



File: A105/21

Applicant: Dhanwant & Daksha Patel

Address: 83 Camden Dr Woodbridge

Agent: Nour Elgendy

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Wednesday, June 30, 2021

***Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).**



Minor Variance Application

Agenda Item: 6

A105/21

Ward: 4

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Wednesday, June 30, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Dhanwant & Daksha Patel

Agent: Nour Elgendy

Property: **83 Camden Dr Woodbridge**

Zoning: The subject lands are zoned RV4(WS) and subject to the provisions of Exception 9(1039) under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed sunroom addition located at the rear of the existing dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A minimum rear yard setback of 6.0m is required. (Schedule T.113)	To permit a minimum rear yard setback of 4.07m .

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on June 15, 2021

Applicant confirmed posting of signage on May 21, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2002 (Purchased 2003)

Applicant has advised that they cannot comply with By-law for the following reason(s): Compromised usable space

Adjournment Request: N/A

In response to Development Planning, the applicant increased the proposed rear yard setback from 3.77m to 4.07m. Variance has been confirmed by zoning staff.

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval

Building Inspections (Septic):

No response

Development Planning:

Official Plan: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is requesting permission to construct a single-storey sunroom addition in the rear yard. Development Planning staff worked with the Owners to revise their proposal to increase the rear yard setback from 3.77 m to 4.07 m to ensure the proposal remains compatible and consistent to other rear yard amenity areas.

The Development Planning Department is of the opinion the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A105/21. subject to the following condition(s):

The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

Parks Development - Forestry:

The Forestry division is satisfied with the applicant's current plans and no further action is required at this time.

Please note that Forestry comments do not supersede the requirements of other commenting departments/agencies, including Development Planning with respect to the requirement of an Arborist Report and other tree protection requirements. Arborist Reports and other tree protection requirements may be required by other commenting departments to facilitate the review process of your application for the purpose of finalizing recommendations to the Committee of Adjustment.

By-Law and Compliance, Licensing and Permit Services:

No comment no concerns

Development Finance:

No comment no concerns

Fire Department:

No comment no concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections
 Region of York – No concerns or objections
 MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

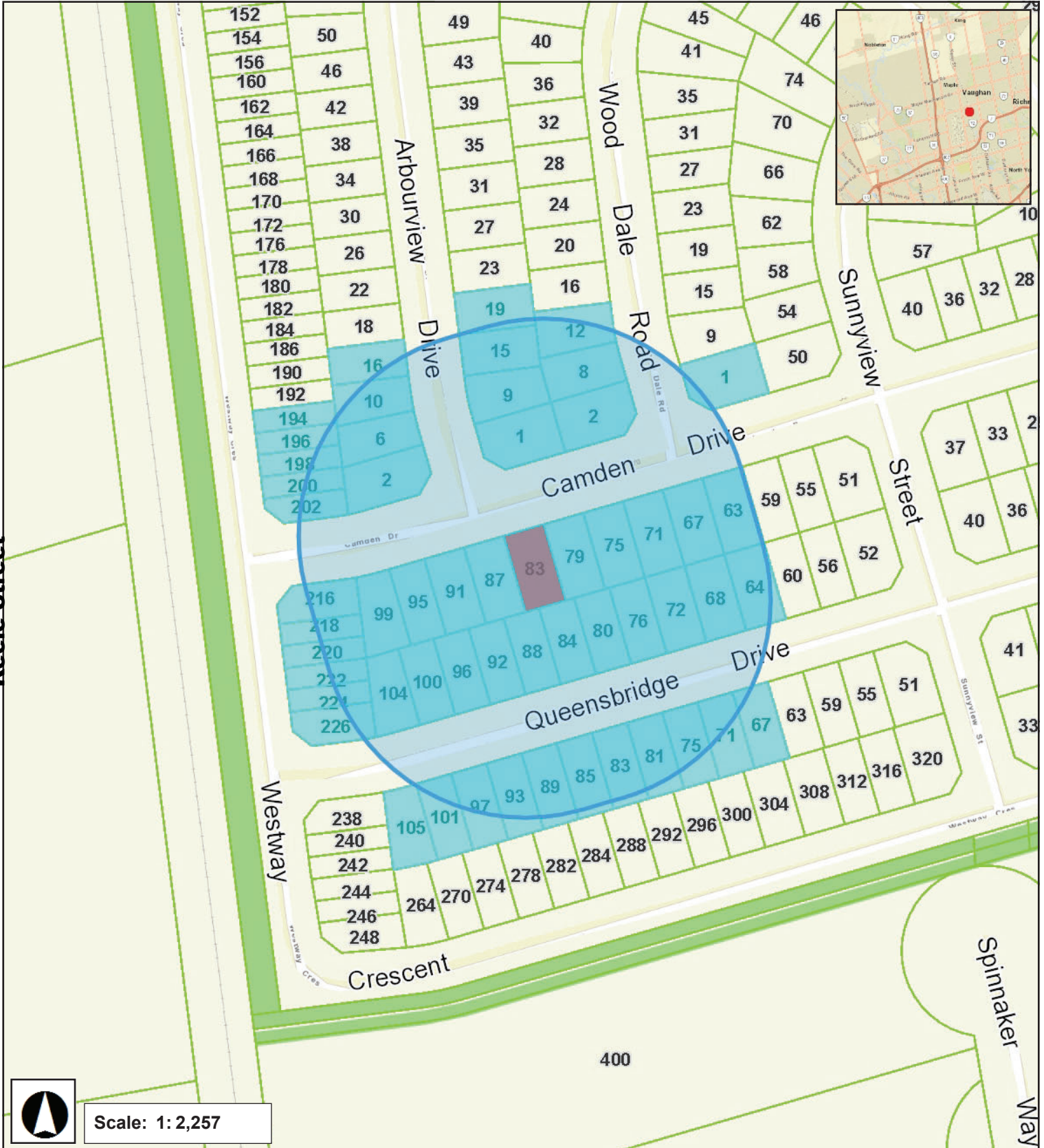
Location Map
Plans & Sketches



LOCATION MAP - A105/21

83 CAMDEN DRIVE, WOODBRIDGE

Rutherford Road



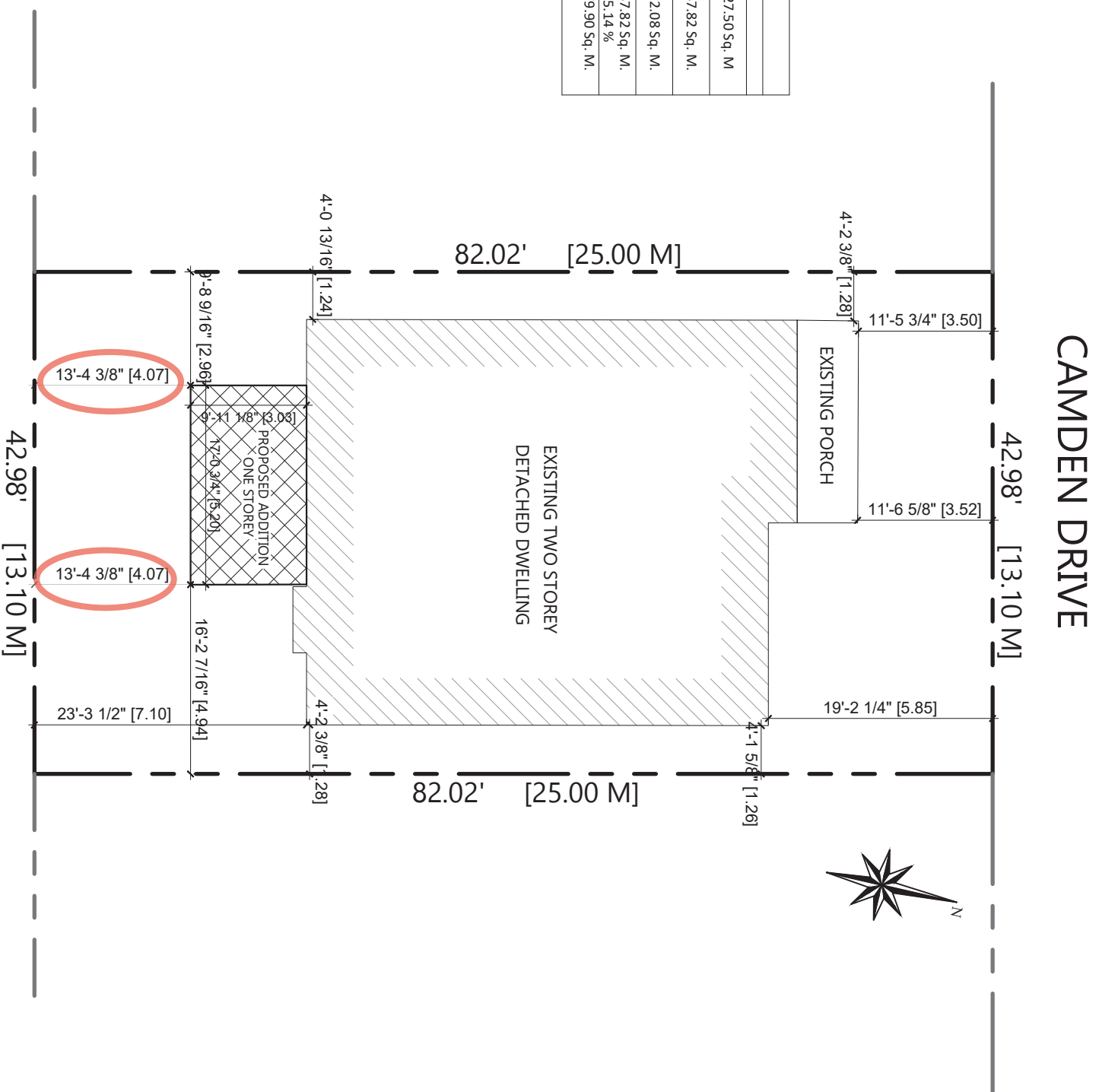
Scale: 1: 2,257

Langstaff Road

A105/21

REVISED
1:34 pm, Jun 14, 2021

SITE STATISTICS			
	EXISTING	PROPOSED	TOTAL
LOT AREA	3525.22 Sq. Ft. / 327.50 Sq. M	-	3525.22 Sq. Ft. / 327.50 Sq. M
GROUND FLOOR AREA	1421.72 Sq. Ft. / 132.08 Sq. M.	169.38 Sq. Ft. / 15.74 Sq. M	1591.10 Sq. Ft. / 147.82 Sq. M.
SECOND FLOOR AREA	1421.72 Sq. Ft. / 132.08 Sq. M.	-	1421.72 Sq. Ft. / 132.08 Sq. M.
LOT COVERAGE	1421.72 Sq. Ft. / 132.08 Sq. M. COVERAGE = 40.33%	169.38 Sq. Ft. / 15.74 Sq. M COVERAGE = 4.81 %	1591.10 Sq. Ft. / 147.82 Sq. M. COVERAGE = 45.14 %
FSI	2843.44 Sq. Ft. / 264.16 Sq. M. (0.807)	169.38 Sq. Ft. / 15.74 Sq. M (0.048)	3012.82 Sq. Ft. / 279.90 Sq. M. (0.855)



SITE PLAN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME: CRISTIN MILLER SIGNATURE: *Cristin Miller* BCIN: 38262

General Notes

- All construction shall comply with Ontario Building Code 2012, its subsequent revisions and authorities having jurisdiction. New specific materials and products have to be authorized by agencies like: Canadian Construction Materials Centre C.M.C. or Building Materials Evaluation Commission
- B.M.E.C. Manufacturer's items, materials and construction must comply with requirements of Canada Mortgage and Housing Corporation C.M.H.C.
- All lumber shall be No. 1 and 2, or better.
- All plywood shall be stamped exterior grade.
- Joists spanning more than 2100 mm are to have bridging at least every 2100 mm O.C.
- Contractor shall be responsible for verifying the locations of all existing above or below grade utilities and services. Applicable utilities shall be given required notice prior to any digging for stake out.
- Electrical facilities shall comply with O.B.C. 9.34. All electrical work shall be performed by a licensed electrician.
- Smoke Alarm installed at all levels, and in each bedroom.
- Carbon Monoxide Alarms installed at all levels adjacent to sleeping areas.
- Handrails shall be provided at all exterior stairs with more than three risers at height of 3'-0".
- Exterior guards shall be 3'-6" high. Guards shall be designed to prevent climbing and be provided around every surface with difference in elevation of more than 2'-0". Guards shall be anchored to the deck to resist uniformly distributed top rail load of 0.5 kN/m horizontal as well as 1kN/m applied at any point. O.B.C. 9.88.2.

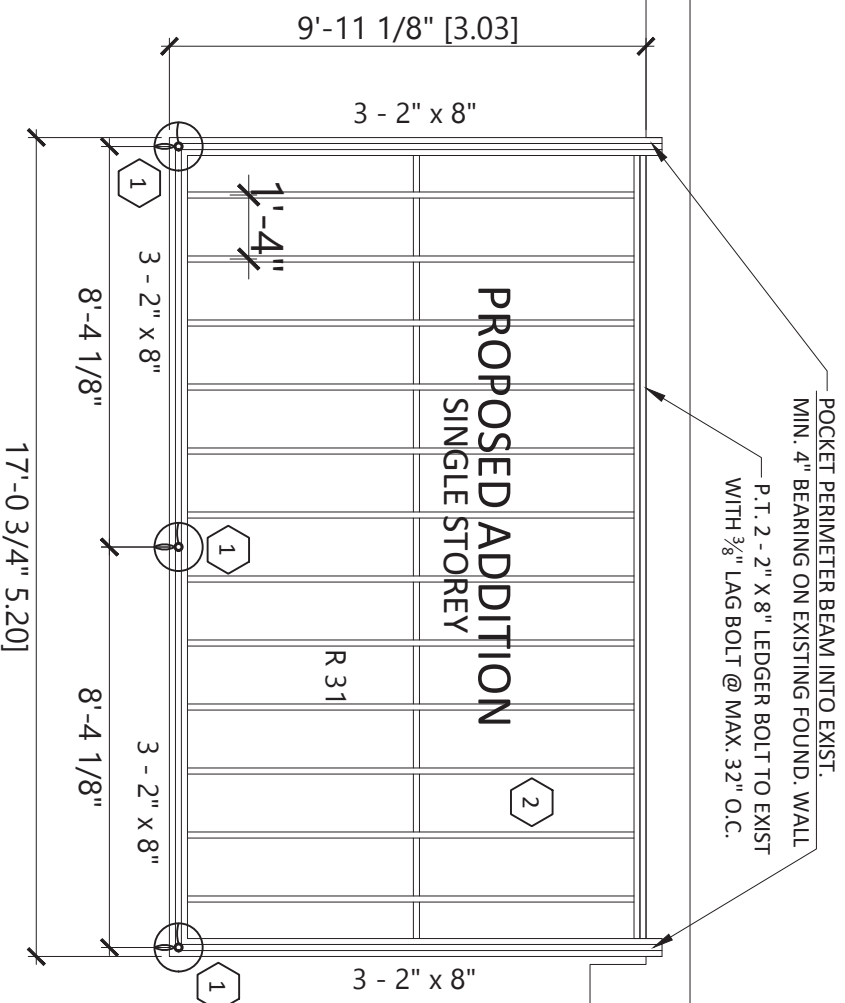
No.	Revision/Issue	Date
1	REDUCED PROJECTION	6.13.21

Firm Name and Address
CMZ
 Design
 6456 Main Street, Stouffville
 Ontario, L4A 5Z4
 (416) 795-3620

Project Name and Address
PATEL
 83 CAMDEN DRIVE,
 CONCORD, ONTARIO
 L4K 5S8

Project 21-005	Sheet
Date 06/14/2021	SP1
Scale 1:150	

EXISTING DETACHED DWELLING



POCKET PERIMETER BEAM INTO EXIST.
MIN. 4" BEARING ON EXISTING FOUND. WALL

P.T. 2 - 2" X 8" LEDGER BOLT TO EXIST
WITH 3/8" LAG BOLT @ MAX. 32" O.C.

**PROPOSED ADDITION
SINGLE STOREY**

R 31

1

TECHNO POST FOUNDATION
TECHNO METAL POST (AS PER ENGINEERED DRAWINGS INCLUDED)
HELICAL PILE FOUNDATION SYSTEM - CCMC APPROVED
MODEL #P2 - 2 3/8" DIA. POST
MINIMUM 4'-0" BELOW GRADE ON UNDISTURBED GROUND
MINIMUM 6" ABOVE GRADE - TYPICAL
HELIX TO BE DETERMINED AT TIME OF INSTALLATION

INSTALLATION
INSTALLATION TO BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT
DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES.
GRADE TO REMAIN THE SAME.

FLOOR FRAMING
3/4" T&G PLYWOOD SUBFLOOR SCREWED DOWN - SUBFLOOR LEVEL TO MATCH EXISTING AS CLOSE AS POSSIBLE
PRESSURE TREATED (P.T.) 2 - 2" X 8" LEDGER BOLT TO EXISTING WITH 3/8" LAG BOLTS @ MAX. 32" O.C.
MIN. R 31 SPRAYFOAM INSULATION AND 6 MIL CONTINUOUS VAPOUR BARRIER
P.T. 3 - 2" X 8" PERIMETER BEAM POCKET INTO EXIST. MIN 4" BEARING ON FOUNDATION WALL.
SPF # 2, 2" X 8" JOISTS @ 16" O.C. WITH BRIDGING @ MIDSPAN
WIRE MESH RODENT PROTECTION UNDER SUB-FLOOR

FOUNDATION & FRAMING PLAN

General Notes

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No.	Revision/Issue	Date
1	REDUCED PROJECTION	6.13.21

Firm Name and Address



Design
6456 Main Street, Stouffville
Ontario, L4A 5Z4
(416) 795-3620

Project Name and Address

PATEL
83 CAMDEN DRIVE
CONCORD, ONTARIO
L4K 5S8

Project	21-005	Sheet	A1
Date	2.22.2021		
Scale	1/4" = 1'-0"		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME **CRISTIN MILLER** SIGNATURE *Cristin Miller* BCIN **38262**

REVISED
1:34 pm, Jun 14, 2021

General Notes

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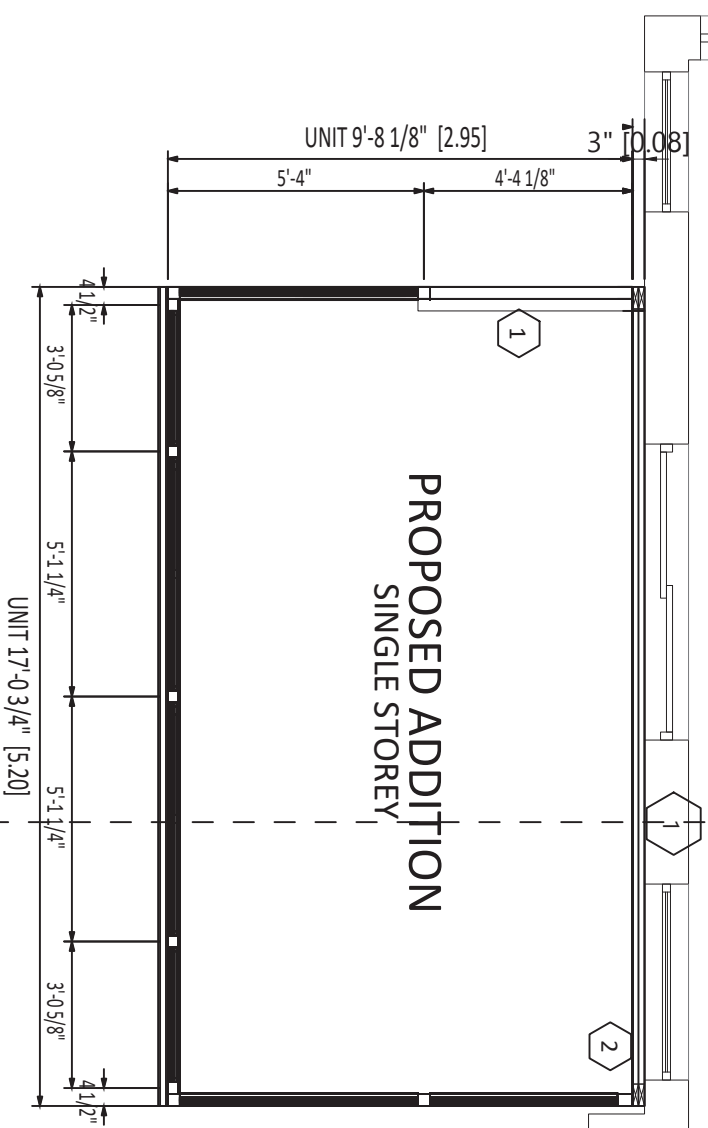
No.	Revision/Issue	Date
1	REDUCED PROJECTION	6.13.21

Firm Name and Address
CMZ
 Design
 6456 Main Street, Stouffville
 Ontario, L4A 5Z4
 (416) 795-3620

Project Name and Address
PATEL
 83 CAMDEN DRIVE
 CONCORD, ONTARIO
 L4K 5S8

Project	21-005	Sheet	A2
Date	2.22.2021		
Scale	1/4" = 1'-0"		

EXISTING DETACHED TWO-STORY DWELLING



PROPOSED ADDITION
SINGLE STOREY

1

WALL CONSTRUCTION
 STUCCO EXTERIOR WALL FINISH
 SELF FURRING WIRE MESH AND OUTSIDE CORNER BEADS AS NECESSARY
 METAL LATHE AND SCRATCH COAT, BROWN COAT AND FINISH COAT
 (OR IN PLACE OF BROWN COAT S/1-1/2" SM INS FIBER TAPE
 AND 2 COATS EXTERIOR STUCCO)
 3/4" EXTERIOR PLYWOOD SHEATHING
 DOUBLE TOP PLATE, SOLE BOTTOM PLATE
 2" x 6" WOOD STUDS @ 16" O.C.
 R-24 SPRAYFOAM INSULATION & 6 MIL CONTINUOUS VAPOUR BARRIER
 1/2" DRYWALL INTERIOR FINISH

2

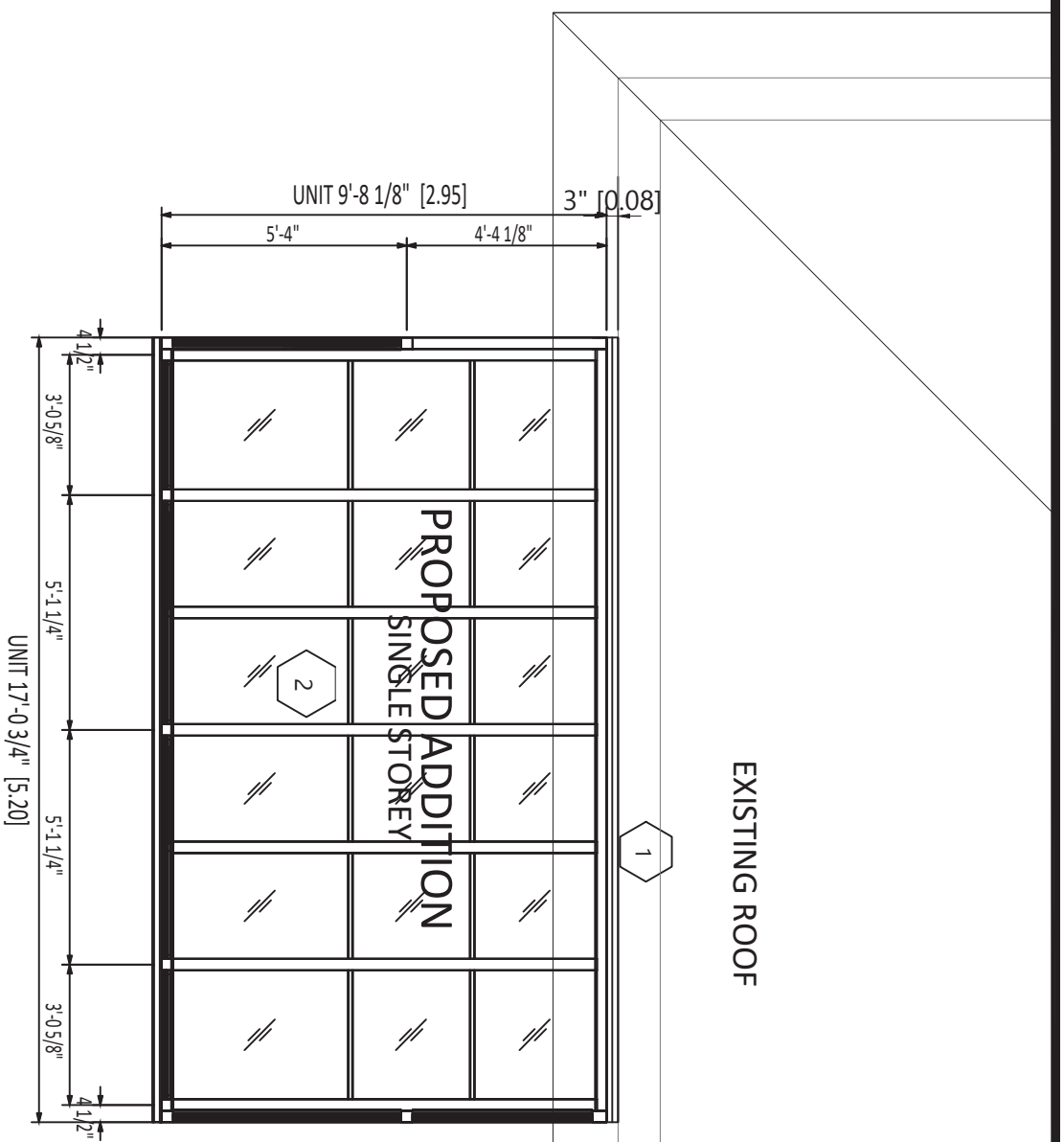
WOOD PLATE
 NEW 2'-2" x 10" WOOD PLATE AT SUNROOM RIDGE
 ON MINIMUM 2" x 6" POST EACH END.
 BOLT TO EXISTING FOR LATERAL SUPPORT - 3/8" LAG BOLT @ 32" O.C.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME: **CRISTIN MILLER** SIGNATURE: *Cristin Miller* BCIN: **38262**

REVISED
 1:35 pm, Jun 14, 2021

FLOOR PLAN



1 FLASHING
ALUM. FLASHINGS & SILICONE SEALANT AT RIDGE
MIN. 0.048 mm THICK ALUM COATED FLASHING

2 ROOF GLAZING
CODE 78 HIGH PERFORMANCE GLAZING
TO BE CONSERVA GLASS + 16mm (MC-16)
MULTI-COAT GLASS (MC2)
EASY-CLEAN EXTERIOR COATING TECHNOLOGY
ARGON FILLED
82% OF THE SUN'S RADIANT HEAT WILL BE REFLECTED
LOW VISIBLE REFLECTIVITY
IT HAS AN R4.0 INSULATION VALUE
STAINLESS STEEL WARM EDGE SPACERS FOR LESS CONDUCTIVITY
DUAL SEAL SILICONE
FULLY TEMPERED DOUBLE INSULATED SAFETY GLASS
INSIDE LIGHT TO BE LAMINATED WITH PVB INTERLAYER
SHALL CONFORM WITH CAN/CGSB-12.20-M,
CAN/CGSB-12.20-M89,
AND O.B.C. DIV. B. 917.3.2, & 4.3.6.1

DESIGN LOADS
SNOW LOAD = ##.## PSF
DEAD LOAD = 7.00 PSF

REVISED
1:35 pm, Jun 14, 2021

ROOF PLAN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME **CRISTIN MILLER** SIGNATURE *Cristin Miller* BCIN **382262**

- General Notes
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 - All lumber shall be No. 1 and 2, or better.
 - All plywood shall be stamped exterior grade.
 - Joists spanning more than 2100 mm are to have bridging at least every 2100 mm O.C.
 - Contractor shall be responsible for verifying the locations of all existing above or below grade utilities and services. Applicable utilities shall be given required notice prior to any digging for stake out.
 - Electrical facilities shall comply with O.B.C. 9.34. All electrical work shall be performed by a licensed electrician.
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No.	Revision/Issue	Date
1	REDUCED PROJECTION	6.13.21

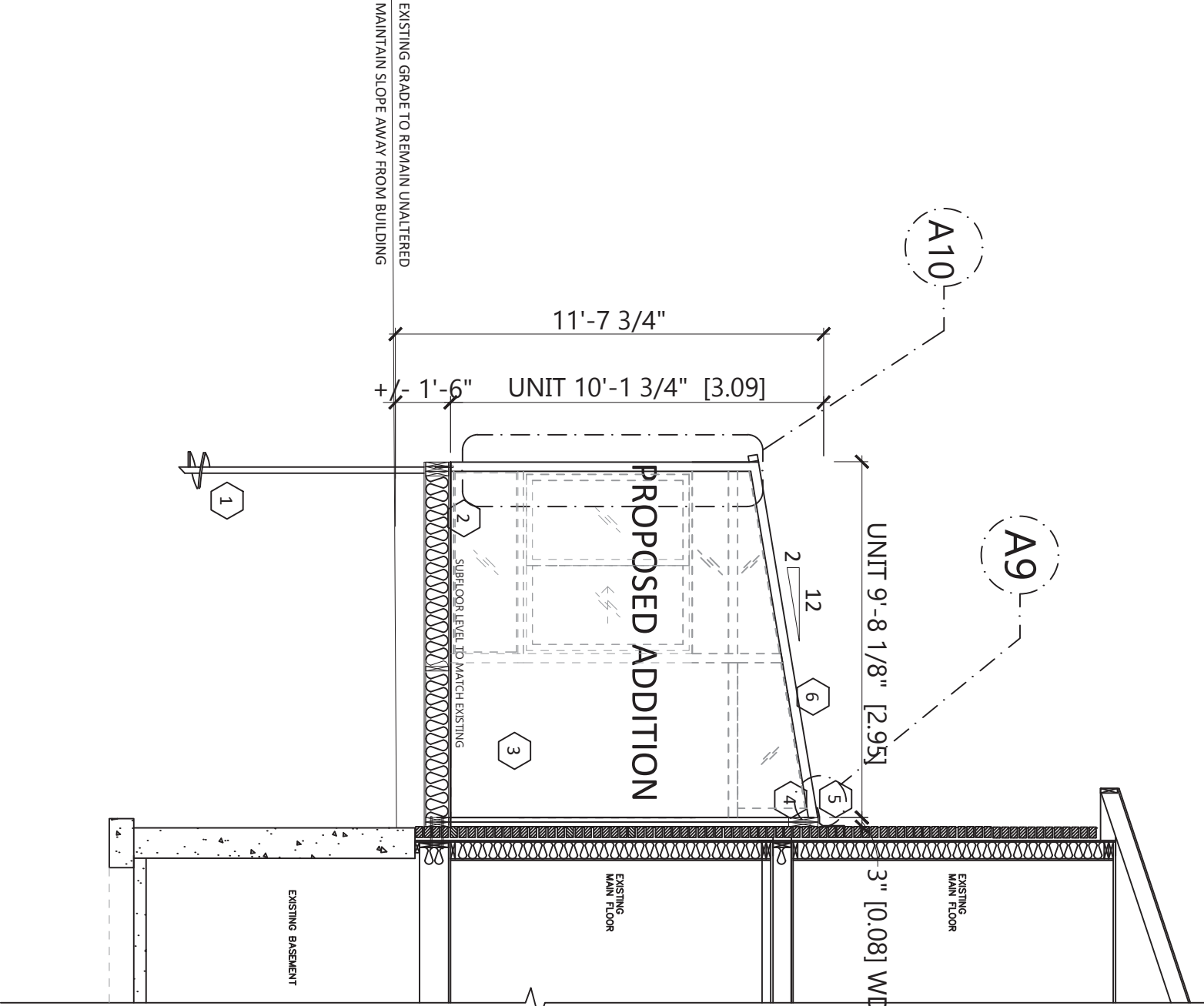
Firm Name and Address
CMZ
 Design
 6456 Main Street, Stouffville
 Ontario, L4A 5Z4
 (416) 795-3620

Project Name and Address
PATEL
 83 CAMDEN DRIVE
 CONCORD, ONTARIO
 L4K 5S8

Project	21-005	Sheet	A3
Date	2.22.2021		
Scale	1/4" = 1'-0"		

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NAME CRISTIN MILLER SIGNATURE *Cristin Miller* BCIN 38262



1 TECHNO POST FOUNDATION
TECHNO METAL POST (AS PER ENGINEERED DRAWINGS INCLUDED)
HELICAL PILE FOUNDATION SYSTEM - CCMC APPROVED
MODEL #P2 - 2 3/8" DIA. POST
MINIMUM 4'-0" BELOW GRADE ON UNDISTURBED GROUND
MINIMUM 6" ABOVE GRADE - TYPICAL
HELIX TO BE DETERMINED AT TIME OF INSTALLATION

2 FLOOR FRAMING
3/8" T&G PLYWOOD SUBFLOOR SCREWED DOWN - SUBFLOOR LEVEL TO MATCH EXISTING AS CLOSE AS POSSIBLE
2 - 2" x 8" LEDGER BOLT TO EXISTING WITH 3/8" LAG BOLTS @ MAX. 32" O.C.
MIN. R 31 SPRAYFOAM INSULATION AND 6 MIL CONTINUOUS VAPOUR BARRIER
3 - 2" x 8" PERIMETER BEAM POCKET INTO EXIST. MIN 4" BEARING ON FOUNDATION WALL.
SPE # 2, 2" x 8" JOISTS @ 16" O.C. WITH BRIDGING @ MIDSPAN
MIN. 1/2" P.T. PLYWOOD BENEATH

3 WALL CONSTRUCTION
STUCCO EXTERIOR WALL FINISH
SELF FURRING WIRE MESH AND OUTSIDE CORNER BEADS AS NECESSARY
METAL LATHE AND SCRATCH COAT, BROWN COAT AND FINISH COAT
(OR IN PLACE OF BROWN COAT 5/1-1/2" SM INS FIBER TAPE
AND 2 COATS EXTERIOR STUCCO)
3/4" EXTERIOR PLYWOOD SHEATHING
DOUBLE TOP PLATE, SOLE BOTTOM PLATE
2" x 6" WOOD STUDS @ 16" O.C.
R 24 SPRAYFOAM INSULATION & 6 MIL CONTINUOUS VAPOUR BARRIER
1/2" DRYWALL INTERIOR FINISH

4 WOOD PLATE
NEW 2 - 2" x 10" WOOD PLATE AT SUNROOM RIDGE
ON MINIMUM 2" x 6" POST EACH END.
BOLT TO EXISTING FOR LATERAL SUPPORT - 3/8" LAG BOLT @ 32" O.C.

5 FLASHING
ALUM. FLASHINGS & SILICONE SEALANT AT RIDGE
MIN. 0.48 mm THICK ALUM COATED FLASHING
SEAL AT SUNROOM RIDGE

6 ROOF GLAZING
CODE 78 HIGH PERFORMANCE GLAZING
TO BE CONSERVAGLASS + 16mm (MC-10)
MULTI-COAT GLASS (MC-2)
EASY-CLEAN EXTERIOR COATING TECHNOLOGY
ARGON FILLED
82% OF THE SUN'S RADIANT HEAT WILL BE REFLECTED
LOW VISIBLE REFLECTIVITY
IT HAS AN R40 INSULATION VALUE
STAINLESS STEEL WARM EDGE SPACERS FOR LESS CONDUCTIVITY
DUAL SEAL SILICONE
FULLY TEMPERED DOUBLE INSULATED SAFETY GLASS
INSIDE LIGHT TO BE LAMINATED WITH PVB INTERLAYER
SHALL CONFORM WITH CAN/CGSB-12.20-1M,
CAN/CGSB-12.20-1M89,
AND O.B.C. DIV. B. 9.7.3.2. & 4.3.6.1

REVISED
1:35 pm, Jun 14, 2021

SECTION

General Notes

- All construction shall comply with Ontario Building Code 2012, its subsequent revisions and authorities having jurisdiction. New specific materials and products have to be authorized by agencies like: Canadian Construction Materials Centre C.M.C. or Building Materials Evaluation Commission
B.M.E.C. Manufacturer's items, materials and construction must comply with requirements of Canada Mortgage and Housing Corporation C.M.H.C.
- All lumber shall be No. 1 and 2, or better.
- All plywood shall be stamped exterior grade.
- Joists spanning more than 2100 mm are to have bridging at least every 2100 mm O.C.
- Contractor shall be responsible for verifying the locations of all existing above or below grade utilities and services. Applicable utilities shall be given required notice prior to any digging for stake out.
- Electrical facilities shall comply with O.B.C. 9.34. All electrical work shall be performed by a licensed electrician.
- Smoke Alarm installed at all levels, and in each bedroom.
- Carbon Monoxide Alarms installed at all levels adjacent to sleeping areas.
- Handrails shall be provided at all exterior stairs with more than three risers at height of 3'-0".
- Exterior guards shall be 3'-6" high. Guards shall be designed to prevent climbing and be provided around every surface with difference in elevation of more than 2'-0". Guards shall be anchored to the deck to resist uniformly distributed top rail load of 0.5 kN/m horizontal as well as 1kN/m applied at any point. O.B.C. 9.88.2.

No.	Revision/Issue	Date
1	REDUCED PROJECTION	6.13.21

Firm Name and Address
CMG Design
6456 Main Street, Stouffville
Ontario, L4A 5Z4
(416) 795-3620

Project Name and Address
PATEL
83 CAMDEN DRIVE
CONCORD, ONTARIO
L4K 5S8

Project	21-005	Sheet	A4
Date	2.22.2021		
Scale	1/4" = 1'-0"		

General Notes

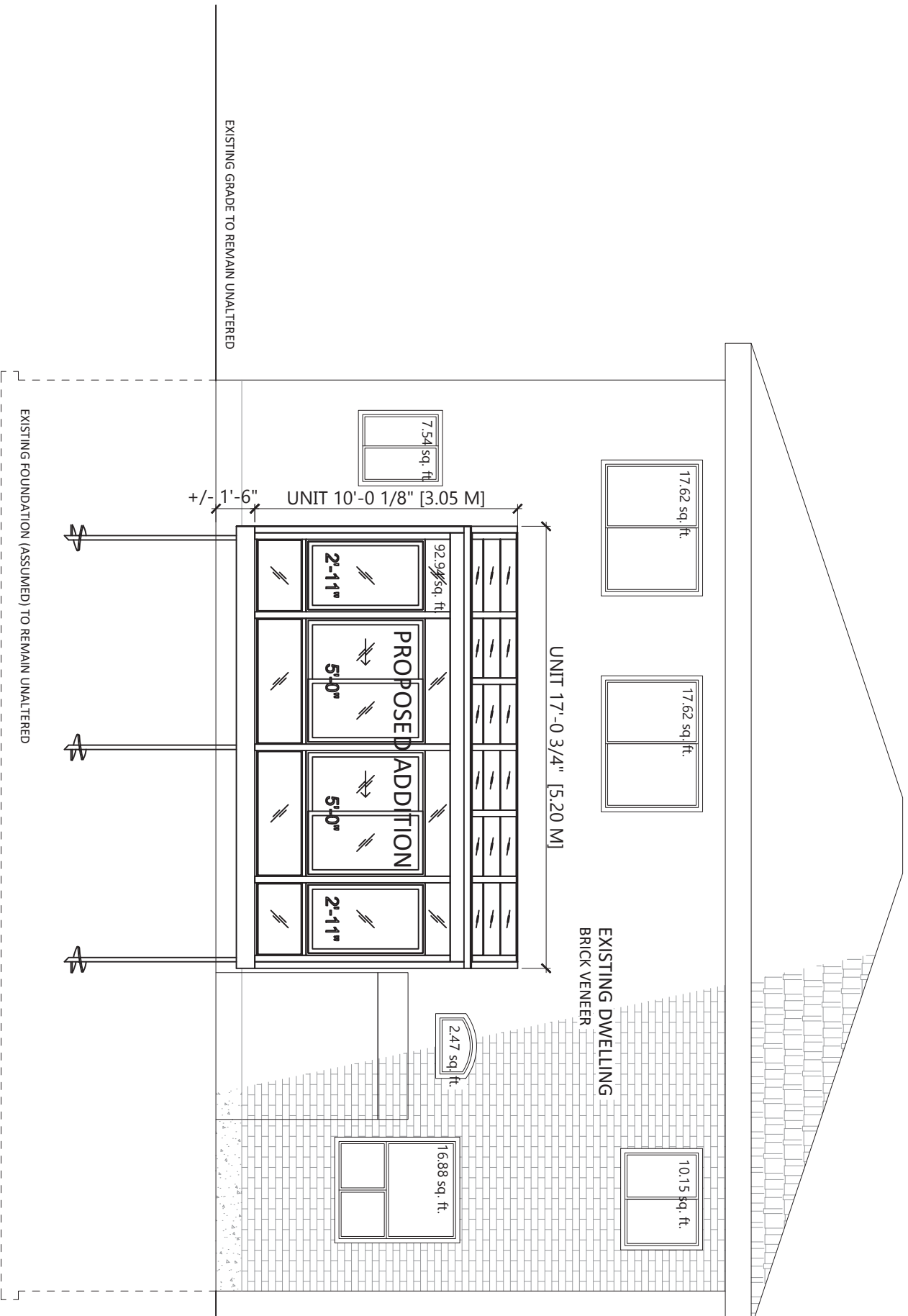
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No.	Revision/Issue	Date
1	REDUCED PROJECTION	6.13.21

Firm Name and Address
CMZ
 Design
 6456 Main Street, Stouffville
 Ontario, L4A 5Z4
 (416) 795-3620

Project Name and Address
PATEL
 83 CAMDEN DRIVE
 CONCORD, ONTARIO
 L4K 5S8

Project	21-005	Sheet	A5
Date	2.22.2021		
Scale	3/16" = 1'-0"		



EXISTING BUILDING FACE - TOTAL
 691.61 SF [64.25 SM]
 EXPOSING BUILDING FACE - ADDITION
 198.56 SF [18.45 SM]
 LIMITING DISTANCE
 4.07 M @ 25.15 %
 ALLOWABLE OPENINGS
 173.93 SF
 TOTAL PROPOSED OPENINGS
 165.22 SF

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME: **CRISTIN MILLER** SIGNATURE: *Cristin Miller* BCIN: **38262**

REAR (SOUTH) ELEVATION

REVISED
 1:35 pm, Jun 14, 2021

General Notes

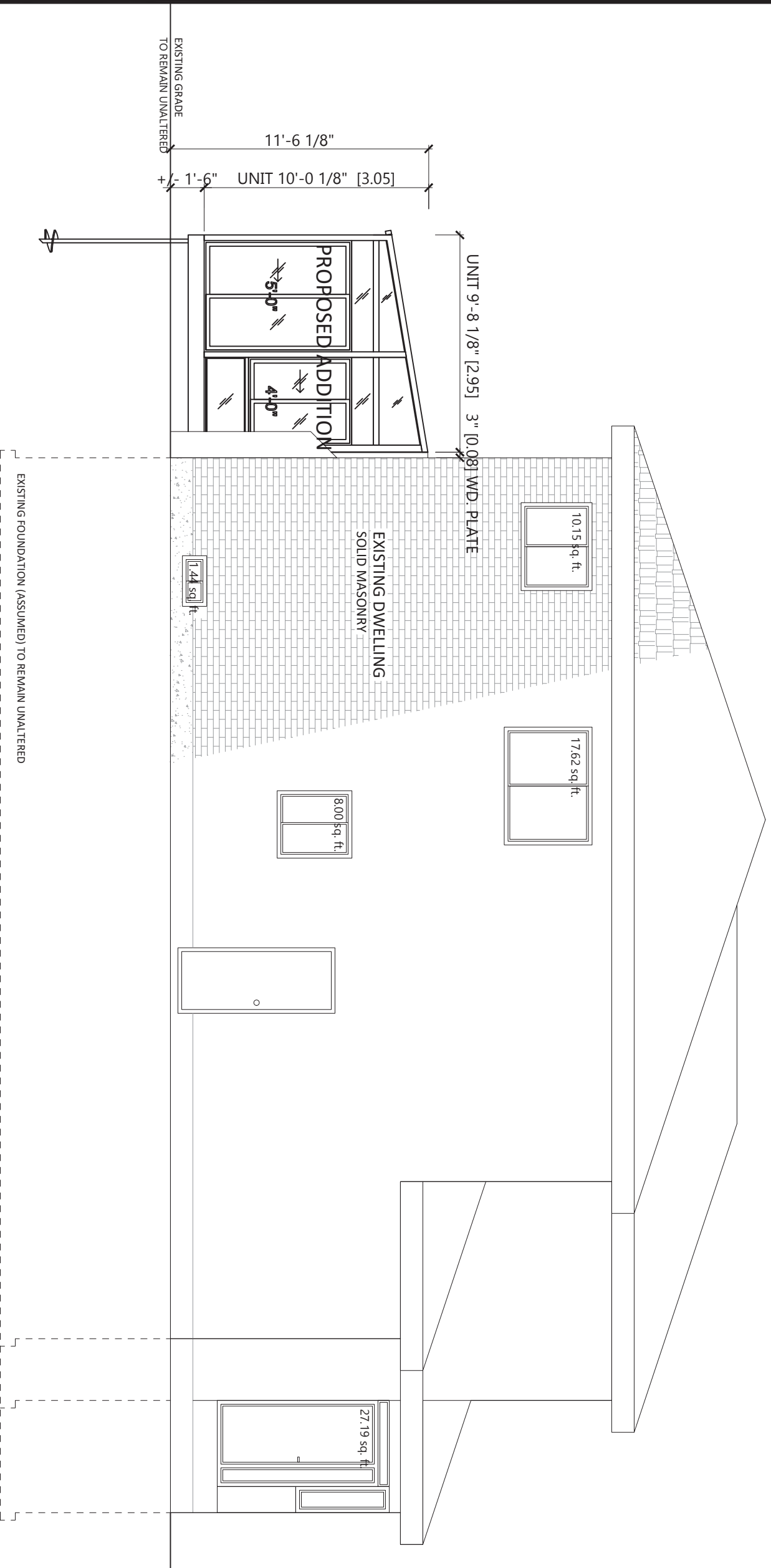
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No.	Revision/Issue	Date
1	REDUCED PROJECTION	6.13.21

Firm Name and Address
CMG
 Design
 6456 Main Street, Stouffville
 Ontario, L4A 5Z4
 (416) 795-3620

Project Name and Address
PATEL
 83 CAMDEN DRIVE
 CONCORD, ONTARIO
 L4K 5S8

Project	21-005	Sheet	A6
Date	2.22.2021		
Scale	3/16" = 1'-0"		



PROPOSED ADDITION:
 EXPOSING BUILDING FACE - TOTAL 990.32 SF [92.00 SM]
 EXPOSING BUILDING FACE - ADDITION 106.65 SF [9.91 SM]
 LIMITING DISTANCE 4.94-M @ 28.09 %
 ALLOWABLE OPENINGS 29.95 SF
 TOTAL PROPOSED OPENINGS 73.24 SF

OPTION 2 (TOTAL FACE)
 EXPOSING BUILDING FACE - TOTAL 990.32 SF [92.00 SM]
 LIMITING DISTANCE 1.26-M @ 7.2 %
 ALLOWABLE OPENINGS 71.30 SF
 TOTAL PROPOSED OPENINGS 110.45 SF + 27.19 SF PORCH ENCL

NAME **CRISTIN MILLER**
 SIGNATURE *Cristin Miller*
 BCIN 38262

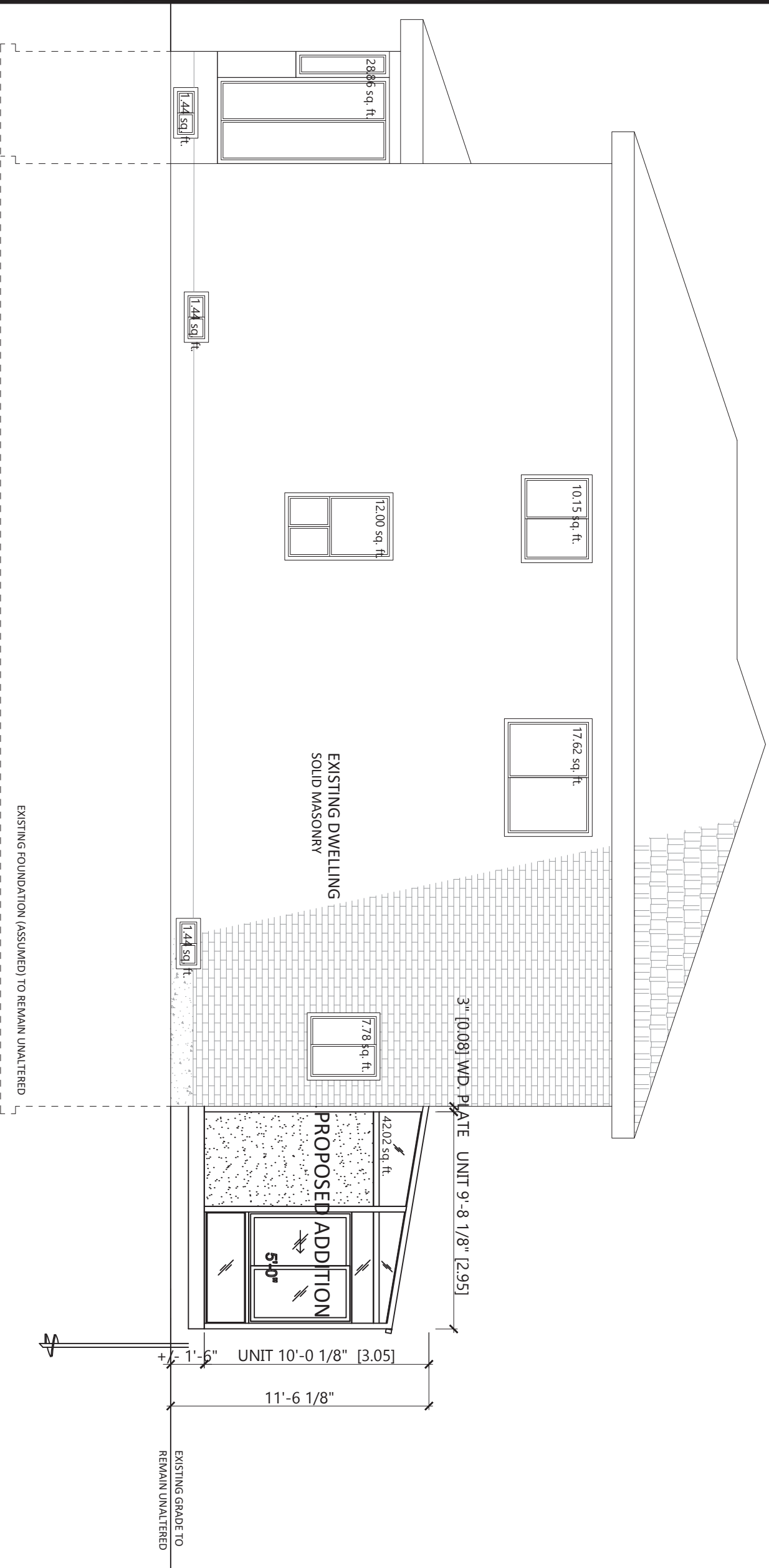
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

REVISED
 1:36 pm, Jun 14, 2021

LEFT (EAST) ELEVATION

General Notes

- All construction shall comply with Ontario Building Code 2012, its subsequent revisions and authorities having jurisdiction. New specific materials and products have to be authorized by agencies like: Canadian Construction Materials Centre C.M.C. or Building Materials Evaluation Commission
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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME CRISTIN MILLER SIGNATURE *Cristin Miller* BCIN 38262

REVISED
1:36 pm, Jun 14, 2021

RIGHT (WEST) ELEVATION

Firm Name and Address
CMZ
 Design
 6456 Main Street, Stouffville
 Ontario, L4A 5Z4
 (416) 795-3620

Project Name and Address
PATEL
 83 CAMPDEN DRIVE
 CONCORD, ONTARIO
 L4K 5S8

Project	21-005	Sheet	A7
Date	2.22.2021		
Scale	3/16" = 1'-0"		

No.	Revision/Issue	Date
1	REDUCED PROJECTION	6.13.21

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A105/21 (83 Camden Drive, Concord) - REQUEST FOR COMMENTS

From: Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>

Sent: May-17-21 12:04 PM

To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: A105/21 (83 Camden Drive, Concord) - REQUEST FOR COMMENTS

Good morning,

As the property at 83 Camden Drive is outside of MTO permit control area, MTO has no comments.

Colin Mulrenin (he/him) | Corridor Management Officer | York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

Colin.Mulrenin@ontario.ca

Attwala, Pravina

Subject: FW: A105/21 (83 Camden Drive, Concord) - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: May-25-21 3:23 PM

To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A105/21 (83 Camden Drive, Concord) - REQUEST FOR COMMENTS

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca