALL HAS BEEN BRACED TO PROVIDE LATERAL SUPPORT.
2. FOUNDATION DRAINAGE SHALL DRAIN TO A SEWER, DRAINAGE DITCH OR DRYWELL. WHERE GRAVITY DRAINAGE IS NOT PRACTICAL, A PUMP-OUT SYSTEM SHALL BE PROVIDED. DRAINAGE SHALL BE INSTALLED TO DISCHARGE THE WATER INTO A SEWER, DRAINAGE DITCH, & DRYWELL.
3. PROVIDE FOUNDATION WALL DRAINAGE AS PER 9.14.2.1
4. MIN. 6" OF SOLID MASONRY SHALL BE PROVIDED BENEATH BEAM SUPPORTED ON MASONRY.
5. GARAGE & CARPORT CONCRETE SLABS & EXTERIOR STEPS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4650 Psi (32 MPa) AFTER 28 DAYS AND SHALL HAVE AN ENTRAINMENT OF 3%8%.
6. EXTERIOR CONCRETE STEPS WITH MORE THAN 2 RISERS SHALL HAVE A FOUNDATION DEPTH OF AT LEAST 48" (OR THE KNOWN DEPTH OF FROST LESS RISER MAY REST ON FINISH GROUND LEVEL).
7. GRADES SHOWN ON ELEVATIONS ARE APPROXIMATE. ADJUST ON SITE AS REQUIRED. ALL FINISHED GRADES TO SLOPE AWAY FROM BUILDINGS.
8. A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT WITH THE FLOOR SLOPING SO THAT NO WATER CAN ACCUMULATE. FLOOR DRAIN TO HAVE TRAP SEAL PRIMER. REFER TO PLUMBING DESIGN BY A QUALIFIED DESIGNER AS PER OBC OR LICENSED PLUMBER.
9. SUMP PUMP PIT COVERS SHALL BE SEALED AND DESIGNED TO RESIST REMOVAL BY CHILDREN.
10. BRIDGING SHALL CONSIST OF 1 1/2" x 1 1/2" CROSS BRIDGING LOCATED NOT MORE THAN 6'-11" FROM EACH SUPPORT OR OTHER ROWS OF BRIDGING.
11. WHEN BRIDGING & STRAPPING ARE SPECIFIED, IT SHALL CONSIST OF NOTE 10, AND 3/4" x 2 1/2" NAILED TO THE UNDERSIDE OF FLOOR JOIST LOCATED NOT MORE THAN 6'-11" APART & FASTENED AT EACH END TO A SILL OR HEADER.
12. NON BEARING STUD PARTITION & ONE RISER IN BASEMENT TO BE PLACED ON 6 MIL POLY.
13. FLOOR JOISTS TO BE DOUBLED UNDER ALL PARALLEL, NON-BEARING PARTITIONS ABOVE.
14. ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED, OR OTHERWISE WEAKENED UNLESS SUCH NOTCHING OR DRILLING IS ALLOWED FOR IN THE DESIGN OF THE TRUSS.
15. EXTERIOR COLUMNS AND POSTS SHALL BE ANCHORED TO RESIST UPLIFTS & LATERAL MOVEMENTS.
16. EXTEND POINT LOADS OF ALL POST DOWN TO FOUNDATION WALL. PROVIDE SOLID BLOCKING AT FLOOR.
17. INSULATION AROUND CONCRETE SLABS ON GROUND SHALL EXTEND NOT LESS THAN 24" BELOW EXTERIOR GROUND LEVEL.
18. INSULATION IN CONTACT WITH THE GROUND SHALL BE INERT TO THE ACTION OF THE SOIL AND UNDER THE INSULATION PROPERTIES SHALL NOT BE SIGNIFICANTLY REDUCED BY MOISTURE.
19. INSULATION SHALL BE INSTALLED SO THAT THERE IS A REASONABLY UNIFORM INSULATING VALUE OVER THE ENTIRE FACE OF THE INSULATED SPACE BETWEEN FORMING & FRAMING.
20. WHERE INSULATION IS EXPOSED TO THE WEATHER & SUBJECT TO MECHANICAL DAMAGE, IT SHALL BE PROTECTED WITH NOT LESS THAN 1/4" PRESSURE TREATED PLYWOOD, OR 1/2" CEMENT PARING ON WIRE LATH TO PROTECT EXTERIOR INSULATION FROM WEATHER & DAMAGE.
21. THE CONTINUITY OF THE AIR BARRIER SYSTEM SHALL CONFORM TO 9.25.3.3. - 2012 OBC.
22. ANY PENETRATION OF THE AIR BARRIER PROTECTION SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER PROTECTION OVER THE ENTIRE SURFACE.
22. WHERE RIGID INSULATION IS USED AS WALL SHEATHING, ALL JOINTS ARE TO BE SEALED W/ SHEATHING TAPE.
23. ALL ROOFING SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION & CONFORMS TO SECTION 9.28 - 2012 OBC.
24. EXTERIOR CRAWLING/SEALANT SHALL BE PROVIDED WHERE REQUIRED TO PREVENT THE ENTRY OF WATER INTO THE STRUCTURE. SEALANT SHALL CONFORM TO 9.27.4.2.1 (2012 OBC)
25. FLASHING (DPM) SHALL BE INSTALLED UNDER ALL JOINED SILLS AND OVERHEAD OF WINDOWS AND DOORS IN EXTERIOR WALLS.
- FLASHING SHALL CONSIST OF:
- 0.66" (1.73) THICK SHEET LEAD
  - 0.13" (0.33) GALVANIZED STEEL
  - 0.18" (0.46) COPPER OR ZINC
  - 0.19" (0.48) THICK ALUMINUM
  - 0.90" (1.00) THICK VINYL
26. FLASHING SHALL BE INSTALLED AT INTERSECTION OF ROOFS, WALLS, VALLEYS AND OVER PARAPET WALLS. FLASHING BETWEEN ROOF SHINGLES AND WALLS SLOING min 6" UP BEHIND SHEATHING.
- PROVIDE 24" WIDE VALLEY FLASHING AT ALL ROOF VALLEY LOCATIONS.
- FLASHING SHALL CONSIST OF:
- 0.66" (1.73) THICK SHEET LEAD
  - 0.13" (0.33) GALVANIZED STEEL
  - 0.18" (0.46) COPPER OR ZINC
  - 0.14" (0.35) ZINC
  - 0.19" (0.48) THICK ALUMINUM
27. INTERIOR STAIRS:
- MIN. 7/8" RISE
  - MIN. 8 1/4" RUN
  - MIN. 9 1/4" TREAD
  - MIN. 36" WIDTH UNLESS NOTED ON PLANS
  - MIN. 6" HEADROOM CLEARANCE
  - MIN. 45" MINIMUM ON ONE SIDE OF STAIRS LESS THAN HANDRAILS SHALL HAVE: - MIN. 34" HT. (865mm) - MAX. 38" HT. (965mm)
  - ALL GUARDS IN DWELLING UNITS SHALL HAVE MIN. 35 1/2" HT. - MIN. 12" NOSING BEYOND THE FACE OF RISER FOR ANY STAIRS (INTERIOR OR EXTERIOR) HAVING A RISE OF 10" OR LESS.
28. EXTERIOR STAIRS:
- MIN. 5" RISE
  - MAX. 7 7/8" RISE
  - MIN. 14" RUN
  - MIN. 10" TREAD
  - ONE HANDRAIL ON STAIRS WITH MORE THAN 3 RISERS.
  - ALL GUARDS: MIN. 42" HT.
  - ALL GUARDS TO BE SECURED FOR PROPER DECKS, & LANDINGS LESS THAN 71" ABOVE THE FINISH GROUND LEVEL.
  - GUARDS FOR STAIRS: MIN. 35" HT.
  - GUARDS FOR LANDINGS: MIN. 42" HT.
  - OPENINGS THROUGH GUARDS: MAX. 4".
29. EXTERIOR WOOD STEPS IN DIRECT CONTACT WITH THE GROUND SHALL BE CONSTRUCTED WITH PRESSURE TREATED WOOD AND TREATED WITH A WOOD PRESERVATIVE AS PER 9.8.9.3.
30. MANUFACTURER'S METAL RAILING/GUARD SYSTEMS TO BE DESIGNED TO PROVIDE MANUFACTURER'S ENGINEERED SPECS FOR APPROVAL BY BUILDING INSPECTOR.
31. GLASS IN GUARDS SHALL BE TEMPERED OR LAMINATED SAFETY GLASS/CGSB 12.11 M.
32. ACCESS HATCHES INTO ATTICS SHALL BE WEATHERSTRIPPED AROUND THE PERIMETER OF THE HATCHES.
33. CRANK SPACE SHALL BE VENTILATED BY NATURAL OR MECHANICAL MEANS.
- CRANK SPACE VENTS SHALL PREVENT THE ENTRY OF SNOW, RAIN, AND INSECTS, AND SHALL HAVE A TIGHT FITTING COVER TO PREVENT AIR LEAKAGE IN WINTER IF THE CRANK SPACE IS HEATED.
34. ALL EXTERIOR TYPE SAVING DOORS INCLUDING DOOR TO ATTACHED GARAGES (EXCEPT THOSE EXTERIOR DOORS FROM THE GARAGE TO THE OUTSIDE) SHALL BE PROVIDED WITH A DEADBOLT LOCK AS DESCRIBED IN SUBSECTION 9.7.5.3. 9.7.5.4 & 9.7.5.9
35. MAIN ENTRANCE DOOR SHALL BE PROVIDED WITH A DOOR VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 UNLESS TRANSPARENT GLAZING IS PROVIDED IN THE DOOR OR IN A Sidelight.
36. THE STRUCTURAL SUFFICIENCY OF GLASS SHALL CONFORM TO 9.6.1.3. - 2012 OBC.
37. THE CONSTRUCTION BETWEEN THE GARAGE & THE DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER TO GAS & EXHAUST FLAMES BY USING 1/2" DRYWALL WITH ALL JOINTS TAPE & SEALED.
38. ULC APPROVED SMOKE ALARM SHALL BE INSTALLED AS PER THE PLANS.
- SMOKE ALARMS TO HAVE A VISUAL SIGNALLING COMPONENT AS PER 18.5.3. OF NFPA 72 (STROBE TYPE).
- THE SMOKE ALARM SHALL BE INSTALLED BY PERMANENT CONNECTION BETWEEN THE SMOKE ALARM & DEVICE. THE SMOKE CONNECTION SWITCH BEHIND THE SMOKE ALARM & DEVICE IS REQUIRED. THE SMOKE ALARMS SHALL BE WIRED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS TO SOUND.
- A COMBINATION SMOKE ALARM/CARBON MONOXIDE DETECTOR MAY BE USED IN PLACE OF SEPARATE DETECTORS.
39. A CHIMNEY FLEU SHALL EXTEND NOT LESS THAN: - 35" ABOVE THE HIGHEST POINT AT WHICH THE CHIMNEY COMES IN CONTACT WITH THE ROOF. - 10' ABOVE THE FINISHED ROOF SURFACE OR STRUCTURE WITHIN 9'-10" OF THE CHIMNEY.
- FLASHING IS REQUIRED AT INTERSECTION WITH ROOF.
40. CHIMNEYS SHALL BE BRACED WHEN NECESSARY TO PROVIDE LATERAL STABILITY.
41. CHIMNEY SADDLES SHALL BE:
- INSTALLED WHERE THE UPPER SIDE OF THE CHIMNEY ON A SLOPING ROOF IS MORE THAN 30°
  - COVERED WITH SHEET METAL OR ROOFING MATERIALS OF EQUIVALENT WEIGHT AND QUALITY AS THE ROOF.
42. PROVIDE AND INSTALL PLUMBING FIXTURES AS INDICATED ON PLAN ACCORDING TO PART 7, OBC & LOCAL PLUMBING CODES. FIXTURES TO OWNER/CONTRACTOR'S SPECS. PLUMBING DESIGN TO BE COMPLETED BY A QUALIFIED DESIGNER. PLUMBING DESIGNER TO HAVE A RCM IF REQUIRED BY LOCAL BUILDING OFFICIAL.
43. A MECHANICAL VENTILATION SYSTEM TO BE DESIGNED BY A QUALIFIED HVAC DESIGNER AS PER OBC. HVAC DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL VENTILATION SYSTEM. THE SYSTEM SHALL BE EQUIPPED WITH HEATING PICOULTES CAPABLE OF MAINTAINING AN INDOOR AIR TEMPERATURE OF 22 C (72 F).
44. DUCTWORK PASSING THROUGH UNHEATED SPACES SHALL CONFORM TO QUALIFIED HVAC DESIGNER'S DESIGN AND SPECIFICATION.
45. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN EVERY ROOM WHERE A FUEL-BURNING APPLIANCE HAS BEEN INSTALLED & ADJACENT TO EACH SLEEPING AREA IN A DWELLING UNIT WITH AN ATTACHED GARAGE. LOCATION OF DETECTOR AS PER QUALIFIED HVAC DESIGNER.
46. CARBON MONOXIDE DETECTORS SHALL BE:
- PERMANENTLY CONNECTED TO AN ELECTRICAL CIRCUIT WITH NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE & THE DETECTOR.
  - WIRED DIRECT TO ACTIVATE ALL CARBON MONOXIDE DETECTORS WITHIN DWELLING UNIT.
  - EQUIPPED WITH AN ALARM THAT IS AUDIBLE IN BEDROOM WHEN CARBON MONOXIDE DETECTORS TO BE CONFIRMED BY QUALIFIED HVAC DESIGNER AS PER OBC.
47. AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS OR OTHER SOURCES IN CONCENTRATION IN THE DUCT & CLEARLY LABELLED AS SUCH FROM LOCATIONS OUTSIDE.
48. EXHAUST DUCTS SHALL DISCHARGE DIRECTLY TO THE OUTDOORS.
49. AN EXTERIOR LIGHT FIXTURE SHALL BE REQUIRED AT EVERY ENTRANCE TO DWELLING. LIGHT FIXTURES TO BE WALL MOUNTED OR RECESSED POT TYPE.
50. INTERIOR LIGHT FIXTURES TO BE COMPLETED AS PER ELECTRICAL LAYOUT & OBC. LAYOUT TO BE COMPLETED BY OWNER/CONTRACTOR.
51. EVERY STAIRWAY SHALL HAVE A LIGHT FIXTURE CONTROLLED BY A 3-WAY SWITCH AT THE HEAD & FOOT OF EVERY STAIR EXCEPT FOR STAIRS TO UNFINISHED BASEMENT. OUTSIDE ENTRANCE, GARAGE ENTRY STAIR, THE LIGHT SWITCH MAY BE SINGLE SWITCH AT TOP OF STAIRS.
52. ALL ELECTRICAL FIXTURES TO OWNER/CONTRACTOR'S SPECS.
53. ALL ELECTRICAL WORK TO CONFORM WITH OBC REQUIREMENTS & THE ONTARIO ELECTRICAL CODE.

STEEL LINTEL SCHEDULE	
MAX. SPAN	REQ'D ANGLE
<b>(L1)</b> 6'-1"	3 1/2" x 3 1/2" x 1/4"
<b>(L2)</b> 6'-3"	4" x 3 1/2" x 1/4"
<b>(L3)</b> 10'-10"	5" x 3 1/2" x 5/16"
<b>(L4)</b> 11'-5"	5" x 3 1/2" x 7/16"
<b>(L5)</b> 11'-9"	5" x 3 1/2" x 1/2"
<b>(L6)</b> 12'-1"	6" x 3 1/2" x 7/16"
<b>(L7)</b> 13'-5"	6" x 3 1/2" x 1/2"
<b>(L8)</b> 13'-6"	6" x 4" x 1/2"
<b>(L9)</b> 14'-1"	7" x 4" x 7/16"
<b>(L10)</b> 15'-1"	7" x 4" x 1/2"

NOTE: - FOR MASONRY VENEER CONSTRUCTION ONLY

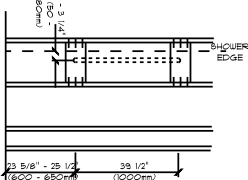
- MIN. 6" BEARING HEAD
- FOR USE WITH 3 1/2" BRICK, SEE TABLE 9.20.5.2.B (OBC)
- FOR OTHER VENEER TYPES,
- IF OPENINGS ARE LARGER THAN NOTED 9" SPANS, STEEL LINTELS ARE DESIGNED BY OTHERS.

STEEL BEAM LINTEL SCHEDULE	
MAX. SPAN	REQ'D BEAM
13'-5"	16x15 (1150x22)
14'-10"	16x20 (1150x30)
16'-6"	18x18 (11200x27)
17'-1"	18x21 (11200x31)
18'-0"	18x24 (11200x36)

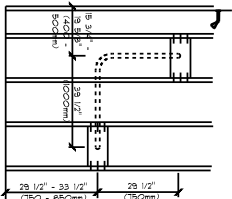
NOTE: - FOR MASONRY VENEER CONSTRUCTION ONLY

- BEAM SUPPORTS VENEER, A WOOD STUD WALL, & A MAX SPECIFIED ROOF LIVE LOAD 23 kN/m (156 lb/ft)
- BEAMS TO BE SUPPORTED BY A STEEL COLUMN AT EACH END TO HAVE A 6mm (1/4") PLATE WELDED TO FLANGE FOR MASONRY SUPPORT.

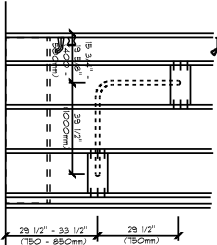
**GRAB BARS**  
GRAB BARS TO BE INSTALLED TO RESIST A LOAD OF AT LEAST 1.3 KN APPLIED VERTICALLY OR HORIZONTALLY, TO BE 1 1/2" DIA. w/ 1 1/2" - 2" (38mm - 50mm) CLEARANCE FROM WALL.  
HAVE A SLIP-RESISTANT SURFACE



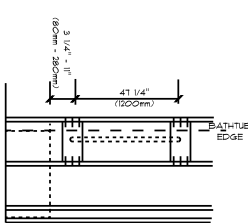
SHOWER END



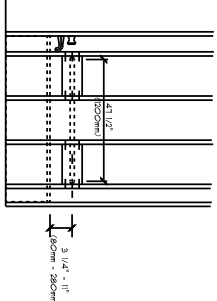
SHOWER



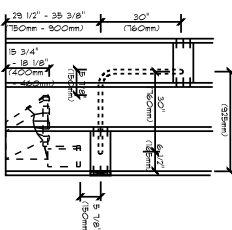
BATHUB w/SHOWER



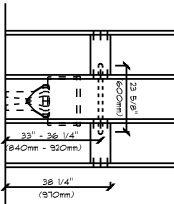
BATHUB END



BATHUB (ONLY)



W/C SIDE ELEVATION



W/C FRONT ELEVATION

39 1/2" (1000mm) LONG GRAB BAR  
LOCATED VERTICALLY ON  
THE SIDE WALL 7" - 3 1/4" (180-80mm)  
FROM ADJACENT CLEAR  
FLOOR AREA (MOUNTED  
12 3/8" - 29 1/2" (1600-850mm)  
ABOVE FINISH FLOOR.

L-SHAPED GRAB BAR w/ A 39 1/2"  
(1000mm) LONG HORIZ COMPONENT  
MOUNTED 29 1/2" - 33 1/2" (750-850mm)  
ABOVE FINISH FLOOR AND A 29 1/2"  
(750mm) LONG VERT COMPONENT  
MOUNTED 19 3/4" - 19 3/8" (1400-500mm)  
FROM SIDE WALL WITH VERTICAL  
GRAB BAR.

L-SHAPED GRAB BAR w/ A 39 1/2"  
(1000mm) LONG HORIZ COMPONENT  
MOUNTED 29 1/2" - 33 1/2" (750-850mm)  
ABOVE FINISH FLOOR AND A 29 1/2"  
(750mm) LONG VERT COMPONENT  
MOUNTED 19 3/4" - 19 3/8" (1400-500mm)  
FROM SIDE WALL WITH VERTICAL  
GRAB BAR.

41 1/4" (1020mm) LONG GRAB BAR  
LOCATED VERTICALLY \* EACH  
END MOUNTED 3 1/4" - 1" (80-380mm)  
ABOVE BATHUB RIM.

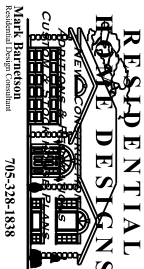
41 1/4" (1020mm) LONG GRAB BAR  
LOCATED VERTICALLY \* EACH  
END MOUNTED 3 1/4" - 1" (80-380mm)  
ABOVE BATHUB RIM.

L-SHAPED GRAB BAR w/ 30"  
(760mm) LONG HORIZ & VERT  
COMPONENTS MTD w/ HORIZ  
COMPONENT 29 1/2" - 35 3/8"  
(750mm - 900mm) A.F.F. AND  
THE VERTICAL COMPONENT  
15" (380mm) IN FRONT OF THE  
TOILET BOWL.

DETAIL NOTE 5

SCALE: AS NOTED  
DATE ISSUED: NOV 2020

DRAWN BY: MB



Mark Barnetson  
705-328-1838

JOB #: 18-D-131

DWG #:

D2

**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None**

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- Metrolinx – No concerns or objections

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

**Attwala, Pravina**

---

**Subject:** FW: A106/21 (19 JACKSON STREET, MAPLE) - REQUEST FOR COMMENTS

---

**From:** Alexandra Goldstein <Alexandra.Goldstein@metrolinx.com>  
**Sent:** May-25-21 1:34 PM  
**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>  
**Subject:** [External] RE: A106/21 (19 JACKSON STREET, MAPLE) - REQUEST FOR COMMENTS

Good afternoon,

Thank you for circulating the above listed application for the property located at 19 Jackson Street. I note that the subject site is greater than 300 meters from Metrolinx’s nearest operational rail corridor and therefore it falls outside of our Zone of Influence. As such, we do not offer any comments at this time. Please remove Metrolinx from future circulations related to this application.

Kind regards,

**ALEXANDRA GOLDSTEIN**

Project Manager  
Third Party Projects Review, Capital Projects Group  
Metrolinx | 20 Bay Street | Suite 600 | Toronto | Ontario | M5J 2W3  
T: 416-202-5708



## Attwala, Pravina

---

**Subject:** FW: A106/21 (19 JACKSON STREET, MAPLE) - REQUEST FOR COMMENTS

---

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** May-28-21 3:40 PM

**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A106/21 (19 JACKSON STREET, MAPLE) - REQUEST FOR COMMENTS

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)