



File: A099/21

Applicant: Antonella Iannetta

Address: 57 Romeo Cr Woodbridge

Agent: Great Room Inc.

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Wednesday, June 30, 2021

***Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).**



Minor Variance Application

Agenda Item: 4

A099/21

Ward: 3

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Wednesday, June 30, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Antonella Iannetta

Agent: Great Room Inc.

Property: **57 Romeo Cr Woodbridge**

Zoning: The subject lands are zoned R2, Residential Zone, and subject to the provisions of Exception 9(382)(438) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed pool and cabana to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum Rear yard setback of 7.5 metres is required (Schedule A).	1. To permit a minimum Rear yard setback of 1.25 metres to an Accessory Structure (Cabana).
2. A minimum Interior side yard setback of 1.2 metres is required (Schedule A).	2. To permit a minimum Interior side yard setback of 0.92 metres to an Accessory Structure (Cabana).
3. A maximum encroachment of 0.50 metres is permitted (Section 3.14 a)).	3. To permit a maximum Eave encroachment of 0.51 metres into a required yard.
4. A minimum of 60% of the area in excess of 135 m2 of the Rear yard shall be comprised of soft landscaping (Section 4.1.2 b)).	4. To permit a minimum of 33.83% of soft Landscaping for the Rear yard area in excess of 135 m2.
5. A minimum Interior side yard setback of 1.5 metres is required (Section 4.1.1 i)).	5. To permit a minimum Interior side yard setback of 1.22 metres to a pool.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on June 15, 2021

Applicant confirmed posting of signage on June 14, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1986 (Purchased approx. April 2020)

Applicant has advised that they cannot comply with By-law for the following reason(s): The current zoning by-law is too restrictive with regards to rear yard accessory buildings

Adjournment Request: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No response

Development Planning:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is proposing to construct a cabana and pool in the rear yard with the abovenoted variances. Variances 1, 2, and 3 for the proposed cabana are considered to be minor in nature. The cabana remains within the by-law requirements for maximum height and floor area and is at a distance from the rear and interior side yard that allows for appropriate drainage. The Development Planning Department does not object to Variance 4 as the Owner is proposing soft landscaping along the edge minimizing drainage impacts associated with an increase in hard landscaping.

The Development Engineering (DE) Department has also reviewed the application and have no concern with the reduction in rear yard soft landscaping, subject to the condition that the Owner demonstrate appropriate Low Impact Development (LID) measures to the satisfaction of DE to address the reduced soft landscaping coverage in the rear yard in order to mitigate potential impacts on the municipal storm water system. The Development Planning Department considers Variance 5 for the minimum interior side yard setback of 1.22 m to the pool minor in nature.

The Owner has provided a Tree Inventory and Preservation Plan Report, prepared by Elm-Tree General Contractors on May 17, 2021, in support of the application. The report documented 4 trees on the subject lands and identified no trees recommended for removal or injury. The Urban Design Division has reviewed the submitted report and concurs with its recommendations.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A099/21 subject to the following condition(s):

1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.
2. The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage in the rear yard from 60% to 33.83% in order to mitigate potential impacts on the municipal storm water system.

Forestry:

Tree protection & preservation methods must be followed according to City of Vaughan’s Tree Protection By-law 052-2018. Tree protection shall be installed as outlined in the arborist report prior to the commencement of any construction/demolition activities.

No construction activity, grade changes, surface treatment, excavations of any kind or material storage is permitted within the Tree Protection Zone.

Applicant shall notify Vaughan Forestry once Tree Protection (Hoarding) has been installed, to allow Vaughan Forestry to inspect and approve according to By-law 052-2018.

Recommended condition of approval:

Applicant is required to apply for a Private Property Tree Removal & Protection Permit (Construction/Infill). This is required for the injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.

By-Law and Compliance, Licensing and Permit Services:

No comment no concerns

Development Finance:

No comment no concerns

Fire Department:

No comments received to date

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

Public Correspondence (63 Romeo Crescent, 54 Fifth Avenue)

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval. 2. The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage in the rear yard from 60% to 33.83% in order to mitigate potential impacts on the municipal storm water system.

	Department/Agency	Condition
2	Parks, Forestry and Horticulture Operations Patrick Courchesne/ Andrew Swedlo/Zachary Guizzetti Zachary Guizzetti 905-832-8585 x3614 Zachary.Guizzetti@vaughan.ca	Applicant is required to apply for a Private Property Tree Removal & Protection Permit (Construction/Infill). This is required for the injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

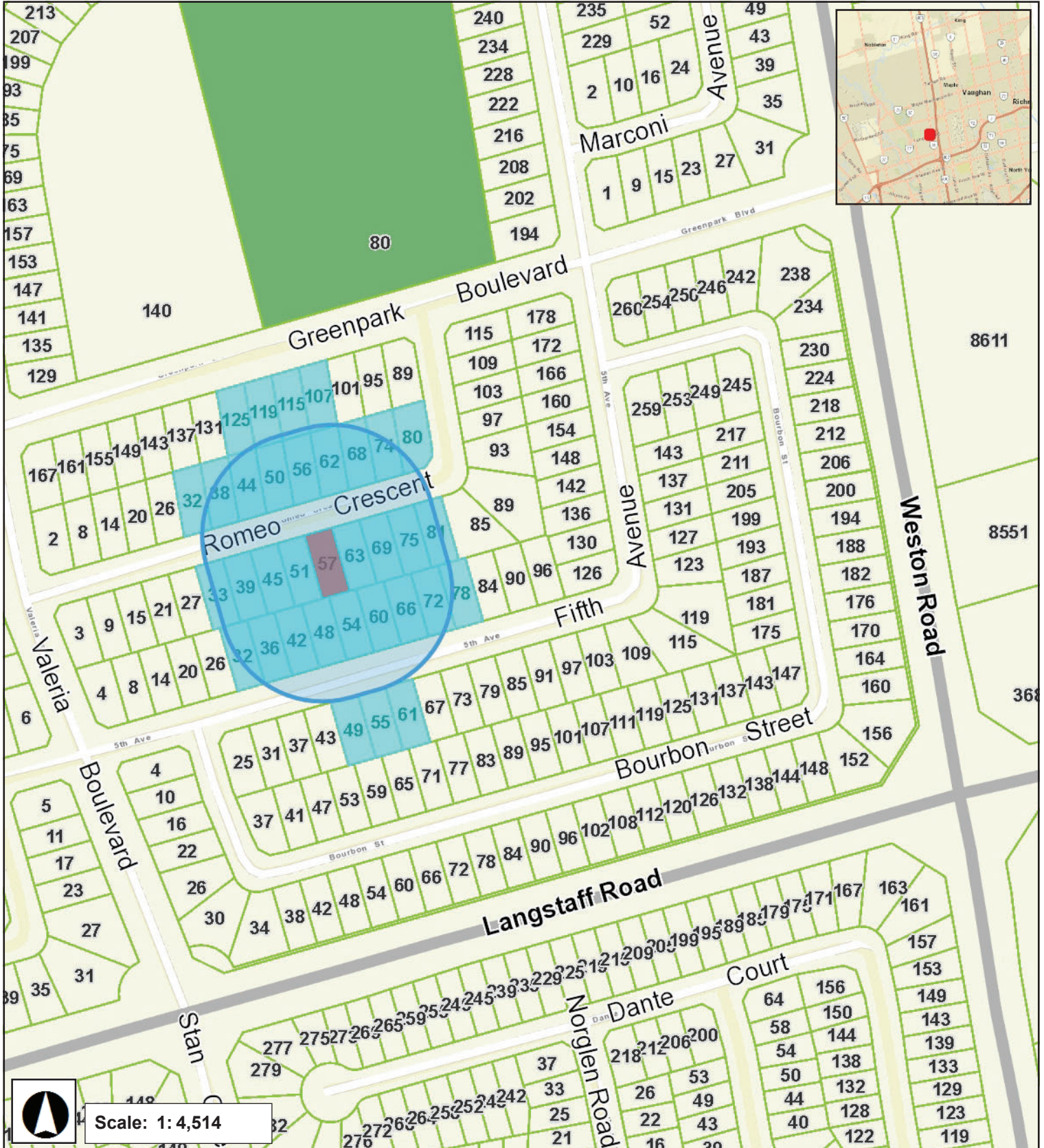
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



LOCATION MAP - A099/21

57 ROMEO CRESCENT, WOODBRIDGE



SITE PLAN & BUILDING STATISTICS
 Lot 42
 REG. PLAN 65M-2266
 CITY of VAUGHAN
 MUNICIPALITY of YORK
 SCALE 1 : 250



RECEIVED
 By RECEIVED at 10:27 am, May 11, 2021

A099/21

SOFT LANDSCAPING = 33.83%

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GRADE CONDITION

PLEASE NOTE:
 ALL EXISTING CONTROL GRADES TO REMAIN UNCHANGED

CURB CUT NOTE

A SEPARATE PERMIT WILL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT, PRIOR TO INSTALLATION AND/OR EXTENSION OF THE CURB CUT.

CONSTRUCTION NOTE

THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE LOCATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE WORK COMMENCES, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL SUCH UTILITIES AND SHALL ASSUME THE LIABILITY FOR ALL DAMAGES.

SITING INFORMATION

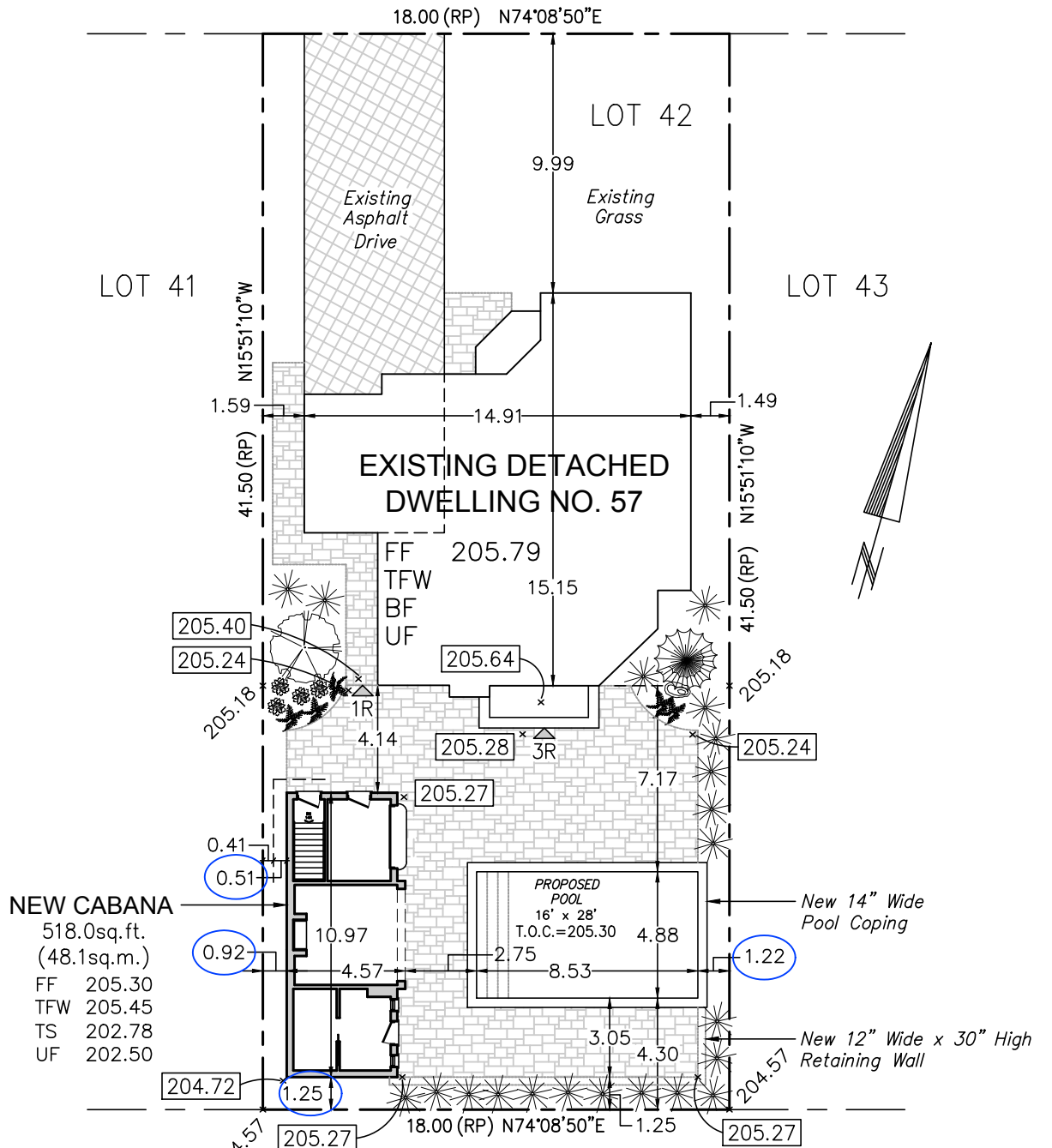
ALL INFORMATION TAKEN FROM SURVEY DATED: APRIL 25TH, 1986.
 PREPARED BY:
R.A. GARDEN LIMITED
 ONTARIO LAND SURVEYORS
 251 DAMS DR.
 NEWMARKET, ONTARIO
 L3Y 2N5

CITY OF VAUGHAN

RESIDENTIAL LOT GRADING NOTES

- ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA, ENGINEERING STANDARDS, AND APPLICABLE PROVINCIAL STANDARDS, THE ONTARIO BUILDING CODE, AND BY-LAW 1-88 UNLESS OTHERWISE APPROVED.
- APPROVAL OF THIS SITE PLAN DOES NOT RELEASE THE BUILDER/APPLICANT/OWNER OF THEIR RESPONSIBILITIES TO ENSURE THE PROPOSED DRAINAGE WORKS ARE COMPATIBLE WITH THE OVERALL DRAINAGE WITHIN THE SUBDIVISION. PROPOSED LOT DRAINAGE SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600mm OF LOT LINES UNLESS SPECIFICALLY APPROVED AS PART OF THIS PERMIT. THE APPROVED GRADING/DRAINAGE PATTERN FOR THIS LOT/BLOCK SHALL BE MAINTAINED AND ALTERATIONS NOT APPROVED AS PART OF THIS PERMIT SHALL BE RESTORED BY THE BUILDER/APPLICANT/OWNER TO THE SATISFACTION OF THE CITY OF VAUGHAN.
- SEDIMENTATION/SILTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OFFSET A MIN. OF 600mm FROM LOT LINES. THESE MEASURES SHALL BE MAINTAINED IN ORDER TO PREVENT ADVERSELY AFFECT ADJACENT LANDS. REFER TO ATTACHED SAMPLE DRAWING.
- BUILDER SHALL VERIFY EXISTING AND PROPOSED GRADE ELEVATIONS PRIOR TO CONSTRUCTION. FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL OR ROCK, AND BE A MIN. OF 1.22m BELOW FINISHED GRADE.
- BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO CONSTRUCTION. CITY ENGINEERING DEPARTMENT/YORK REGION APPROVAL IS REQUIRED FOR SANITARY, STORM AND WATER BOX LOCATION AND INSTALLATION TO THE LOT LINE PRIOR TO CONSTRUCTION.
- DOWNSPOUTS OF RAIN WATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND DRAIN TOWARDS THE STREET. SPLASH PADS SHALL OUTLET OVER SODDED LAND WHERE POSSIBLE TO ENCOURAGE INFILTRATION OF SURFACE RUNOFF.
- HIGH POINT ON SPLIT LOT DRAINAGE TO BE A MIN. OF 2.0m BEHIND FRONT DOWNSPOUT LOCATION TO ENSURE DRAINAGE OUTLETS TO STREET.
- TOP OF FOUNDATION WALLS, EXTERIOR CLADDING, WINDOW AND DOOR SILLS SHALL BE A MIN. OF 150mm ABOVE FINISHED GRADE.
- THE DESIGNER/CONSULTANT/ENGINEER/ARCHITECT IS RESPONSIBLE TO ENSURE THAT HEIGHT, THICKNESS, LATERAL BRACING, ETC. OFF ALL FOUNDATION WALLS CONFORM TO OBC. OBC SUBSECTION 9.15.4 SHALL APPLY.
- ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADIENT WITHIN 5.0m OF THE BUILDING.
- DRAINAGE SWALES SHALL BE GRADED WITH A 2%-5% GRADIENT. DESIRABLE SWALE DEPTH IS 250mm. MIN. SWALE DEPTH IS 150mm. MAX. SWALE DEPTH IS VARIABLE AND DEPENDS ON LOCATION AND SAFETY CONSIDERATIONS, BUT MUST NOT EXCEED 450mm.
- CENTERLINE OF SWALES SHALL BE LOCATED 600mm FROM LOT LINES UNLESS OTHERWISE APPROVED.
- CENTERLINE OF SWALES MUST NOT BE LOCATED LESS THAN 600mm FROM ANY FOUNDATION WALL.
- ARTIFICIAL EMBANKMENTS AND/OR RETAINING WALLS SHALL NOT BE PERMITTED UNLESS APPROVED AS PART OF THIS PERMIT. THE MAX. EMBANKMENT SLOPE SHALL BE 3:1 (HORIZONTAL TO VERTICAL) WITH A MAX. GRADE DIFFERENTIAL OF 600mm.
- PROPOSED RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA AND BY-LAW'S. RETAINING WALLS EXCEEDING 1.0m IN HEIGHT SHALL BE DESIGNED, INSPECTED AND CERTIFIED BY A PROFESSIONAL ENGINEER AND SHALL BE SERVED BY GUARDS OR OTHERWISE TREATED TO REDUCE ANY PUBLIC HAZARD. ALL RETAINING WALLS SHALL BE CONSTRUCTED OF STONE, PRECAST BLOCKS OR CONCRETE. A RETAINING WALL THAT EXCEEDS 1.0m IN HEIGHT MUST BE SETBACK FROM THE NEAREST PROPERTY LINE OR DISTANCE OR DISTANCE EQUAL TO ITS HEIGHT.
- DRIVEWAY GRADES SHALL BE 1.5%-8% AND COMPATIBLE WITH APPROVED SIDEWALK GRADES. BOULEVARD GRADES SHALL BE 2%-5%.
- DRIVEWAYS SHALL BE A MIN. 1.0m FROM ANY TREE, CATCH BASIN OR ABOVE GROUND UTILITY OR OTHER OBSTRUCTION.
- WATER SERVICE STOPS ARE TO BE LOCATED IN THE GRASS PORTION OF THE FRONT YARD, AS PER CITY OF VAUGHAN STANDARDS.
- DRIVEWAYS, CURB CUTS AND DRIVEWAY CULVERTS SHALL BE LOCATED, APPROVED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEERING DEPARTMENT, YORK REGION AND BY-LAW'S. A SEPARATE PERMIT IS REQUIRED FROM THE TOWN'S ENGINEERING/PUBLIC WORKS DEPARTMENT FOR CURB CUTS AND/OR PROPOSED CULVERTS.
- FOOTINGS CONSTRUCTED NEXT TO CATCH BASIN LEAD PIPE OR OTHER MUNICIPAL SERVICE SHALL BE INSPECTED BELOW LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED SOIL OR SOIL CONSULTANTS VERIFICATION REQUIRED.
- IF THE PROPOSED CONSTRUCTION IS IN THE AREA OF FILL A PROFESSIONAL ENGINEER IS TO INSPECT THE EXCAVATION AND CERTIFY THE STABILITY AND BEARING CAPACITY OF THE SOIL PRIOR TO CONSTRUCTION.
- PRIOR TO LETTER OF CREDIT RELEASE THE OWNER SHALL SUBMIT AN AS-BUILT SURVEY ILLUSTRATING BOTH PROPOSED AND AS CONSTRUCTED GRADE ELEVATIONS. A STORM WATER MANAGEMENT REPORT AUTHORED BY PROFESSIONAL ENGINEER AND/OR LOT GRADING CERTIFICATION BY A PROFESSIONAL ENGINEER OR ONTARIO LAND SURVEYOR SHALL BE SUBMITTED TO THE CITY UPON THEIR REQUEST.
- POST CONSTRUCTION FLOWS, FROM A 5 YEAR STORM FREQUENCY, SHALL NOT EXCEED THE FLOWS FOR THE PRECONSTRUCTION CONDITIONS, FOR THE SAME STORM, UNLESS IT IS DEMONSTRATED TO THE SATISFACTION OF THE CITY THAT CONTROLLED FLOWS WILL NOT ADVERSELY AFFECT THE EXISTING DRAINAGE PATTERNS (THESE FLOWS SHALL BE COMPUTED USING THE RATIONAL METHOD ONLY).
- THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. OBC 9.14.6.1.(1)
- TRCA APPROVAL REQUIRED WHERE GRADE CHANGES WILL OCCUR THAT ABUT REGULATED AREAS; EXISTING NATURAL OR ARTIFICIAL WATERCOURSE, OPEN CHANNEL, SWALE OR DITCH USED TO DRAIN LAND.

R O M E O C R E S C E N T



ZONING SUMMARY: DWELLING

ZONING : R2	REQUIRED	PROPOSED OR EXISTING
LOT FRONTAGE	15.0M (49'-2 1/2")	18.0M (59'-2 1/2") (EXISTING)
LOT AREA	450 SQ.M. (4,844.0 SQ.FT.)	747 SQ.M. (8,040.9 SQ.FT.) (EXISTING)
FRONT YARD SETBACK	4.5M (14'-9 1/2")	9.99M (32'-9") (EXISTING)
SIDE YARD SETBACK (EAST)	1.2M (3'-11 1/2")	1.49M (4'-10 1/2") (EXISTING)
SIDE YARD SETBACK (WEST)	1.2M (3'-11 1/2")	1.59M (5'-2 1/2") (EXISTING)
REAR YARD SETBACK	7.5M (24'-7 1/2")	16.35M (53'-7 1/2") (EXISTING)
LOT COVERAGE	40% (298.8 SQ.M.) (3,216.3 SQ.FT.)	23.7% (177.0 SQ.M.) (1,905.3 SQ.FT.) (EX.)
BUILDING HEIGHT	9.5M (31'-2") (TO MID-POINT)	N.A. (EXISTING)
MAX. EAVES ENCROACH	0.5M (1'-7 1/2")	N.A. (EXISTING)
MIN. FRONT YARD SOFT LANDSCAPE AREA	(180.0 SQ.M. X 60%) 108.0 SQ.M	70.0% - 126.0 SQ.M (EXISTING)

ZONING SUMMARY: ACCESSORY STRUCTURE (CABANA)

SIDE YARD SETBACK (WEST)	1.2M (3'-11 1/2")	0.92M (3'-0") (PROPOSED)
REAR YARD SETBACK	7.5M (24'-7 1/2")	1.25M (4'-1") (PROPOSED)
LOT COVERAGE	8.97% (67.0 SQ.M.) (721.0 SQ.FT.)	6.5% (48.1 SQ.M.) (518.0 SQ.FT.) (PROP.)
BUILDING HEIGHT	4.5M (14'-9" TO PEAK) (3.0M TO SOFFIT)	3.76M (12'-4" TO PEAK) (2.64M TO SOFFIT)
TOTAL (COMBINED) LOT COVERAGE	40% (298.8 SQ.M.) (3,216.3 SQ.FT.)	30.2% (225.1 SQ.M.) (2,423.0 SQ.FT.) (PR.)
MAX. EAVES ENCROACH	0.5M (1'-7 1/2")	0.51M (1'-8")
MIN. REAR YARD SOFT LANDSCAPE AREA	(294.6 SQ.M.-135 SQ.M. X 60%) 95.8 SQ.M	33.83% IN EXCESS OF 135 SQ.M. (54.0 SQ.M)

Project:
 NEW RESIDENTIAL POOL & CABANA
 57 ROMEO CRESC., WOODBRIDGE (VAUGHAN), ONTARIO
 CITY OF VAUGHAN

Title:
 PROPOSED SITE PLAN

Scale:
 1:250

Date:
 APRIL 5/2021

Legal:
 LOT 42
 REG. PLAN 65M-2266

Drawn By:
 GS

Area:
 518 SQ.FT.

Drawing No:
S-1

Ownership:
 MRS. ANTONELLA IANNETTA

GREAT ROOM

Tel. No. (416) 627-2394
 DESIGN . CONSULT . MANAGE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2012 Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
 Required unless design is exempt under Div. C, Part 3, Section 3.2.5 of the Building Code

GEORGE SHAMA 43035

REGISTRATION INFORMATION
 Required unless design is exempt under Div. C, Section 3.2.4 of the Building Code

GREAT ROOM INC. 43844

REVISIONS:

1	4/15/2021	ISSUED FOR CLIENT REVIEW
2	4/19/2021	ISSUED FOR M.V. APPLICATION
3	5/10/2021	REVISED FOR M.V. APPLICATION
4		
5		

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO GREAT ROOM INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GREAT ROOM INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

GREAT ROOM INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GREAT ROOM INC. THIS DRAWING IS NOT TO BE SCALED.

LEGEND

■ DENOTES SURVEY MONUMENT FOUND	MH	MAN HOLE	CTB	CABLE TELEVISION BOX
□ SURVEY MONUMENT SET	INV.	INVERT	FH	FIRE HYDRANT
SB	CUL.	CULVERT	WV	WATER VALVE
IB	DS	DOWNSPOUT	WC	WATER CHAMBER
CP	LS	LIGHT STANDARD	GV	GAS VALVE
IP	UP	UTILITY POLE	SS	STREET SIGN
CALC.	HV	HYDRO VAULT	DT	DECIDUOUS TREES
P.I.N.	HT	HYDRO TRANSFORMER	CT	CONIFEROUS TREES
WIT	BP	BELL POLE	BC	BOTTOM OF CURB
OU	BB	BELL BOX	TC	TOP OF CURB
M	AC	AIR CONDITIONING UNIT	o	DOWNSPOUT
DF	GM	GAS METER		EXISTING ELEV.
N.S.E.W	HM	HYDRO METER		EX. ELEV. TO REMAIN
ND	SPP	SWIM POOL PUMP		NEW PROPOSED ELEV.
WC	---	OVERHEAD WIRES		NEW PROPOSED ELEV. HIGH POINT
RCC	SW	SWALE (X)		
CB	---	3:1 SLOPE		
FF	---	ENGINEERED FILL LOT		
TFW	*			
BF				
UF				
T.R.E.				

SITE PLAN & BUILDING STATISTICS
 Lot 42
 REG. PLAN 65M-2266
 CITY of VAUGHAN
 MUNICIPALITY of YORK
 SCALE 1 : 250



METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GRADE CONDITION

PLEASE NOTE:
 ALL EXISTING CONTROL GRADES TO REMAIN UNCHANGED

CURB CUT NOTE

A SEPARATE PERMIT WILL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT, PRIOR TO INSTALLATION AND/OR EXTENSION OF THE CURB CUT.

CONSTRUCTION NOTE

THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE LOCATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE WORK COMMENCES, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL SUCH UTILITIES AND SHALL ASSUME THE LIABILITY FOR ALL DAMAGES.

SITING INFORMATION

ALL INFORMATION TAKEN FROM SURVEY DATED: APRIL 25TH, 1986.
 PREPARED BY:

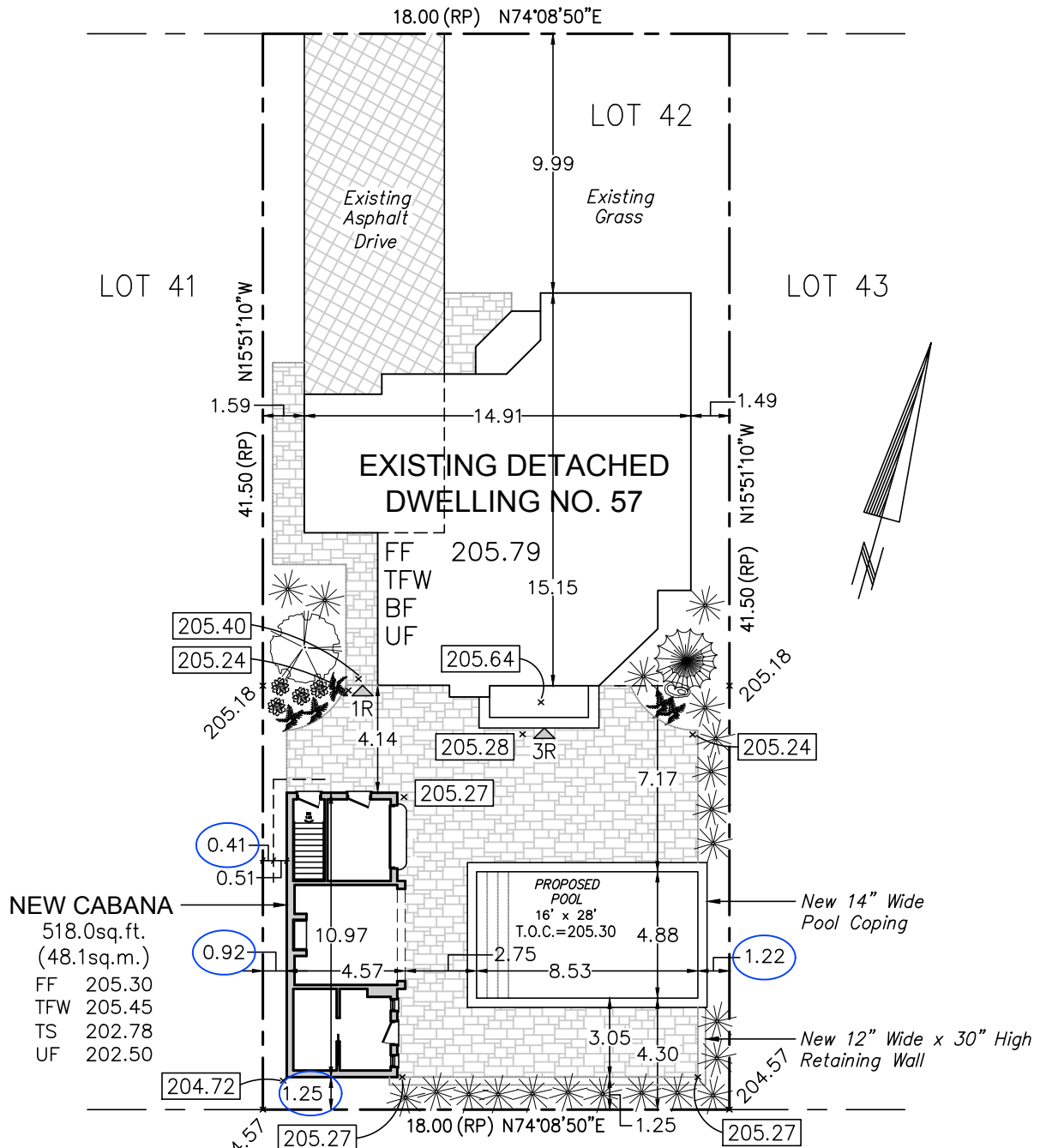
R.A. GARDEN LIMITED
 ONTARIO LAND SURVEYORS
 251 DAMS DR.
 NEWMARKET, ONTARIO
 L3Y 2N5

CITY OF VAUGHAN

RESIDENTIAL LOT GRADING NOTES

- ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA, ENGINEERING STANDARDS, AND APPLICABLE PROVINCIAL STANDARDS, THE ONTARIO BUILDING CODE, AND BY-LAW 1-88 UNLESS OTHERWISE APPROVED.
- APPROVAL OF THIS SITE PLAN DOES NOT RELEASE THE BUILDER/APPLICANT/OWNER OF THEIR RESPONSIBILITIES TO ENSURE THE PROPOSED DRAINAGE WORKS ARE COMPATIBLE WITH THE OVERALL DRAINAGE WITHIN THE SUBDIVISION. PROPOSED LOT DRAINAGE SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600mm OF LOT LINES UNLESS SPECIFICALLY APPROVED AS PART OF THIS PERMIT. THE APPROVED GRADING/DRAINAGE PATTERN FOR THIS LOT/BLOCK SHALL BE MAINTAINED AND ALTERATIONS NOT APPROVED AS PART OF THIS PERMIT SHALL BE RESTORED BY THE BUILDER/APPLICANT/OWNER TO THE SATISFACTION OF THE CITY OF VAUGHAN.
- SEDIMENTATION/SILTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OFFSET A MIN. OF 600mm FROM LOT LINES. THESE MEASURES SHALL BE MAINTAINED IN ORDER TO PREVENT ADVERSELY AFFECT ADJACENT LANDS. REFER TO ATTACHED SAMPLE DRAWING.
- BUILDER SHALL VERIFY EXISTING AND PROPOSED GRADE ELEVATIONS PRIOR TO CONSTRUCTION. FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL OR ROCK, AND BE A MIN. OF 1.22m BELOW FINISHED GRADE.
- BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO CONSTRUCTION. CITY ENGINEERING DEPARTMENT/YORK REGION APPROVAL IS REQUIRED FOR SANITARY, STORM AND WATER BOX LOCATION AND INSTALLATION TO THE LOT LINE PRIOR TO CONSTRUCTION.
- DOWNSPOUTS OF RAIN WATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND DRAIN TOWARDS THE STREET. SPLASH PADS SHALL OUTLET OVER SODDED LAND WHERE POSSIBLE TO ENCOURAGE INFILTRATION OF SURFACE RUNOFF.
- HIGH POINT ON SPLIT LOT DRAINAGE TO BE A MIN. OF 2.0m BEHIND FRONT DOWNSPOUT LOCATION TO ENSURE DRAINAGE OUTLETS TO STREET.
- TOP OF FOUNDATION WALLS, EXTERIOR CLADDING, WINDOW AND DOOR SILLS SHALL BE A MIN. OF 150mm ABOVE FINISHED GRADE.
- THE DESIGNER/CONSULTANT/ENGINEER/ARCHITECT IS RESPONSIBLE TO ENSURE THAT HEIGHT, THICKNESS, LATERAL BRACING, ETC. OFF ALL FOUNDATION WALLS CONFORM TO OBC. OBC SUBSECTION 9.15.4 SHALL APPLY.
- ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADIENT WITHIN 5.0m OF THE BUILDING.
- DRAINAGE SWALES SHALL BE GRADED WITH A 2%-5% GRADIENT. DESIRABLE SWALE DEPTH IS 250mm. MIN. SWALE DEPTH IS 150mm. MAX. SWALE DEPTH IS VARIABLE AND DEPENDS ON LOCATION AND SAFETY CONSIDERATIONS, BUT MUST NOT EXCEED 450mm.
- CENTERLINE OF SWALES SHALL BE LOCATED 600mm FROM LOT LINES UNLESS OTHERWISE APPROVED.
- CENTERLINE OF SWALES MUST NOT BE LOCATED LESS THAN 600mm FROM ANY FOUNDATION WALL.
- ARTIFICIAL EMBANKMENTS AND/OR RETAINING WALLS SHALL NOT BE PERMITTED UNLESS APPROVED AS PART OF THIS PERMIT. THE MAX. EMBANKMENT SLOPE SHALL BE 3:1 (HORIZONTAL TO VERTICAL) WITH A MAX. GRADE DIFFERENTIAL OF 600mm.
- PROPOSED RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA AND BY-LAW'S. RETAINING WALLS EXCEEDING 1.0m IN HEIGHT SHALL BE DESIGNED, INSPECTED AND CERTIFIED BY A PROFESSIONAL ENGINEER AND SHALL BE SERVED BY GUARDS OR OTHERWISE TREATED TO REDUCE ANY PUBLIC HAZARD. ALL RETAINING WALLS SHALL BE CONSTRUCTED OF STONE, PRECAST BLOCKS OR CONCRETE. A RETAINING WALL THAT EXCEEDS 1.0m IN HEIGHT MUST BE SETBACK FROM THE NEAREST PROPERTY LINE OR DISTANCE OR DISTANCE EQUAL TO ITS HEIGHT.
- DRIVEWAY GRADES SHALL BE 1.5%-8% AND COMPATIBLE WITH APPROVED SIDEWALK GRADES. BOULEVARD GRADES SHALL BE 2%-5%.
- DRIVEWAYS SHALL BE A MIN. 1.0m FROM ANY TREE, CATCH BASIN OR ABOVE GROUND UTILITY OR OTHER OBSTRUCTION.
- WATER SERVICE STOPS ARE TO BE LOCATED IN THE GRASS PORTION OF THE FRONT YARD, AS PER CITY OF VAUGHAN STANDARDS.
- DRIVEWAYS, CURB CUTS AND DRIVEWAY CULVERTS SHALL BE LOCATED, APPROVED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEERING DEPARTMENT, YORK REGION AND BY-LAW'S. A SEPARATE PERMIT IS REQUIRED FROM THE TOWN'S ENGINEERING/PUBLIC WORKS DEPARTMENT FOR CURB CUTS AND/OR PROPOSED CULVERTS.
- FOOTINGS CONSTRUCTED NEXT TO CATCH BASIN LEAD PIPE OR OTHER MUNICIPAL SERVICE SHALL BE INSPECTED BELOW LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED SOIL OR SOIL CONSULTANTS VERIFICATION REQUIRED.
- IF THE PROPOSED CONSTRUCTION IS IN THE AREA OF FILL A PROFESSIONAL ENGINEER IS TO INSPECT THE EXCAVATION AND CERTIFY THE STABILITY AND BEARING CAPACITY OF THE SOIL PRIOR TO CONSTRUCTION.
- PRIOR TO LETTER OF CREDIT RELEASE THE OWNER SHALL SUBMIT AN AS-BUILT SURVEY ILLUSTRATING BOTH PROPOSED AND AS CONSTRUCTED GRADE ELEVATIONS. A STORM WATER MANAGEMENT REPORT AUTHORED BY PROFESSIONAL ENGINEER AND/OR LOT GRADING CERTIFICATION BY A PROFESSIONAL ENGINEER OR ONTARIO LAND SURVEYOR SHALL BE SUBMITTED TO THE CITY UPON THEIR REQUEST.
- POST CONSTRUCTION FLOWS, FROM A 5 YEAR STORM FREQUENCY, SHALL NOT EXCEED THE FLOWS FOR THE PRECONSTRUCTION CONDITIONS, FOR THE SAME STORM, UNLESS IT IS DEMONSTRATED TO THE SATISFACTION OF THE CITY THAT CONTROLLED FLOWS WILL NOT ADVERSELY AFFECT THE EXISTING DRAINAGE PATTERNS (THESE FLOWS SHALL BE COMPUTED USING THE RATIONAL METHOD ONLY).
- THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. OBC 9.14.6.1.(1)
- TRCA APPROVAL REQUIRED WHERE GRADE CHANGES WILL OCCUR THAT ABUT REGULATED AREAS; EXISTING NATURAL OR ARTIFICIAL WATERCOURSE, OPEN CHANNEL, SWALE OR DITCH USED TO DRAIN LAND.

ROMEO CRESCENT



ZONING SUMMARY: DWELLING

ZONING : R2	REQUIRED	PROPOSED OR EXISTING
LOT FRONTAGE	15.0M (49'-2 1/2")	18.0M (59'-2 1/2") (EXISTING)
LOT AREA	450 SQ.M. (4,844.0 SQ.FT.)	747 SQ.M. (8,040.9 SQ.FT.) (EXISTING)
FRONT YARD SETBACK	4.5M (14'-9 1/2")	9.99M (32'-9 1/2") (EXISTING)
SIDE YARD SETBACK (EAST)	1.2M (3'-11 1/2")	1.49M (4'-10 1/2") (EXISTING)
SIDE YARD SETBACK (WEST)	1.2M (3'-11 1/2")	1.59M (5'-2 1/2") (EXISTING)
REAR YARD SETBACK	7.5M (24'-7 1/2")	16.35M (53'-7 1/2") (EXISTING)
LOT COVERAGE	40% (298.8 SQ.M.) (3,216.3 SQ.FT.)	23.7% (177.0 SQ.M.) (1,905.3 SQ.FT.) (EX.)
BUILDING HEIGHT	9.5M (31'-2") (TO MID-POINT)	N.A. (EXISTING)
MAX. EAVES ENCROACH	0.5M (1'-7 1/2")	N.A. (EXISTING)
MIN. FRONT YARD SOFT LANDSCAPE AREA	(180.0 SQ.M. X 60%) 108.0 SQ.M	70.0% - 126.0 SQ.M (EXISTING)

ZONING SUMMARY: ACCESSORY STRUCTURE (CABANA)

SIDE YARD SETBACK (WEST)	1.2M (3'-11 1/2")	0.92M (3'-0") (PROPOSED)
REAR YARD SETBACK	7.5M (24'-7 1/2")	1.25M (4'-1") (PROPOSED)
LOT COVERAGE	8.97% (67.0 SQ.M.) (721.0 SQ.FT.)	6.5% (48.1 SQ.M.) (518.0 SQ.FT.) (PROP.)
BUILDING HEIGHT	4.5M (14'-9" TO PEAK) (3.0M TO SOFFIT)	3.76M (12'-4" TO PEAK) (2.64M TO SOFFIT)
TOTAL (COMBINED) LOT COVERAGE	40% (298.8 SQ.M.) (3,216.3 SQ.FT.)	30.2% (225.1 SQ.M.) (2,423.0 SQ.FT.) (PR.)
MAX. EAVES ENCROACH	0.5M (1'-7 1/2")	0.79M (2'-7 1/2")
MIN. REAR YARD SOFT LANDSCAPE AREA	(294.6 SQ.M.-135 SQ.M. X 60%) 95.8 SQ.M	54.0 SQ.M

Project:
 NEW RESIDENTIAL POOL & CABANA
 57 ROMEO CRESC. WOODBRIDGE (VAUGHAN), ONTARIO
 CITY OF VAUGHAN

Title:
 PROPOSED SITE PLAN

Scale:
 1:250

Date:
 APRIL 5/2021

Legal:
 LOT 42
 REG. PLAN 65M-2266

Area:
 518 SQ.FT.

Drawing No:
S-1

Ownership:
 MRS. ANTONELLA IANNETTA

GREAT ROOM

Tel. No. (416) 627-2394
 DESIGN . CONSULT . MANAGE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2012 Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
 Required unless design is exempt under Div. C, Part 3, Section 3.2.5 of the Building Code

GEORGE SHAMA 43035

REGISTRATION INFORMATION
 Required unless design is exempt under Div. C, Section 3.2.4 of the Building Code

GREAT ROOM INC. 43844

REVISIONS:

1	4/15/2021	ISSUED FOR CLIENT REVIEW
2	4/19/2021	ISSUED FOR M.V. APPLICATION
3		
4		
5		

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO GREAT ROOM INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GREAT ROOM INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

GREAT ROOM INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

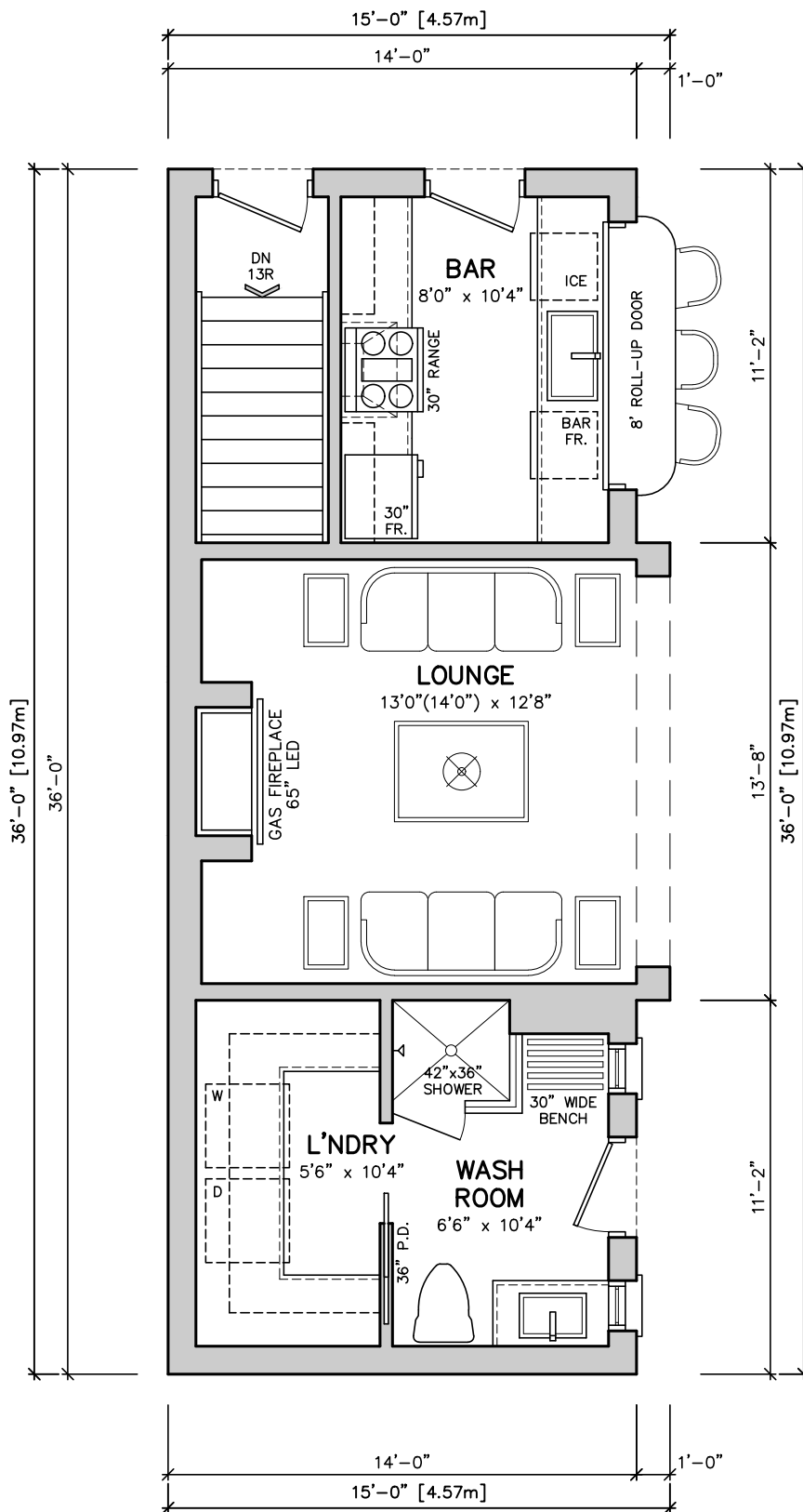
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GREAT ROOM INC. THIS DRAWING IS NOT TO BE SCALED.

LEGEND

■ DENOTES SURVEY MONUMENT FOUND	MH MAN HOLE	CTB CABLE TELEVISION BOX
□ SURVEY MONUMENT SET	INV. INVERT	FH FIRE HYDRANT
SB STANDARD IRON BAR	CUL. CULVERT	WV WATER VALVE
IB IRON BAR	DS DOWNSPOUT	WC WATER CHAMBER
CP CONCRETE PIN	LS LIGHT STANDARD	GV GAS VALVE
IP IRON PIPE	UP UTILITY POLE	SS STREET SIGN
CALC. CALCULATED	HV HYDRO VAULT	DT DECIDUOUS TREES
P.I.N. PROPERTY IDENTIFIER NUMBER	HT HYDRO TRANSFORMER	CT CONIFEROUS TREES
WIT WITNESS	BP BELL POLE	BC BOTTOM OF CURB
OU ORIGIN UNKNOWN	BB BELL BOX	TC TOP OF CURB
M MEASURED	AC AIR CONDITIONING UNIT	○ DOWNSPOUT
RP REGISTERED PLAN 2266	GM GAS METER	○ EXISTING ELEV.
DF PLAN BY DIEGO FAZIO, O.L.S. FEB. 27/01	HM HYDRO METER	○ EX. ELEV. TO REMAIN
N.S.E.W. NORTH, SOUTH, EAST, WEST	SPP SWIM POOL PUMP	○ NEW PROPOSED ELEV.
WD WOOD RAIL FENCE	OHV OVERHEAD WIRES	○ NEW PROPOSED ELEV. HIGH POINT
RCC REMAINS OF CONCRETE CURB	SW SWALE (X)	
CB CATCH BASIN	3:1 SLOPE	
FF FINISHED FLOOR ELEVATION		
TFW TOP OF FOUNDATION WALL ELEVATION		
BF BASEMENT FLOOR ELEVATION		
UF UNDERSIDE OF FOOTING ELEVATION		
T.R.E. TOP OF ROOF ELEVATION		

57 Romeo Cresc.

Ground Floor Plan



CABANA GROUND FLOOR PLAN

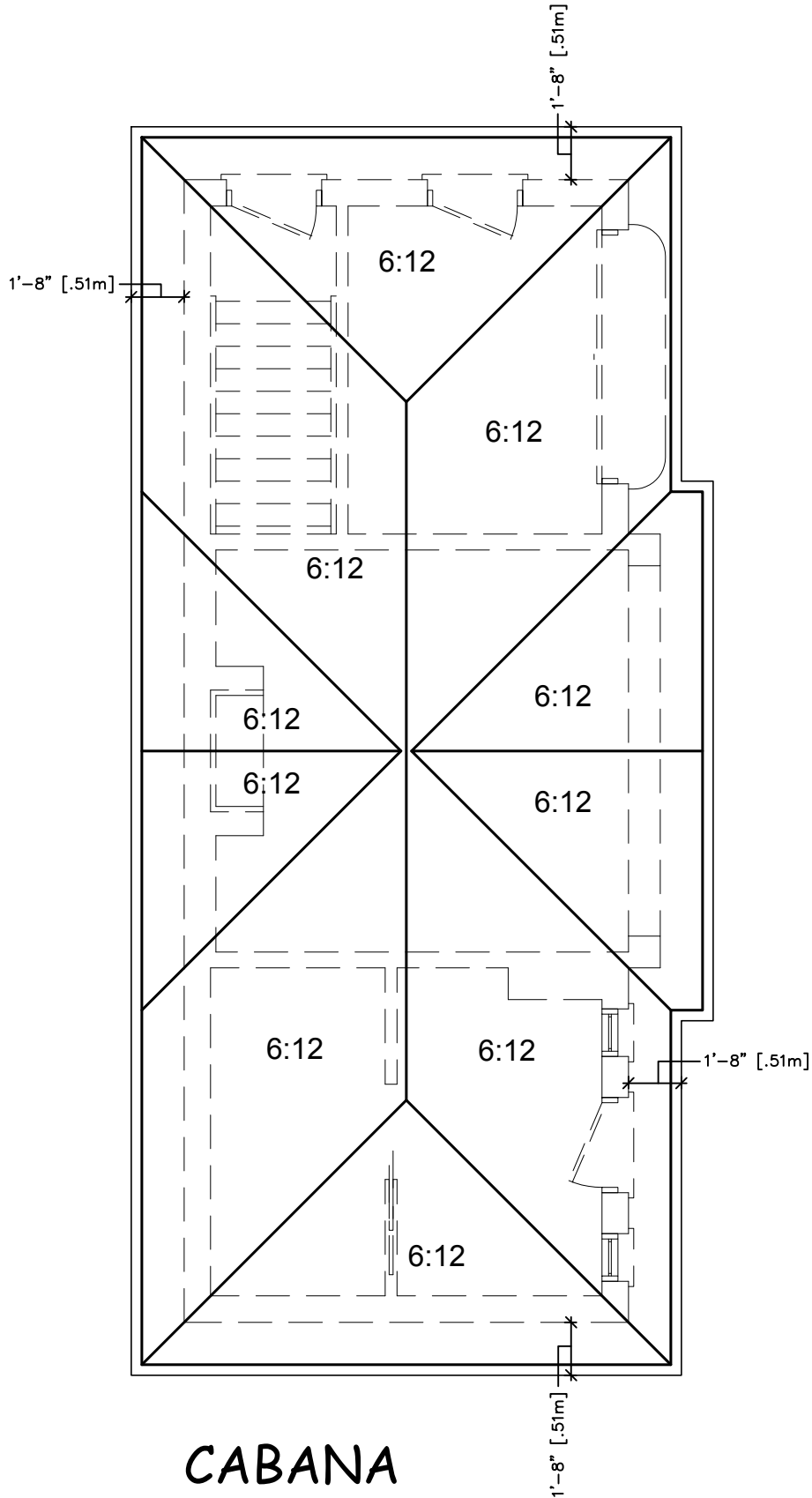
ENCLOSED BUILDING AREA = 327 sq.ft.
 COVERED AREA = 191 sq.ft.
 COVERAGE = 518 sq.ft.

ARTISTS IMPRESSION

ORIENTATION OF HOME MAY BE REVERSED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE WAYS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL RENDERINGS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILING ARE SUBJECT TO MINOR VARIANCE. E & O.E.



57 Romeo Cresc.



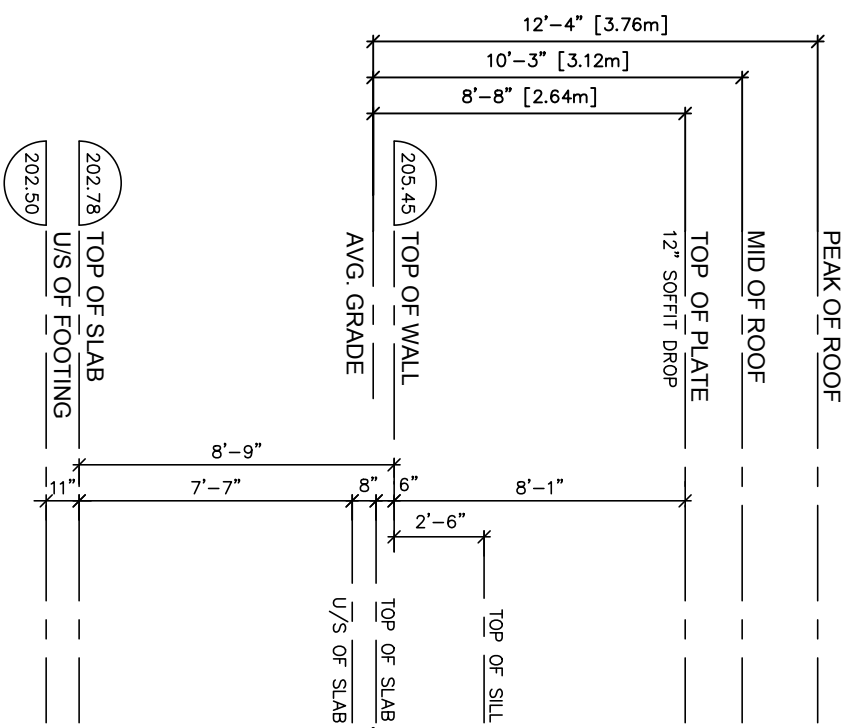
**CABANA
ROOF PLAN**

ARTISTS IMPRESSION

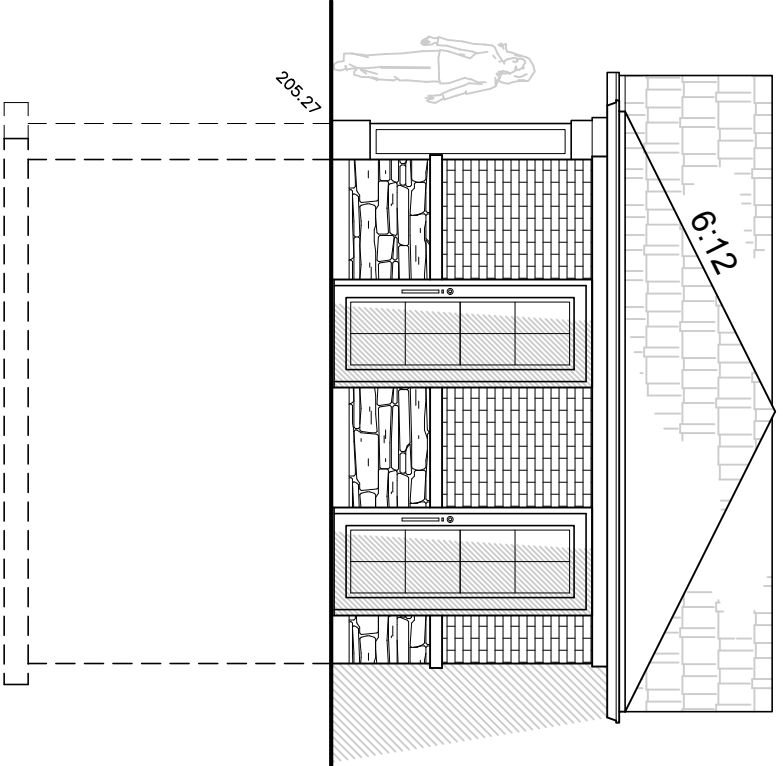
ORIENTATION OF HOME MAY BE REVERSED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE WAYS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL RENDERINGS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILING ARE SUBJECT TO MINOR VARIANCE. E & O.E.



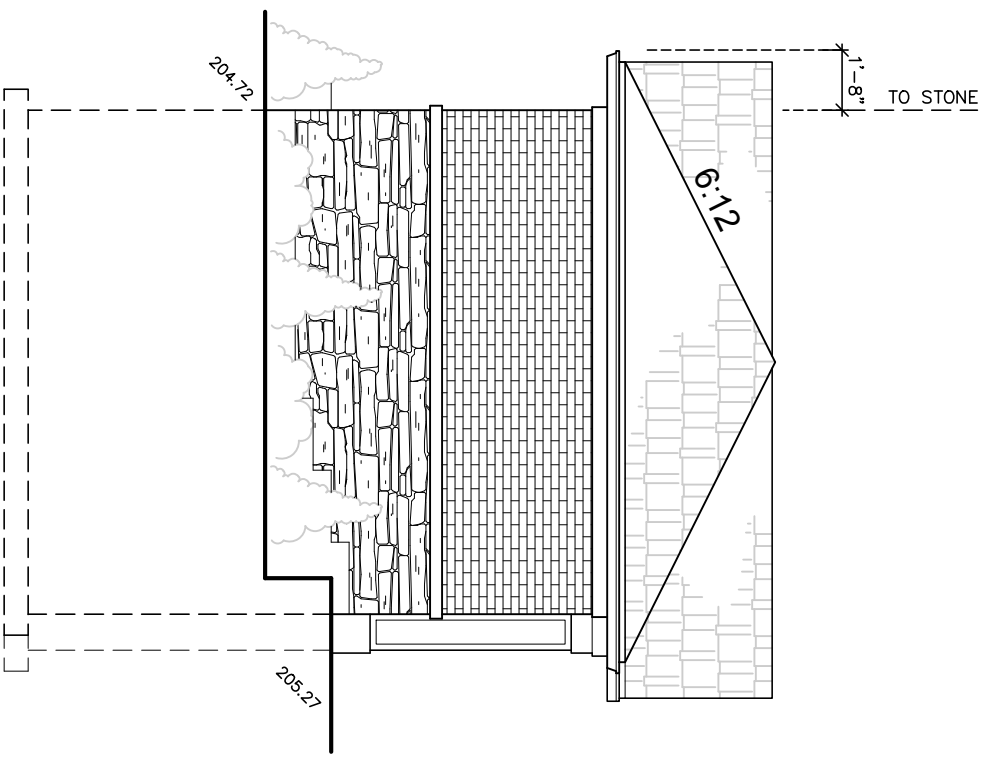
57 Romeo Cresc. Elevations



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



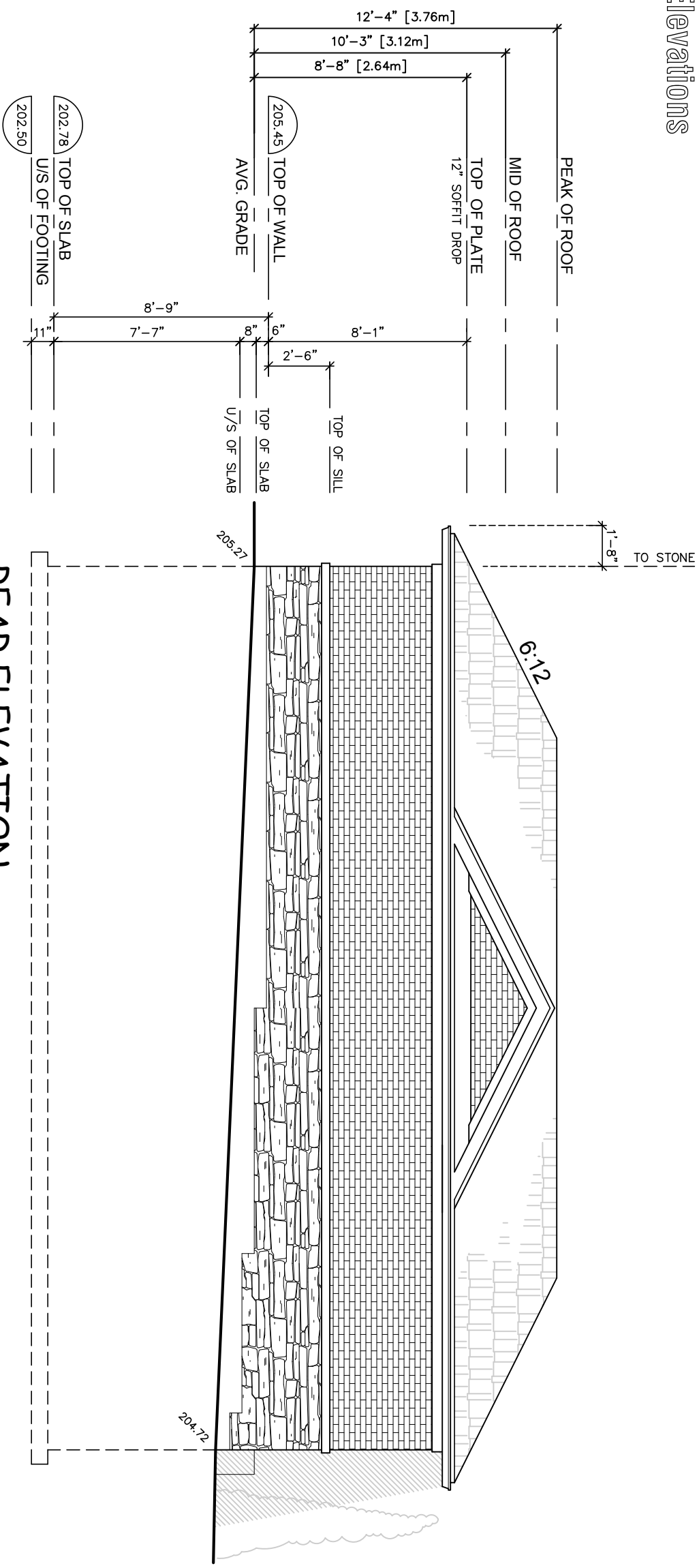
ARTISTS IMPRESSION

REVISION OF HOME MAY BE REQUESTED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE. THIS IS DUE TO GRADING VARIANCE. NOTE ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL DIMENSIONS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS ARE SUBJECT TO MINOR VARIANCE. E & O.E.



57 Romeo Cresc.

Elevations



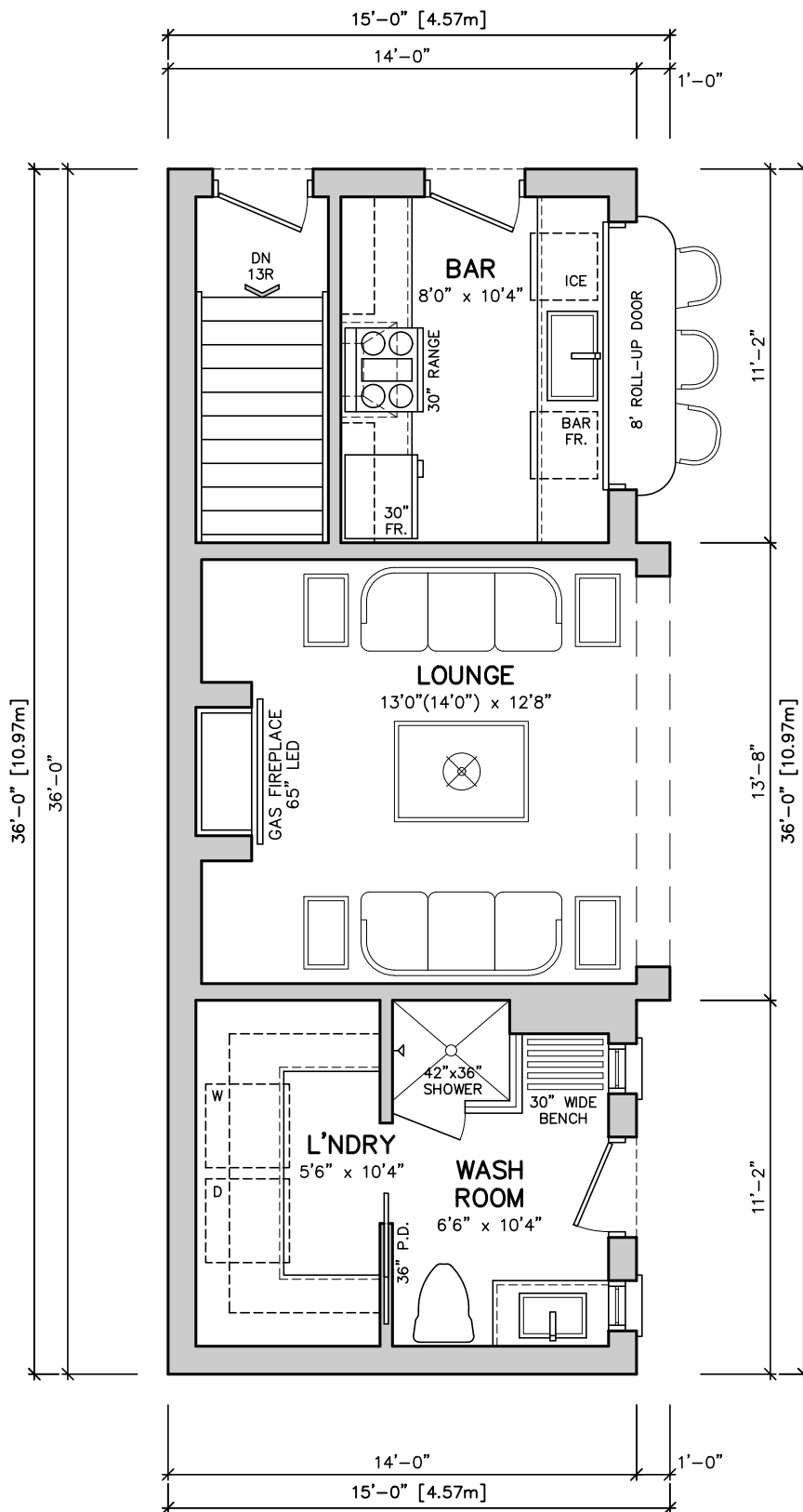
ARTISTS IMPRESSION

REVISION OF HOME MAY BE REQUESTED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE. THIS IS DUE TO GRADING VARIANCE. NOTE ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL DIMENSIONS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS ARE SUBJECT TO MINOR VARIANCE. E & O.E.



57 Romeo Cresc.

Ground Floor Plan



CABANA GROUND FLOOR PLAN

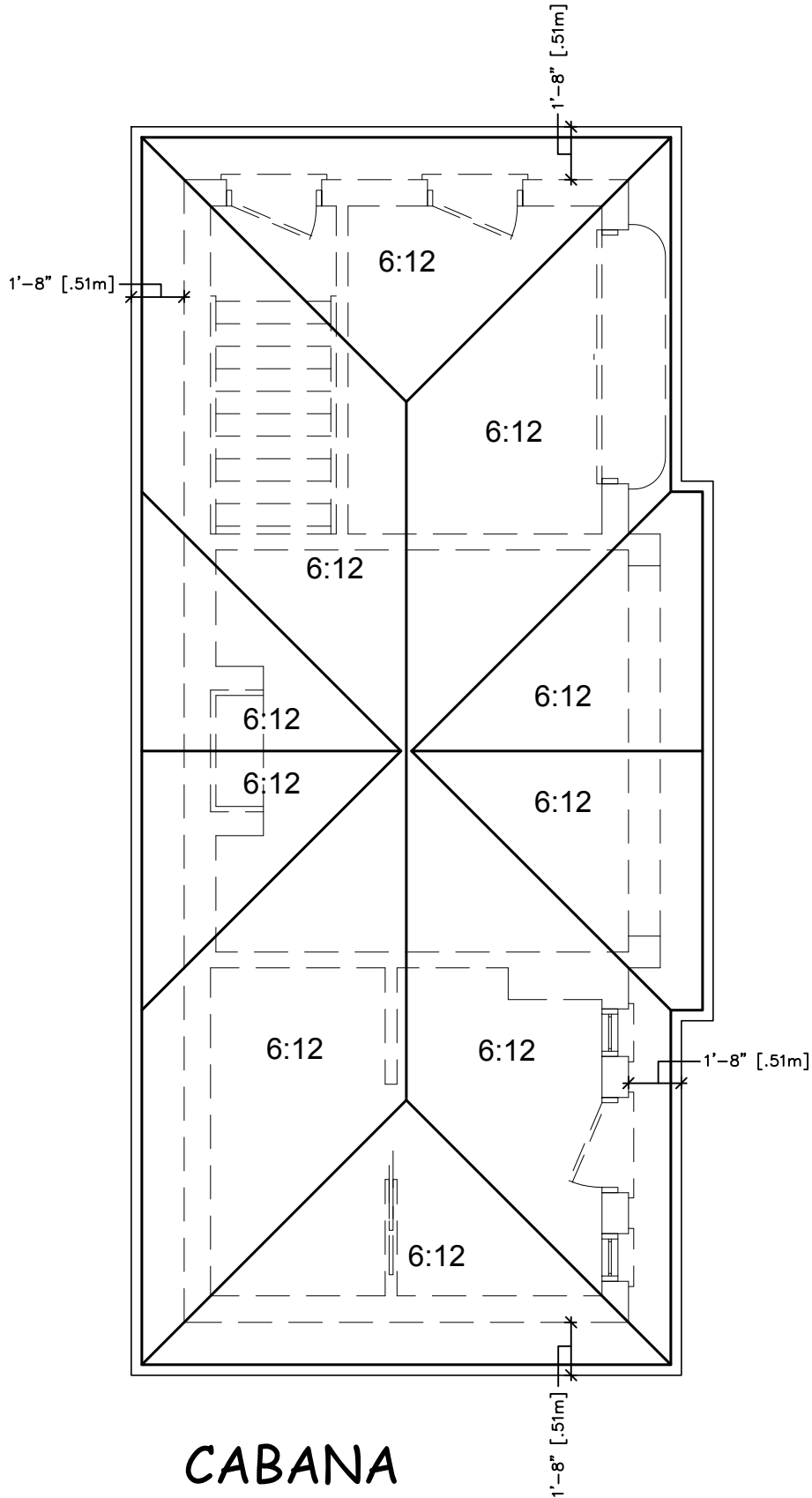
ENCLOSED BUILDING AREA = 327 sq.ft.
COVERED AREA = 191 sq.ft.
COVERAGE = 518 sq.ft.

ARTISTS IMPRESSION

ORIENTATION OF HOME MAY BE REVERSED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE WAYS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL RENDERINGS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILING ARE SUBJECT TO MINOR VARIANCE. E & O.E.



57 Romeo Cresc.



**CABANA
ROOF PLAN**

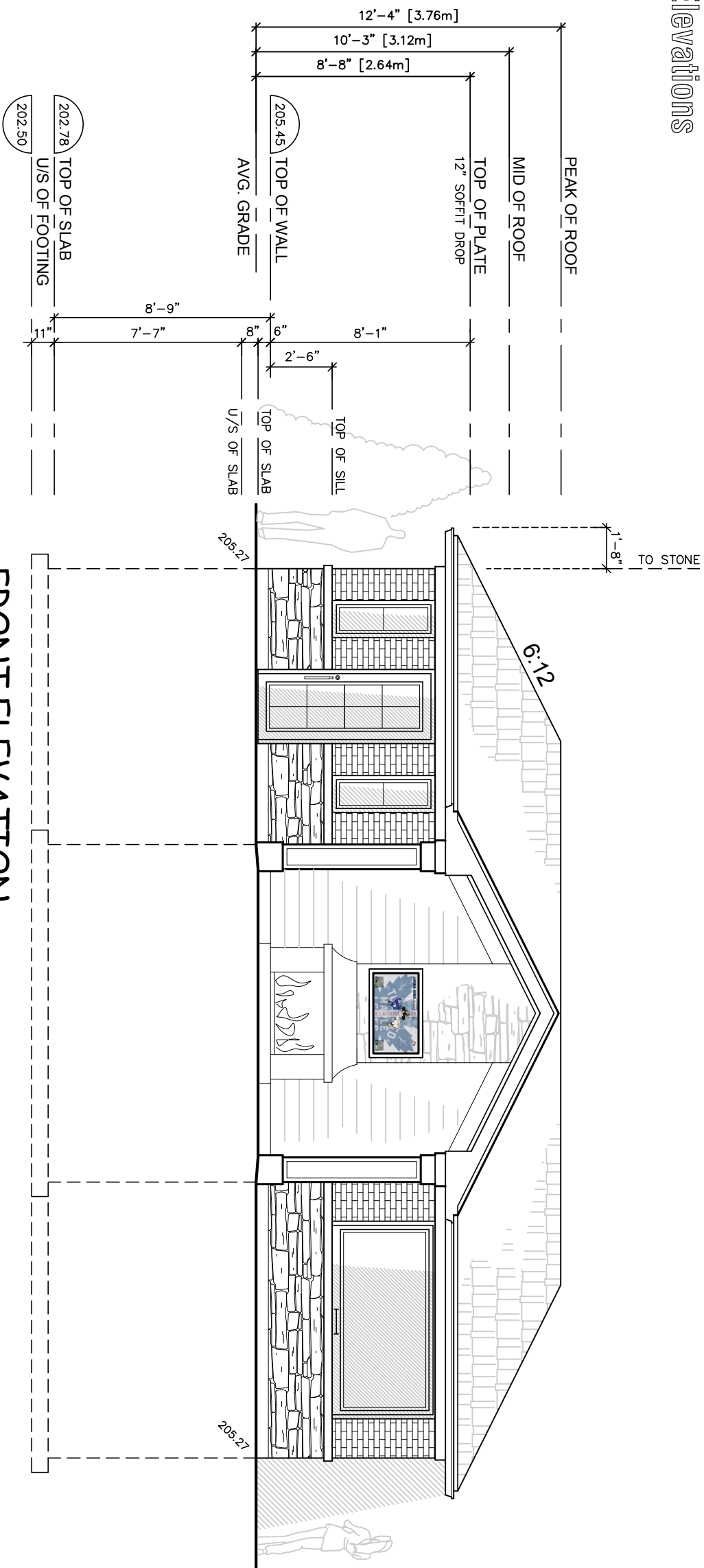
ARTISTS IMPRESSION

ORIENTATION OF HOME MAY BE REVERSED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE WAYS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL RENDERINGS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILING ARE SUBJECT TO MINOR VARIANCE. E & O.E.



57 Romeo Cresc.

Elevations



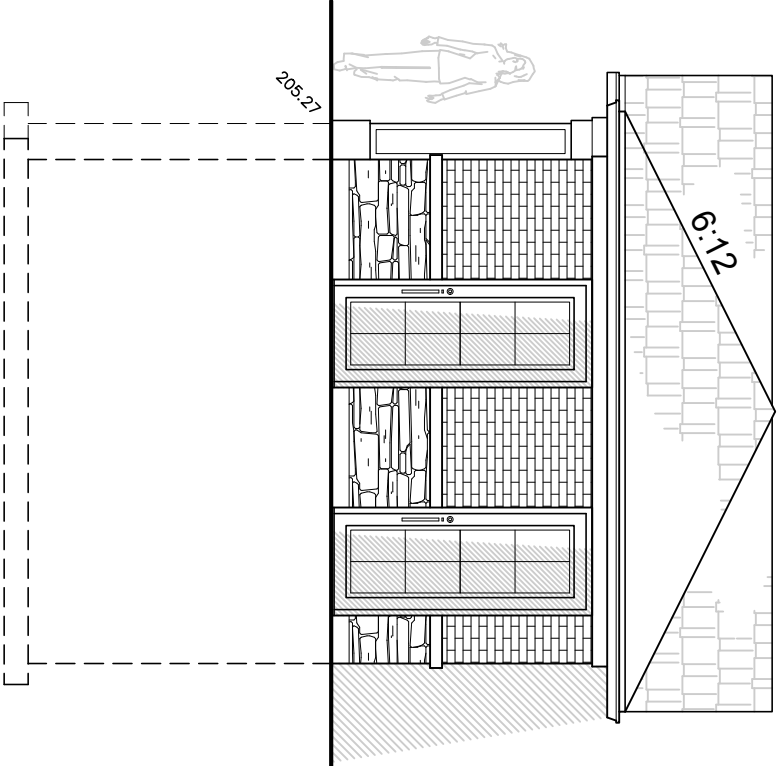
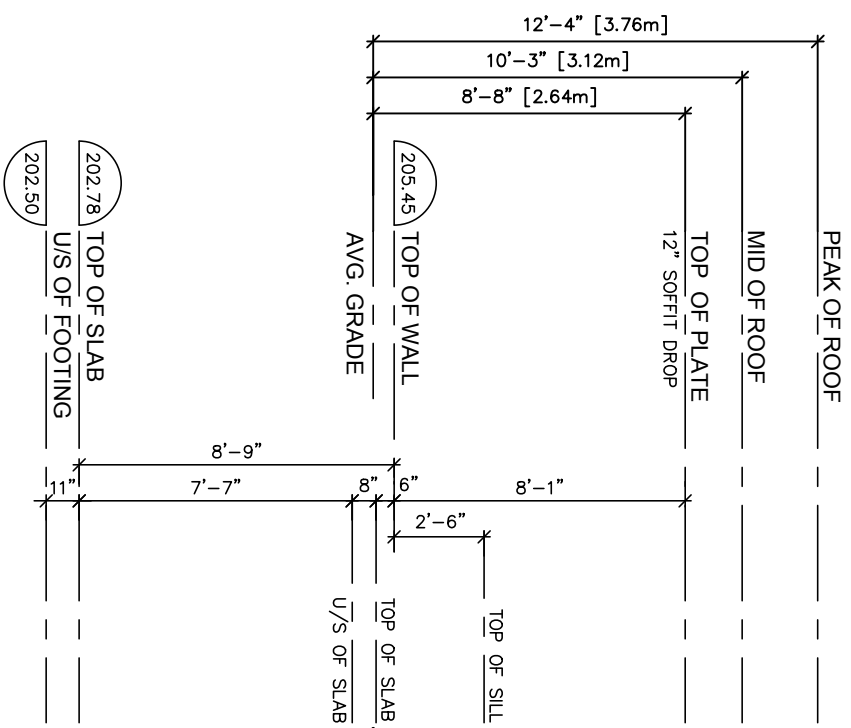
FRONT ELEVATION

ARTISTS IMPRESSION

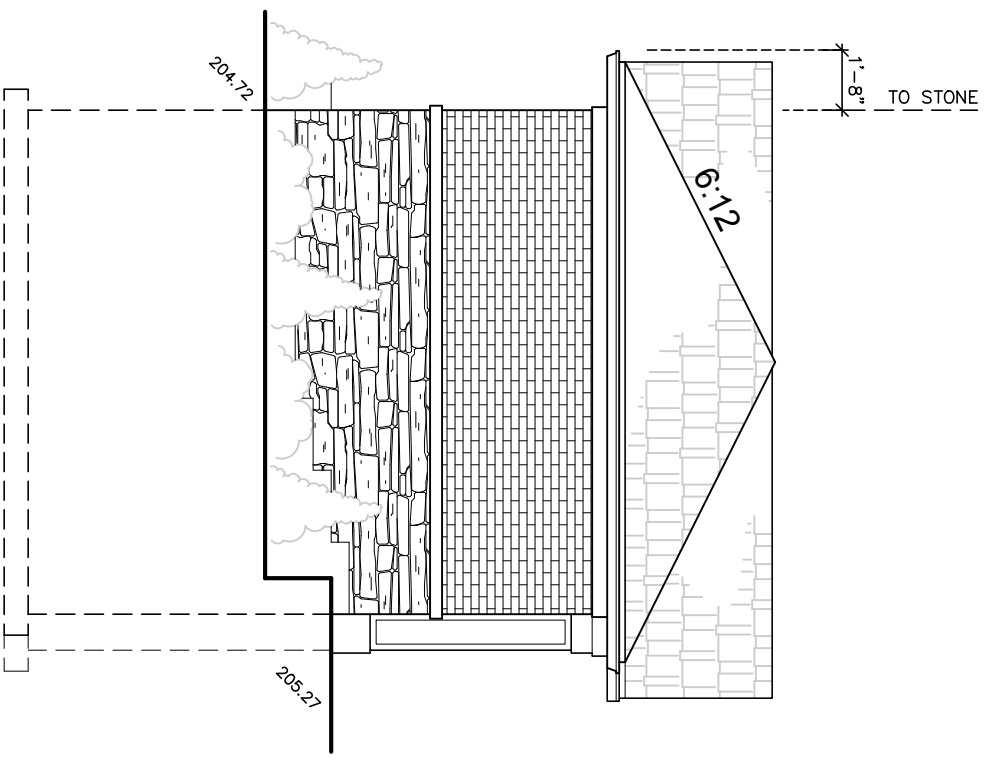
REVISION OF HOME MAY BE REQUESTED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE. THIS IS DUE TO GRADING VARIANCE. NOTE ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL DIMENSIONS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS ARE SUBJECT TO MINOR VARIANCE. E & O.E.



57 Romeo Cresc. Elevations



RIGHT SIDE ELEVATION



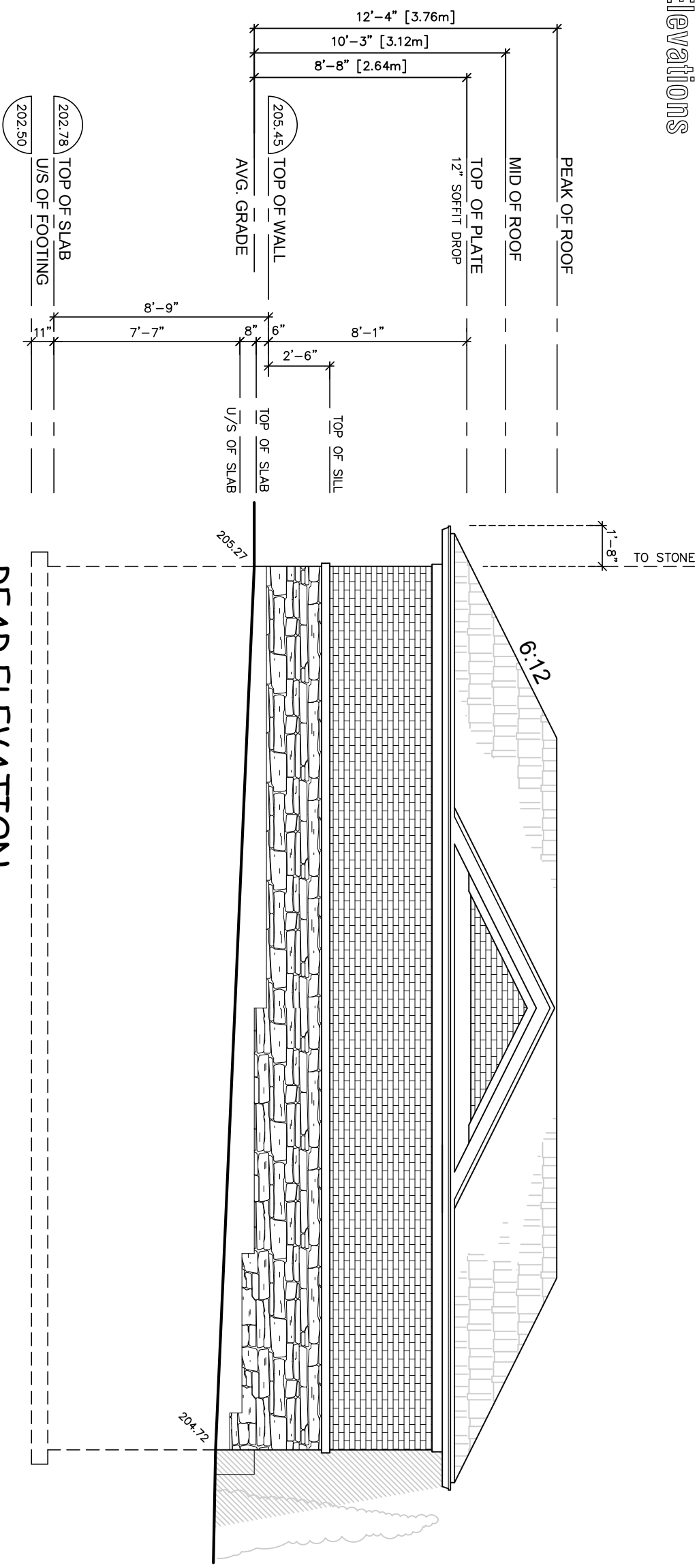
LEFT SIDE ELEVATION

ARTISTS IMPRESSION

REVISION OF HOME MAY BE REQUESTED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE. THIS IS DUE TO GRADING VARIANCE. NOTE ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL DIMENSIONS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS ARE SUBJECT TO MINOR VARIANCE. E & O.E.



57 Romeo Cresc. Elevations



ARTISTS IMPRESSION

REVISION OF HOME MAY BE REQUESTED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE. THIS IS DUE TO GRADING VARIANCE. NOTE ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL DIMENSIONS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS ARE SUBJECT TO MINOR VARIANCE. E & O.E.



Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Public Correspondence (63 Romeo Crescent, 54 Fifth Avenue)

Hamed Intezam and Georgia Karagianis

63 Romeo Crescent

Woodbridge, Ont.

L4L 7A1


May 18, 2021

To the City of Vaughan Committee of Adjustment,

We live next door to the applicant Antonella Iannetta. We have lived at 63 Romeo Crescent since 2018. She has explained that she wants to make the following proposals to the Committee of Adjustments regarding her Minor Variance: to permit a minimum Rear yard setback of 1.25 metres to an Accessory Structure (Cabana), to permit a minimum Interior side yard setback of 0.92 metres to an Accessory Structure (Cabana), to permit a maximum Eave encroachment of 0.51 metres into a required yard, to permit a minimum of 33.83% of soft Landscaping for the Rear yard area in excess of 135 m² and to permit a minimum Interior side yard setback of 1.22 metres to a pool.

Please accept this letter as a show of support from us with regards to the above listed proposals. Please contact us at (416) 858-0708 with any concerns or questions.

Thank you.


Hamed Intezam


Georgia Karagianis

To: Committee of Adjustment (City of Vaughan)

From: Enio De Filippis and Vanessa Pacchione

54 Fifth Avenue

Woodbridge, Ontario

L4L 6Y5

Date: June 9, 2021

RE: Minor Variance Application for 57 Romeo Crescent

To whom it may concern,

We are neighbors directly to the south of Ms. Iannetta at 57 Romeo Crescent. Our property abuts hers to the rear. We have reviewed the application that Ms. Iannetta has made to the committee that includes the following proposals:

1. To permit a minimum Rear yard setback of 1.25 metres to an Accessory Structure (Cabana).
2. To permit a minimum Interior side yard setback of 0.92 metres to an Accessory Structure (Cabana).
3. To permit a maximum Eave encroachment of 0.51 metres into a required yard.
4. To permit a minimum of 33.83% of soft Landscaping for the Rear yard area in excess of 135 m².
5. To permit a minimum Interior side yard setback of 1.22 metres to a pool.

We support Ms. Iannetta with regards to this application and the proposals outlined above. If you have any questions, please feel free to contact us: 



Enio De Filippis



Vanessa Pacchione

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A099/21 - REQUEST FOR COMMENTS

From: Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>

Sent: May-27-21 5:34 PM

To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: A099/21 - REQUEST FOR COMMENTS

Good afternoon,

As the property at 57 Romeo Crescent is outside of MTO permit control, MTO has no comments.

Colin Mulrenin (he/him) | Corridor Management Officer | York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

Colin.Mulrenin@ontario.ca

Attwala, Pravina

Subject: FW: A099/21 - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: June-04-21 11:48 AM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A099/21 - REQUEST FOR COMMENTS

Good morning Pravina,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca