



File: A101/21

Applicant: Amanda and Michael Cornacchia

Address: 92 Secret Garden Court, Kleinburg

Agent: Angelo Perna

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Thursday, June 10, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance Application

Agenda Item: 18

A101/21

Ward: 1

Staff Report Prepared By: **Adriana MacPherson, Assistant Secretary Treasurer**

Date & Time of Live Stream Hearing: Thursday, June 10, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Amanda And Michael Cornacchia

Agent: Angelo Perna

Property: **92 Secret Garden Court, Kleinburg**

Zoning: The subject lands are zoned R1 9(1378) and subject to the provisions of Exception under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", subject to Site Specific Policy 13.21: North Humber Extension Area 1.

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana with enclosed pool equipment to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum height of 3.0m is permitted to the nearest part of the roof for the accessory structure (cabana). (4.1.1.b)	1. To permit a maximum height of 3.05m to the nearest part of the roof for the accessory structure (cabana).
2. A minimum rear yard setback of 7.5m is required for the accessory structure (cabana). (schedule 'A')	2. To permit a minimum rear yard setback of 1.2m for the accessory structure (cabana).
3. A maximum encroachment of 1.5m into the rear yard is permitted for the pool equipment. (3.14.H)	3. To permit a maximum rear yard encroachment of 6.30m for the proposed pool equipment.
4. A minimum rear yard soft landscaping of 60% is required for the portion of the rear yard in excess of 135m ² . (4.1.2.b)	4. To permit a minimum rear yard soft landscaping of 41.12% (77.73m ²) for the portion of the rear yard in excess of 135m ² .

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on May 26, 2021

Applicant confirmed posting of signage on May 18, 2021

Existing Structures	Property Information	Year Constructed
Dwelling	2018	
Cabana	TBC	

Applicant has advised that they cannot comply with By-law for the following reason(s): To provide additional outdoor space within the rear yard. The proposed cabana design and concept in conjunction with the placement of the pool will not allow compliance with the subject land zoning requirements.

Adjournment Request: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", subject to Site Specific Policy 13.21: North Humber Extension Area 1.

The Owner is requesting permission to construct a cabana and enclosed pool equipment with the above-noted variances. The variances requested for the height of 3.05 m and rear yard setback of 1.2 m of the proposed cabana are considered to be minor in nature and are appropriate for the lot. The Development Planning Department does not object to the requested variance for the enclosed pool equipment (Variance 3). The distance measured from the pool equipment to the rear yard line is 1.2 m. The proposed rear yard encroachment and location of the enclosed pool equipment in the rear yard instead of the typical location in the interior side yard further minimizes any drainage or noise impacts on neighbouring dwellings.

The proposed rear yard soft landscaping of 41.12% maintains an appropriate balance of soft and hard landscaping at the rear yard, with soft landscaped areas proposed along the edges of the lot to reduce drainage impacts on adjacent properties. The requested variance also remains consistent with previous approvals in the immediate area. The Committee of Adjustment has previously approved a rear yard soft landscaping of 40% (Minor Variance File A144/19- 106 Endless Circle) and 42% (Minor Variance File A115/19 – 98 Endless Circle).

The Development Engineering Department has no concerns with the reduction of the rear yard landscaping, subject to the Owner demonstrating appropriate LID (Low-Impact Development) measures to the satisfaction of Development Engineering to address the reduced soft landscaping coverage in the rear yard in order to mitigate potential impacts on the municipal storm water system. Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A101/21 subject to the following condition(s):

1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

2. The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage in the rear yard from 60% to 41.12% in order to mitigate potential impacts on the municipal storm water system.
3. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.

Parks Development - Forestry:

No comments, no conditions.

By-Law and Compliance, Licensing and Permit Services:

No comments received to date

Development Finance:

No comment no concerns

Fire Department:

No comments received to date

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	<ol style="list-style-type: none"> 1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval. 2. The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage in the rear yard from 60% to 41.12% in order to mitigate potential impacts on the municipal storm water system. 3. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and

	Department/Agency	Condition
		provide a copy of the notification and approval to the City's Development Engineering Department.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment
Adriana MacPherson
T 905 832 8585 Extension 8360
E CofA@vaughan.ca

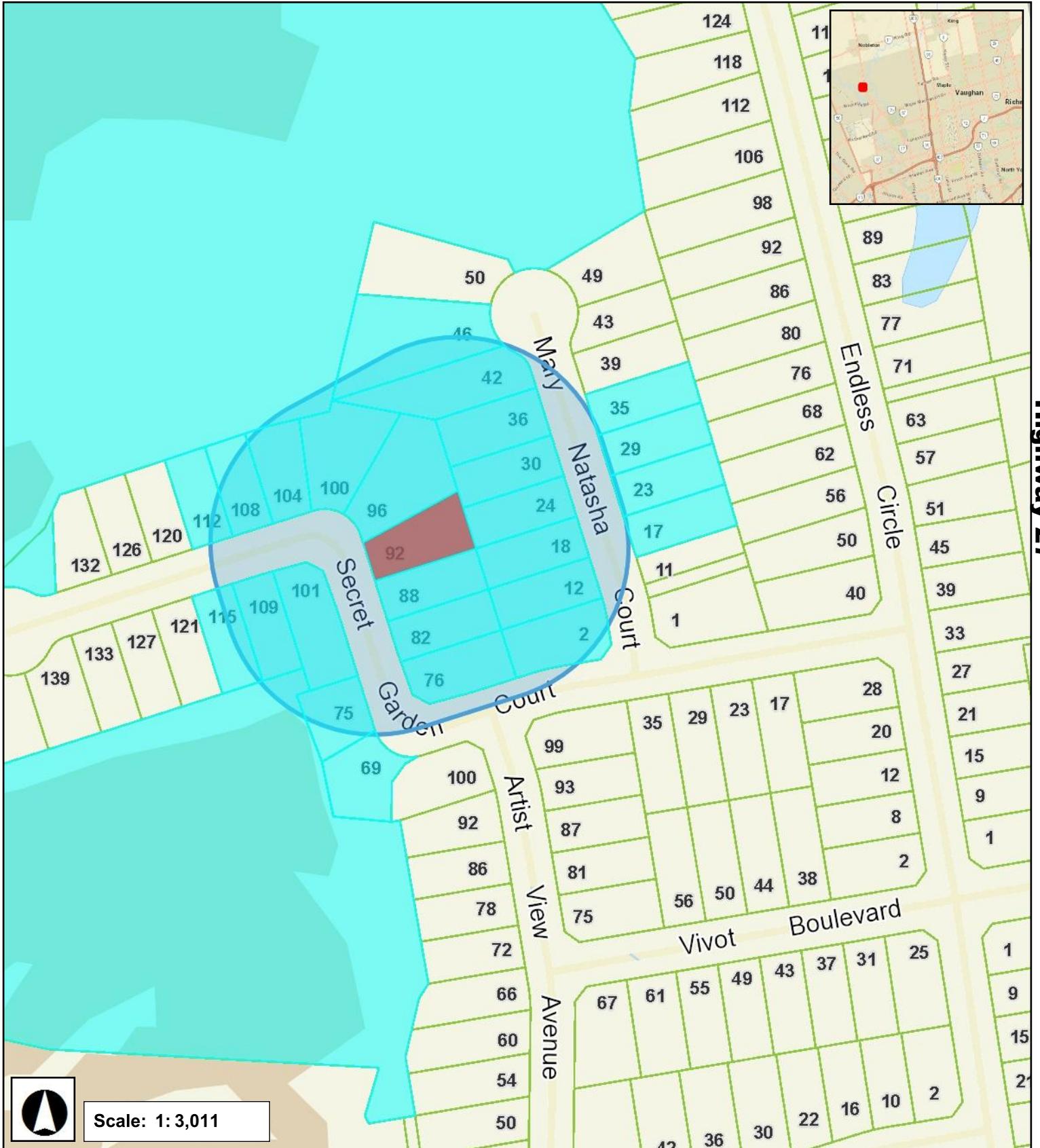
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches

92 Secret Garden Court, Kleinburg

Kirby Road



Proposal:

1. To permit a maximum height of 3.05m to the nearest part of the roof for the accessory structure (cabana).
2. To permit a minimum rear yard setback of 1.2m for the accessory structure (cabana).
3. To permit a maximum rear yard encroachment of 6.30m for the proposed pool equipment.
4. To permit a minimum rear yard soft landscaping of 41.12% (77.73m²) for the portion of the rear yard in excess of 135m².

A101/21

SECRET GARDEN CRT.

KEY PLAN

PROJECT

92 SECRET GARDEN COURT
KLEINBURG, ON

DRAWING TITLE
SITE PLAN
(OPTION 7)

DRAWN	FIELD	21023
CHECKED	AP	DATE
DATE	2021-02-17	SCALE
SCALE	AS NOTED	A100
AS NOTED		LAST UPDATED:

DRAWINGS REVIEWED:
CAPTIVE

SITE STATISTICS

ZONED	R1 (RESIDENTIAL)
EXISTING GRAD	948.89 sm
LOT AREA	261.43 sm
EXISTING BUILDING AREA	54.00 sm
PROPOSED CABANA AREA	315.43 sm
TOTAL	315.43 sm

EXISTING COVERAGE	REQUIRED	PROVIDED
10% OR 67sm	35%	27.55%
	10% OR 67sm	5.69%

SETBACKS	REQUIRED	PROVIDED
FRONT	7.5m	11.4m
REAR	7.5m	13.4m
INTERIOR SIDE YARD	1.2m	1.33m
INTERIOR SIDE YARD	1.2m	2.38m
REAR (PROPOSED CABANA)	7.5m	1.20m
INTERIOR SIDE (PROPOSED CABANA)	1.2m	1.30m

LANDSCAPE AREA	REQUIRED	PROVIDED
REAR YARD AREA	324.0sm	324.0sm
SOFT LANDSCAPE AREA	113.4 sm	77.73 sm
	60% (NOTE 1)	41.12% (NOTE 1)

LEGEND

[Symbol]	PROPOSED FIN. GRADE
[Symbol]	EXISTING GRADE
[Symbol]	TOP OF CATCH BASIN
[Symbol]	MAN DOOR LOCATIONS
[Symbol]	DRIVE-IN GARAGE
[Symbol]	CATCH BASIN
[Symbol]	SAINTARY MANHOLE
[Symbol]	STORM SEWER MANHOLE
[Symbol]	FIRE HYDRANT
[Symbol]	ROOF DRAIN
[Symbol]	PROPERTY LINE (BOUNDARY)
[Symbol]	REQUIRED BUILDING SETBACK
[Symbol]	EXISTING STRUCTURE
[Symbol]	SOFT LANDSCAPE
[Symbol]	ASPHALT PAVING

LEGAL DESCRIPTION
 UNDER CERTAIN CONDITIONS ON THE PLAN
 PLAN SHOWN TOGETHER WITH THE SPACE OF
 LOTS 36, 37 AND 38
 REGISTRY OF TOWNSHIPS
 CITY OF WILSON
 REGIONAL MUNICIPALITY OF YORK

NOTY-RENTER AS PREPARED BY
 AS PREPARED BY
 REGISTERED PROFESSIONAL ENGINEERING D.L.S.
 TEL: 905-883-2000

EXTERIOR/INTERIOR WALL LEGEND

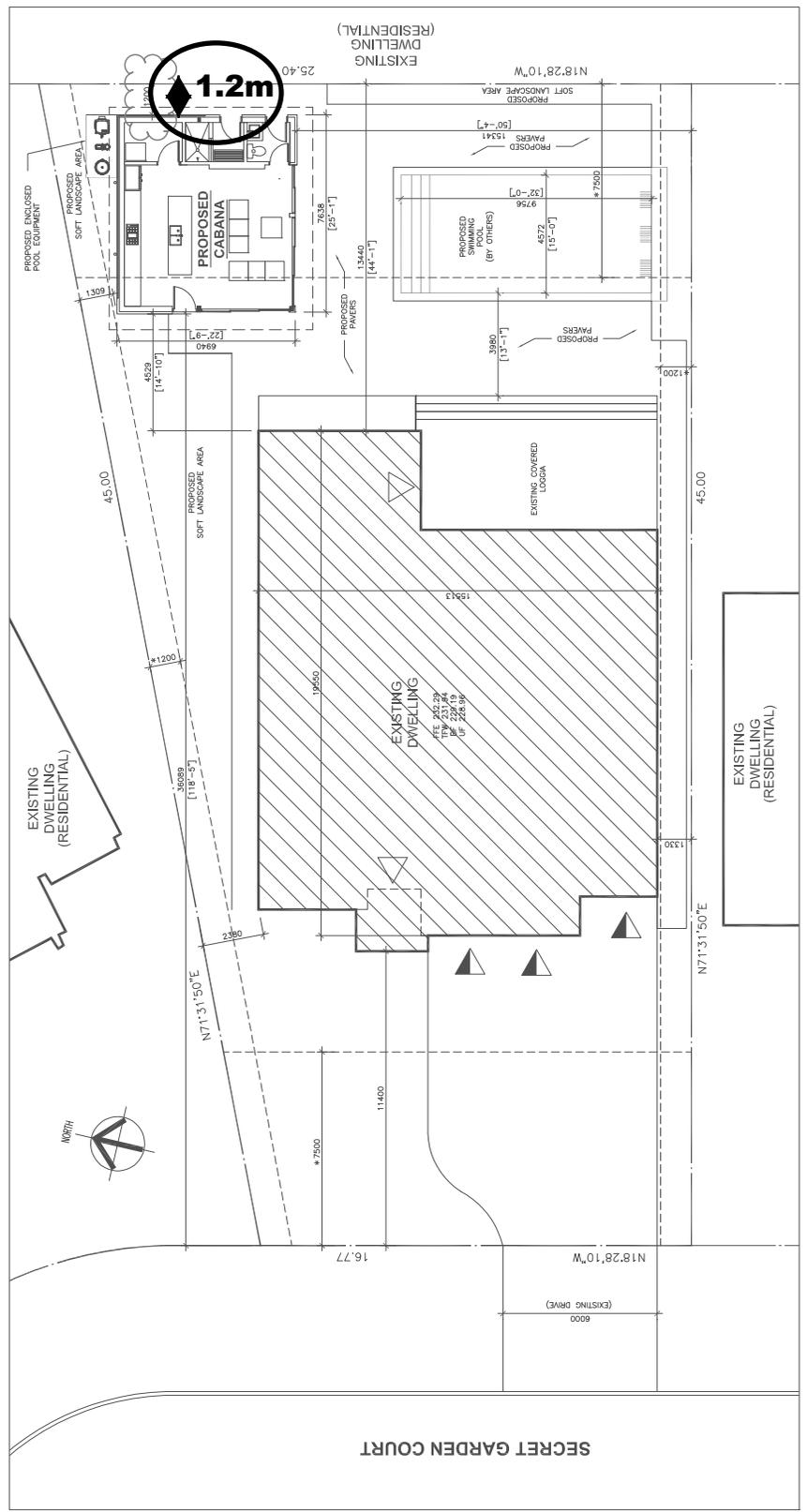
W1 1800x1800x125mm VENEER WALL BLOCK, PROVIDE GRAY METAL TIES AS REQUIRED. AIR/MOISTURE BARRIER GRADE SHEATHING 152mm (6") WOOD STUDS ROUIL MINERAL FIBRE INSULATION (FILL ALL INTERIOR CYP. BD. TO BE TAPED, SANDED, PRIMED AND PAINTED).

W2 VINYL-SIDING WALL 152mm (6") WOOD STUDS ROUIL MINERAL FIBRE INSULATION (FILL ALL INTERIOR CYP. BD. TO BE TAPED, SANDED, PRIMED AND PAINTED).

P1 INTERIOR PARTITION 13mm (1/2") OPSUM BOARD NEW 50mm (2") ARCHITECTURAL CONCRETE BLOCK, PROVIDE GRAY METAL TIES AS REQUIRED. AIR/MOISTURE BARRIER GRADE SHEATHING 152mm (6") WOOD STUDS ROUIL MINERAL FIBRE INSULATION (FILL ALL INTERIOR CYP. BD. TO BE TAPED, SANDED, PRIMED AND PAINTED).

P2 INTERIOR PARTITION (WASHROOM AND CHANGE ROOM) 13mm (1/2") CEMENT BOARD 152mm (6") WOOD STUDS ROUIL MINERAL FIBRE INSULATION (FILL ALL INTERIOR CYP. BD. TO BE TAPED, SANDED, PRIMED AND PAINTED).

NOTE:
 PROVIDE MOULD RESISTANT OPSUM BOARD ON WALL INTERIOR PARTITIONS AND CEMENT BOARD ON EXTERIOR PARTITIONS. PROVIDE PRESSURE TREATED WOOD SILL PLATE AND FLASHING ON ALL EXTERIOR WALLS. PROVIDE SHIMMING BETWEEN SILL AND CONCRETE SLAB PROVIDE WOOD BLOCCING IN WASHROOM. PROVIDE WOOD BLOCCING FOR THE INSTALLATION OF WASHROOM ACCESSORIES.



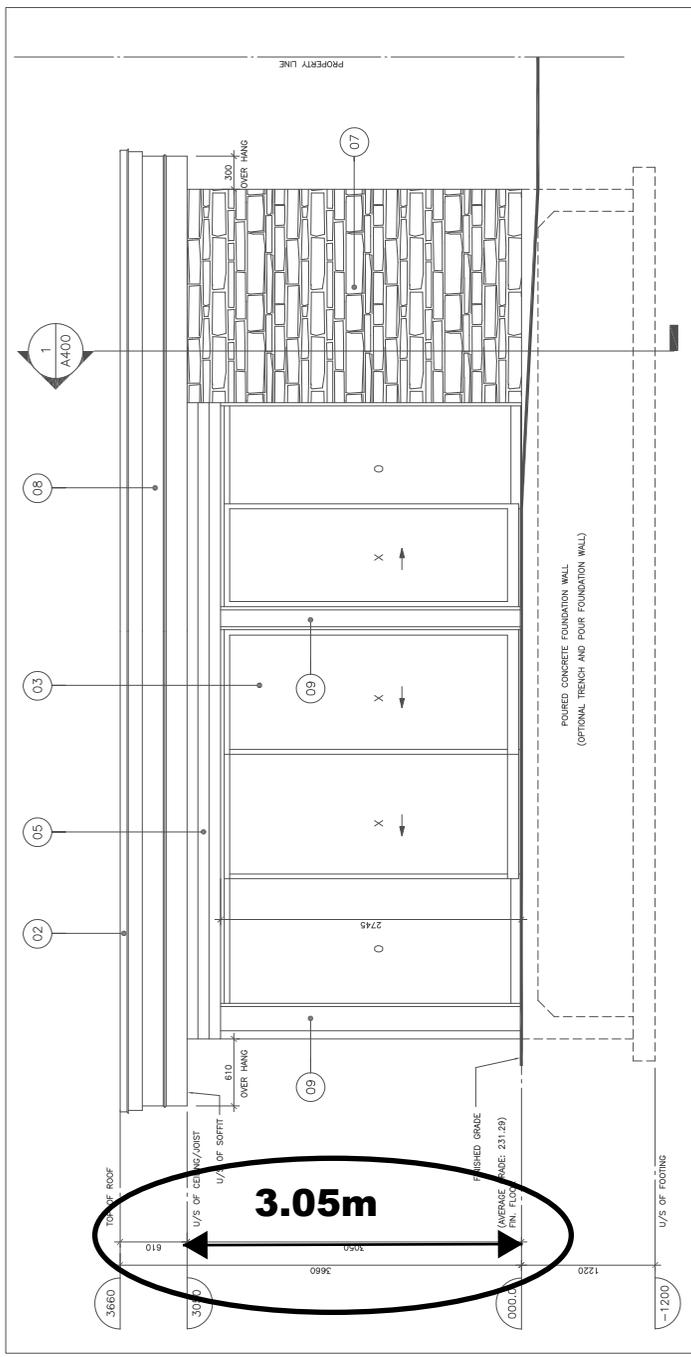
EXTERIOR MATERIALS AND FINISHES LEGEND

- 01 INSULATED FIBERGLASS DOOR AND FRAME (COLOUR BLACK)
- 02 FINISHED METAL C/P FLASHING (COLOUR BLACK)
- 03 FINISHED METAL SLIDING DOOR AND FRAME DOUBLE GLAZED SEALED UNITS WITH THERMALLY BROKEN FRAME (COLOUR BLACK)
- 04 FINISHED METAL DOOR AND FRAME DOUBLE GLAZED SEALED UNITS WITH THERMALLY BROKEN FRAME (COLOUR BLACK)
- 05 EXTERIOR FINISHED METAL SIDING WITH WOOD GRAIN OAK FINISH
- 06 EXTERIOR FINISHED VINYL SIDING (COLOUR BLACK)
- 07 ARCHITECTURAL CONCRETE BLOCK VENER (FINISHTYPE MUDRAN COLLECTION-BLACK CMBS)
- 08 FINISHED METAL FASHA AND TRIM (COLOUR BLACK)
- 09 FINISHED METAL COLUMN COVER (COLOUR BLACK)
- 10 ROOF DRAIN SCUPPER AND RNL (COLOUR BLACK)

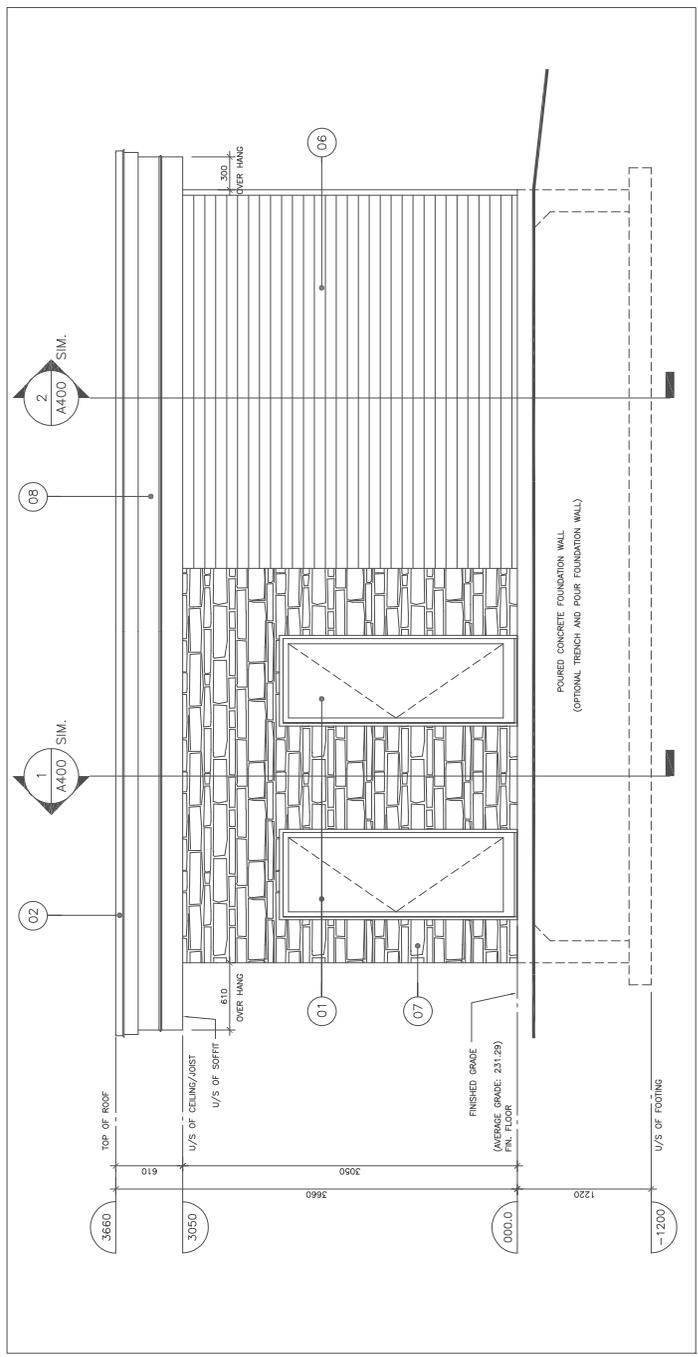
KEY PLAN NTS

2	AP	2021-04-15	ISSUED FOR COA
1	AP	2021-02-17	ISSUED FOR CLIENT REVIEW
NO. BY		DATE	ISSUED
VERIFY ALL DIMENSIONS AND COORDINATE AT THE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT RISK BY THE ARCHITECT.			
APPROVED:		DATE:	
CLIENT: MIKE & AMANDA LEAMMAN CORNACCHIA 92 SECRET GARDEN COURT KLEINBURG, ON L4H 4N7			

PROJECT		PROPOSED CABANA	
92 SECRET GARDEN COURT KLEINBURG, ON			
DRAWING TITLE ELEVATIONS (OPTION 7)			
DRAWN	FIELD	CHECKED	DATE
AP	2/2023	AP	2021-02-17
SCALE		AS NOTED	
DRAWING NO.		A300	
DRAWINGS REVIEWED: LAST UPDATED: CADFILE:			



1 SOUTH ELEVATION SCALE 1:25

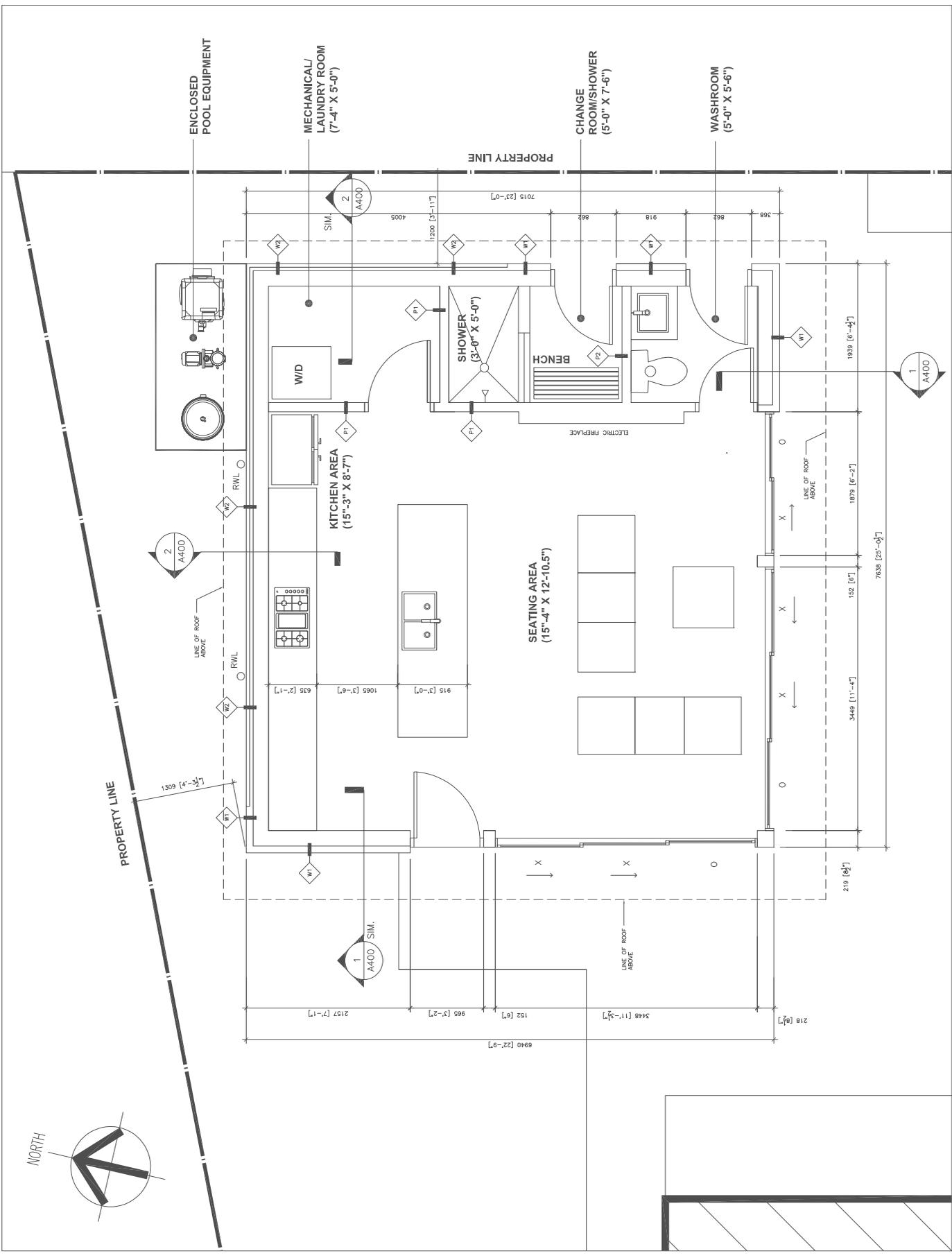


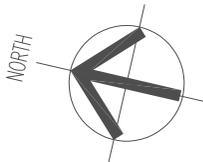
2 EAST ELEVATION SCALE 1:25



KEY PLAN NTS

PROJECT		PROPOSED CABANA	
92 SECRET GARDEN COURT KLEENBURG, ON			
DRAWING TITLE		FLOOR PLAN (OPTION 7)	
NO. BY	DATE	ISSUED FOR	SCALE
AP	2021-04-15	ISSUED FOR COA	AS NOTED
AP	2021-02-17	ISSUED FOR CLIENT REVIEW	
VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETION OF THE WORK UPON REQUEST. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED IN WRITING. APPROVED: _____ DATE: _____			
CLIENT: MIKE & AMANDA LEAMMAN CORNACCHIA 92 SECRET GARDEN COURT KLEENBURG, ON L4H 4M7			
DRAWINGS REVIEWED:		LAST UPDATED:	
CAPTIVE:			

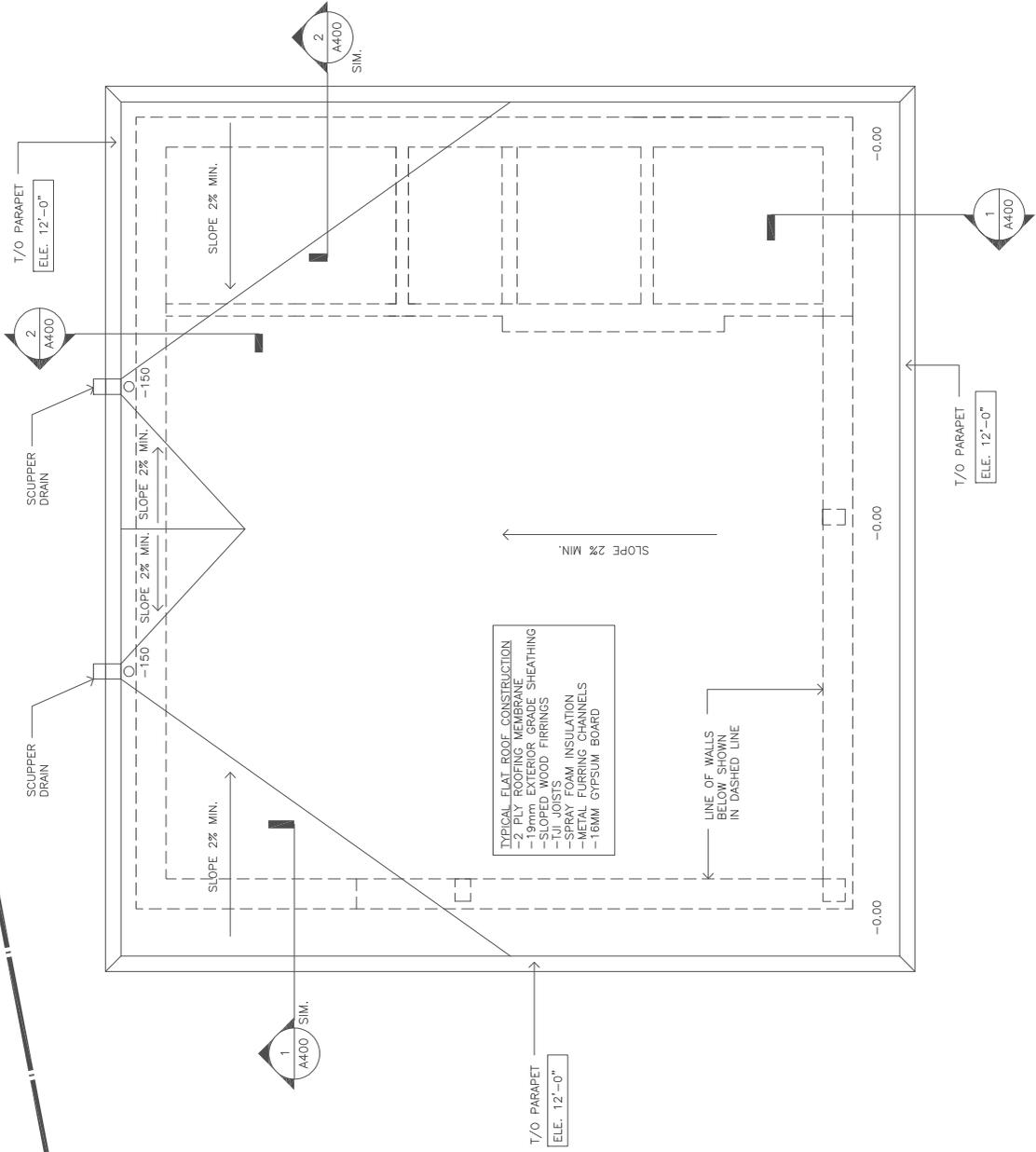




KEY PLAN NTS

PROPERTY LINE

PROPERTY LINE



TYPICAL FLAT ROOF CONSTRUCTION

- 2 PLY ROOFING MEMBRANE
- 19mm EXTERIOR GRADE SHEATHING
- SLOPED WOOD FIRRINGS
- TJI JOISTS
- SPRAY FOAM INSULATION
- METAL FURRING CHANNELS
- 16MM GYPSUM BOARD

LINE OF WALLS
BELOW SHOWN
IN DASHED LINE

PROJECT
PROPOSED CABANA
92 SECRET GARDEN COURT
KLEENBURG, ON

DRAWING TITLE
ROOF PLAN
(OPTION 7)

DRAWN	FIELD
CHECKED	AP
DATE	2021-02-17
SCALE	AS NOTED
DWG. NO.	A202

DRAWINGS REVIEWED: _____
CAPTITLE: _____
LAST UPDATED: _____

NO.	BY	DATE	ISSUED
1	AP	2021-02-17	ISSUED FOR CLIENT REVIEW
2	AP	2021-04-15	ISSUED FOR COA

CLIENT:
MIKE & AMANDA LEAMMAN CORNACCHIA
92 SECRET GARDEN COURT
KLEENBURG, ON
L4H 4M7

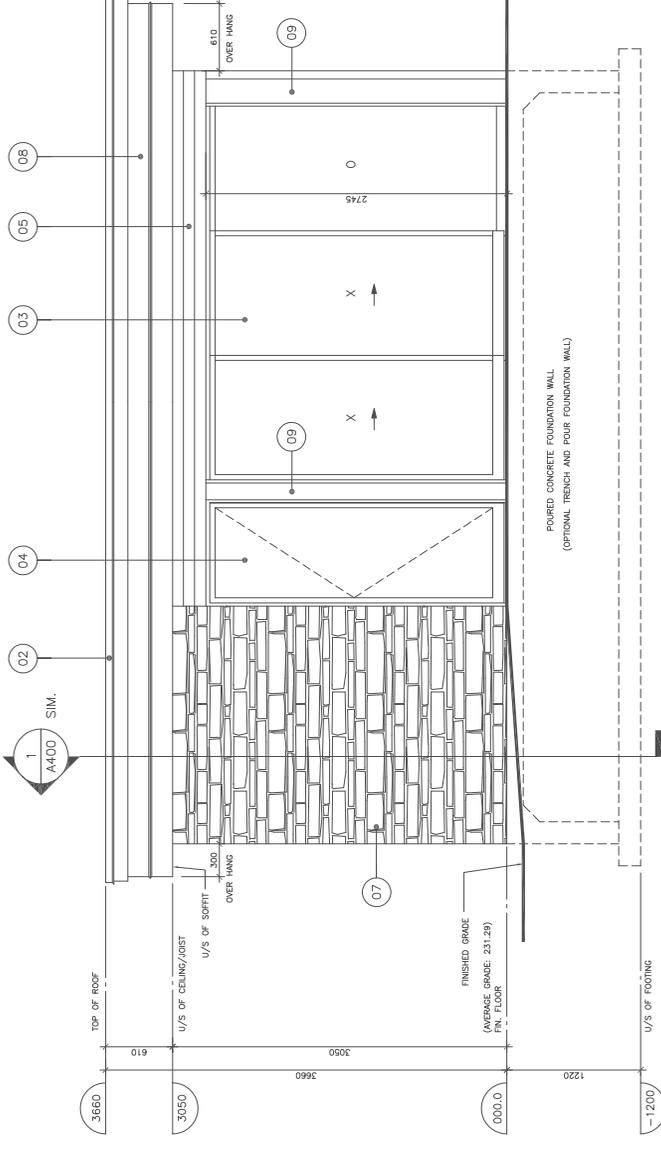
NOTE: ALL DIMENSIONS ARE COORDINATE AT THE
PLANS AND SPECIFICATIONS ARE THE PROPERTY
OF THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
COMPLETION OF THE WORK UPON REQUEST.

THIS DRAWING MUST NOT BE USED FOR
CONSTRUCTION UNLESS APPROVED AT RIGHT
DATE: _____

EXTERIOR MATERIALS AND FINISHES LEGEND

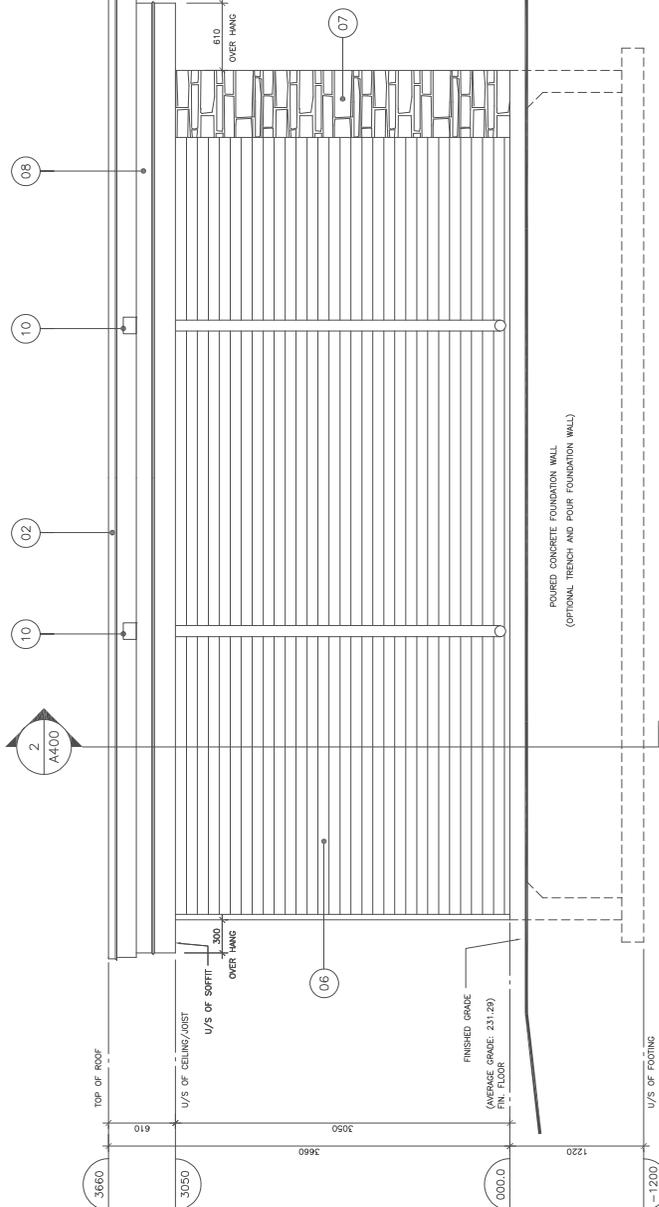
- 01 INSULATED FIBERGLASS DOOR AND FRAME (COLOUR: BLACK)
- 02 PREFINISHED METAL CWP FLASHING (COLOUR: BLACK)
- 03 PREFINISHED METAL SLIDING DOOR AND FRAME DOUBLE GLAZED SEALED UNITS WITH THERMALLY BROKEN FRAME (COLOUR: BLACK)
- 04 PREFINISHED METAL DOOR AND FRAME DOUBLE GLAZED SEALED UNITS WITH THERMALLY BROKEN FRAME (COLOUR: BLACK)
- 05 EXTERIOR PREFINISHED METAL SIDING WITH WOOD GRAIN OAK FINISH
- 06 EXTERIOR PREFINISHED VINYL SIDING (COLOUR: BLACK)
- 07 ARCHITECTURAL CONCRETE BLOCK VENER (PREFINISH: METRODIN COLLECTION-BLACK COMB)
- 08 PREFINISHED METAL FASHA AND TRIM (COLOUR: BLACK)
- 09 PREFINISHED METAL COLUMN COVER (COLOUR: BLACK)
- 10 ROOF DRAIN SCUPPER AND RNL (COLOUR: BLACK)

KEY PLAN NTS



1 WEST ELEVATION SCALE: 1:25

301



2 NORTH ELEVATION SCALE: 1:25

302

NO.	BY	DATE	ISSUED
1	AP	2021-02-17	ISSUED FOR CLIENT REVIEW
2	AP	2021-04-15	ISSUED FOR COA

VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT RISK BY THE ARCHITECT. DATE:

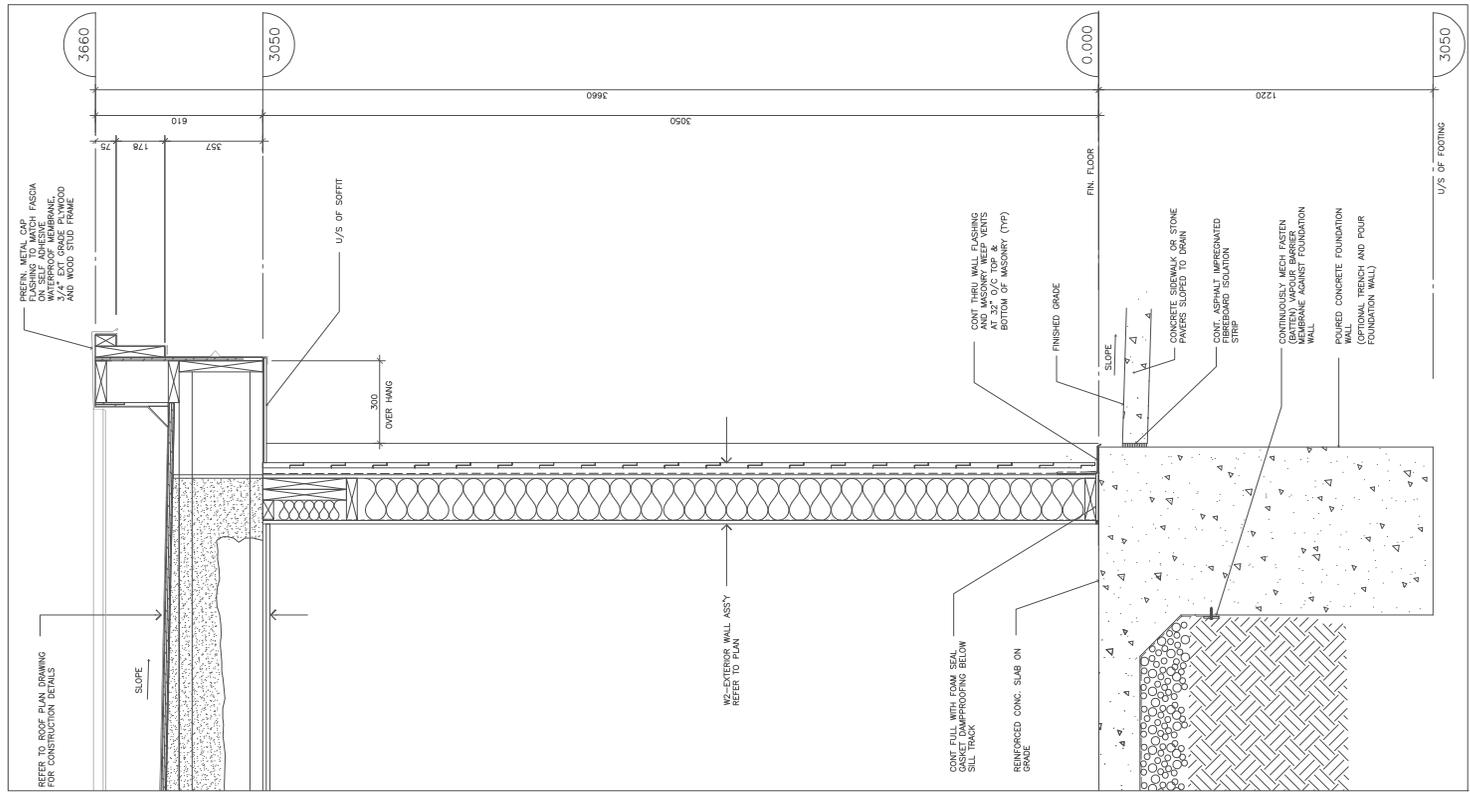
CLIENT:
MIKE & AMANDA LEAMMAN CORNACCHIA
92 SECRET GARDEN COURT
KLEINBURG, ON
L4H 4N7

PROJECT
PROPOSED CABANA
92 SECRET GARDEN COURT
KLEINBURG, ON

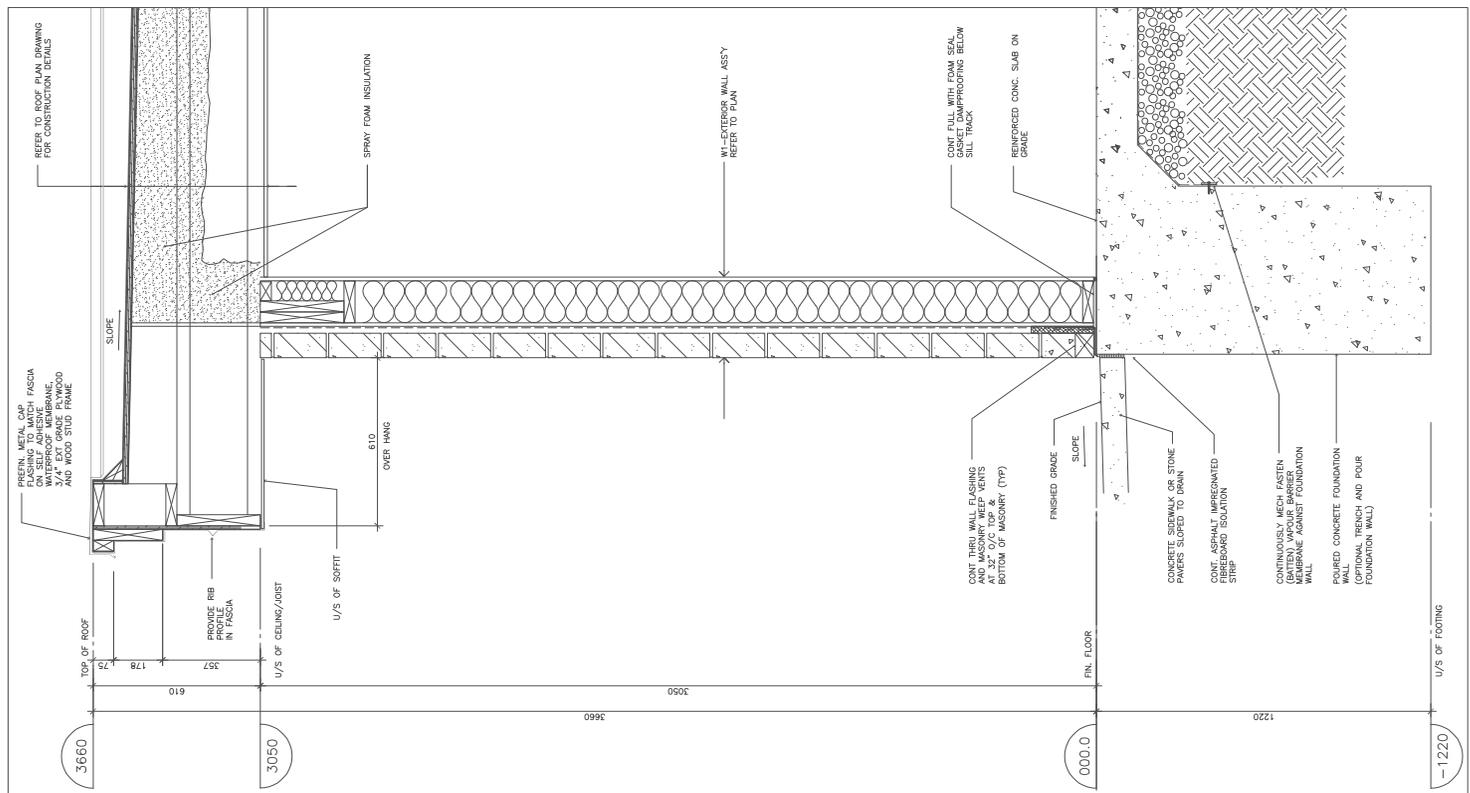
DRAWING TITLE
ELEVATIONS
(OPTION 7)

DRAWN	FIELD
CHECKED	AP
DATE	2021-02-17
SCALE	AS NOTED
DATE	2023
DATE	2023
DATE	2023

DRAWINGS REVIEWED: LAST UPDATED: CAPTILE: A301



2 WALL SECTION
SCALE 1:25
400



1 WALL SECTION
SCALE 1:25
400

KEY PLAN NTS

PROJECT		PROPOSED CABANA	
92 SECRET GARDEN COURT KLEINBURG, ON		DRAWING TITLE WALL SECTIONS (OPTION 7)	
NO.	BY	DATE	ISSUED FOR
1	AP	2021-02-17	ISSUED FOR CLIENT REVIEW
2	AP	2021-04-15	ISSUED FOR COA
VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE WORK UPON REQUEST. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT RIGHT DATE:			
CLIENT: MIKE & AMANDA LEAMMAN CORNACCHIA 92 SECRET GARDEN COURT KLEINBURG, ON L4H 4N7			
DRAWN	FILED	CHECKED	DATE
AP	2023	AP	2023-02-17
SCALE	AS NOTED	DWG. NO.	A400

DRAWINGS REVIEWED: LAST UPDATED: CADFILE:

CEILING FINISH LEGEND

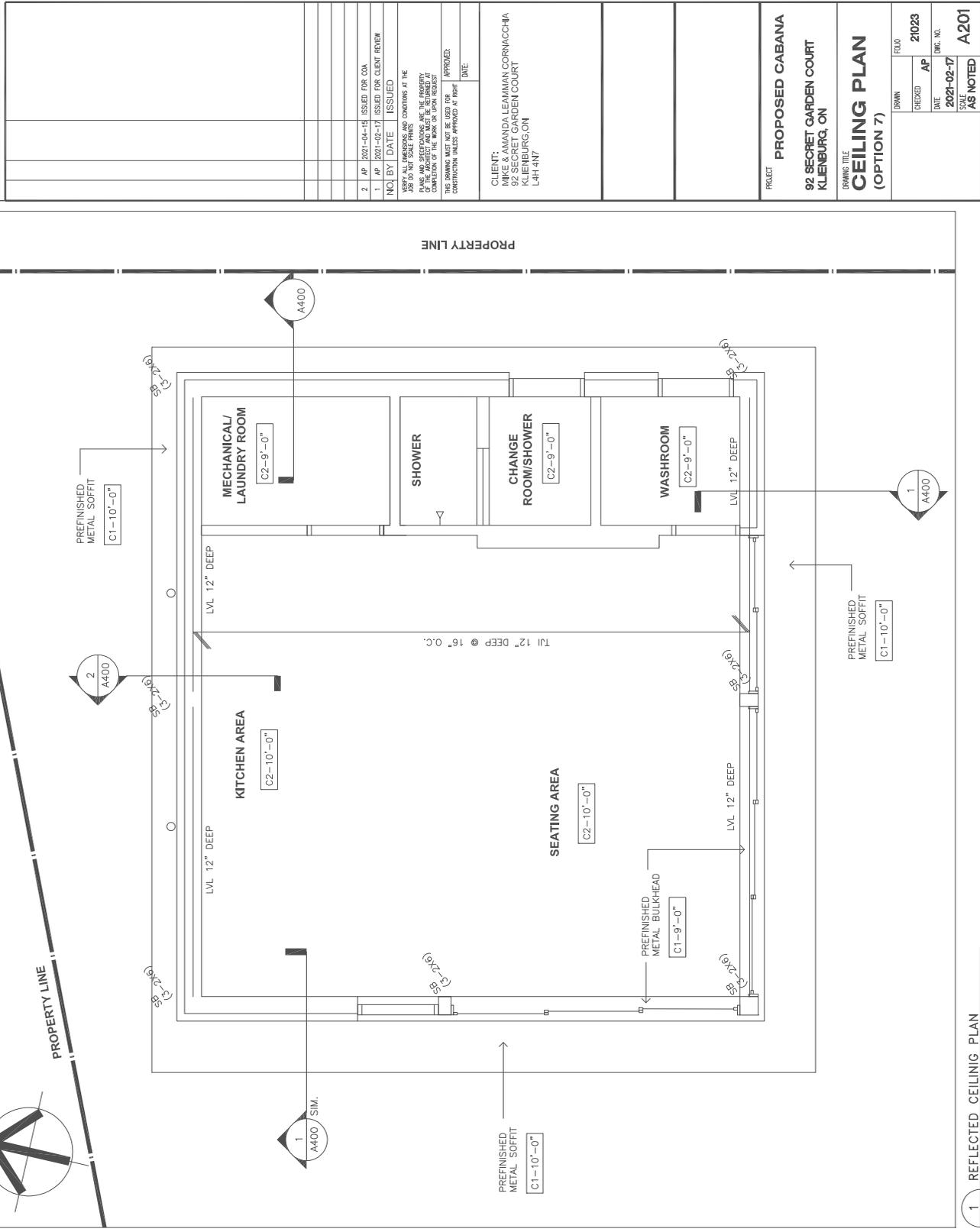
C1 PREFINISHED METAL CEILING METAL SKY GRAY FINISH ON METAL FLOORING AS REQUIRED. (REFER TO MANUFACTURER'S SPECIFICATION FOR INSTALLATION)

C2 1/8" (3/16") GYPSUM BOARD ON METAL FLOORING AS REQUIRED. (REFER TO MANUFACTURER'S SPECIFICATION FOR PRIME AND PAINTED)

NOTE:
PROVIDE MOULD RESISTANT GYPSUM BOARD ON CEILING INTERIORS.

NORTH

KEY PLAN NTS



NO.	BY	DATE	ISSUED
1	AP	2021-02-17	ISSUED FOR CLIENT REVIEW
2	AP	2021-04-15	ISSUED FOR COA

VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. THE ARCHITECT'S WORK SHALL BE THE BASIS FOR THE WORK UNLESS OTHERWISE NOTED. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT THE DATE:

CLIENT:
MIKE & AMANDA LEAMMAN CORNACCHIA
92 SECRET GARDEN COURT
KLEINBURG, ON
L4H 4N7

PROJECT
PROPOSED CABANA
92 SECRET GARDEN COURT
KLEINBURG, ON

DRAWING TITLE
CEILING PLAN
(OPTION 7)

DRAWN	FIELD
CHECKED	AP
DATE	2021-02-17
SCALE	AS NOTED
DWG. NO.	A201

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections



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COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

MacPherson, Adriana

Subject: FW: Request for Comments: A101/21 (92 Secret Garden, Kleinburg)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: May-26-21 2:42 PM

To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: Request for Comments: A101/21 (92 Secret Garden, Kleinburg)

Good afternoon Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca