



File: A093/21

Applicant: Senay Ordu

Address: 10 Lee Anne Ct Woodbridge

Agent: JS Barmi Architect

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday, June 10, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



**Minor Variance
Application**

Agenda Item: 15

A093/21

Ward: 1

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, June 10, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

- Applicant:** Senay Ordu
- Agent:** JS Barmi Architect
- Property:** **10 Lee Anne Ct Woodbridge**
- Zoning:** The subject lands are zoned RR and subject to the provisions of Exception 9(138) under By-law 1-88 as amended.
- OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
- Related Files:** None
- Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed single family dwelling. The existing dwelling is to be demolished with the exception of the existing garage walls.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. An exterior side yard setback of 9.0 metres to the proposed excavated stairway is required (Schedule A, By-law 1-88a.a.).	1. To permit an exterior side yard setback of 8.73 metres to the proposed excavated stairway.
2. A maximum lot coverage of 10% is permitted (Schedule A, By-law 1-88a.a.).	2. To permit a maximum lot coverage of 12.44%. (12.00% dwelling; 0.44% front porch)
3. A maximum driveway width of 9.0 metres is permitted (Section 4.1.4, By-law 1-88a.a.).	3. To permit a maximum driveway width of 11.67 metres.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on May 26, 2021

Applicant confirmed posting of signage on May 18, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	Approx. 1985 (Purchased 2020)

Applicant has advised that they cannot comply with By-law for the following reason(s): Owner and architectural requirements.

Adjournment Request: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

Building Permit No. 21-106676 for Single Detached Dwelling - Residential Demolition, Issue Date: Mar 29, 2021

Building Permit No. 21-105935 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued)

Building Permit No. 21-105187 for Single Detached Dwelling - Septic Tank - (New), Issue Date: Apr 06, 2021

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Building Inspections (Septic):

No response received to date.

Development Planning:

Official Plan: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is proposing to construct a 2-storey single-family dwelling with the above-noted variances.

The Development Planning Department does not object to the proposed variances. The requested exterior side yard setback of 8.73 m to the proposed excavated stairway is a relatively small deviation from the required 9 m and will not negatively impact the streetscape along Phillips Lane. The proposed lot coverage of 12.44% is considered to be minor in nature, as the proposal remains consistent in terms of massing and built form within the existing established large lot neighbourhood. Previous approvals from the Committee of Adjustment for lot coverage within the neighbourhood range between 10.93% to 21.56%. The proposed maximum driveway width of 11.67 m is considered minor as the front yard maintains an appropriate amount of landscaping.

The Owner submitted an Arborist Report, prepared by Green-WHY Landscape Inc. dated November 09, 2020, that inventoried a total of 101 trees, 23 of which are proposed to be removed with a replanting of 51 trees. The Urban Design Division has reviewed the report and concurs with its recommendations.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A093/21.

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for the pool permit.

Parks Development - Forestry:

Hoarding inspection is pending...

Forestry to inspect hoarding prior to March 1, 2021.

Applicant hasn't notified Forestry of Hoarding Installation.

By-Law and Compliance, Licensing and Permit Services:

No comments received to date

Development Finance:

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Fire Department:

No comments received to date

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: N/A

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended: None

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

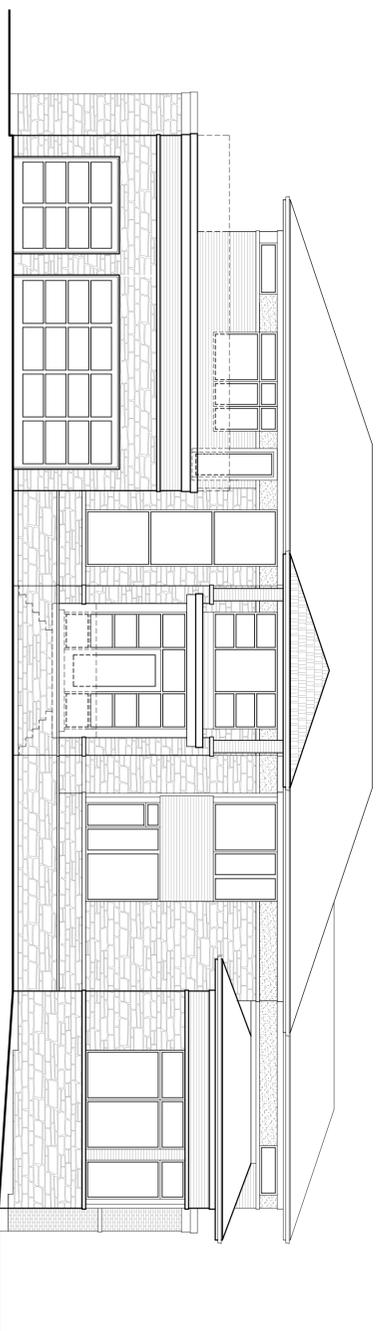
T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches

PRIVATE RESIDENCE 10 LEE ANNE COURT, VAUGHAN



PROJECT NAME: PRIVATE RESIDENCE
MUNICIPAL ADDRESS: 10 LEE ANNE COURT, WOODBRIDGE, ONT
LEGAL ADDRESS: LOT 32, REG. PLAN M-1672
CITY OF VAUGHAN

	EXISTING	PROPOSED
ZONING	RR	
LOT AREA	43,699.32 SF	4,059.8 SM
LOT DEPTH	287' - 4 $\frac{7}{8}$ "	87.59 M
LOT FRONTAGE	146' - 7 $\frac{1}{8}$ "	44.68 M
LOT COVERAGE:		(5,436.27 SF / 505.05 SM) 12.44%

BUILDING TYPE:		DETACHED
GROSS FLOOR AREA (A-A1+B1):	-	6,898.8 SF
GROUND FLOOR (A):	-	4,999.9 SF
SECOND FLOOR AREA (B):	-	2,526 SF
GARAGE AREA (A1):	-	627 SF
FINISHED BASEMENT AREA (C):	-	4,065 SF
BUILDING HEIGHT (MAX. PERMITTED):	9.5 M	377.65 SM
NUMBER OF STORES:	2	2 STORES

FRONTYARD SETBACK	15 M	27.41 M	24.25 M
REAR YARD SETBACK	15 M	39.85 M	32.92 M
NORTH SIDE YARD SETBACK	9.0 M	15.95 M	9.95 M
SOUTH SIDE YARD SETBACK	4.5 M	5.97 M	5.26 M

INDEX OF DRAWINGS

A 000	TITLE SHEET
A 001	SITE PLAN
A 100	BASEMENT PLAN
A 101	FIRST FLOOR PLAN
A 102	SECOND FLOOR PLAN
A 103	ROOF PLAN
A 200	FRONT (EAST) ELEVATION
A 201	NORTH (SIDE) ELEVATION
A 202	WEST (REAR) ELEVATION
A 203	SOUTH (SIDE) ELEVATION
A 300	BUILDING SECTIONS A & B
A 301	BUILDING SECTION C
A 303	WALL SECTIONS

A 1 TITLE SHEET / SITE DATA

A 8 ABBREVIATIONS

A.F.F	ABOVE FINISHED FLOOR	FD	FLOOR DRAIN	NIC	NOT IN CONTRACT	UNO	UNLESS NOTED OTHERWISE
ARCH	ARCHITECTURAL	FE	FIRE EXTINGUISHER	NIS	NOT TO SCALE	URS	ORIGINAL
ALUM	ALUMINIUM	FHC	FIRE HOSE CABINET	OC	ON CENTRE	U/S	UNDERSIDE OF
BD/BRD	BOARD	FIN	FINISH	O/H	OVERHEAD	V.B.	VAPOUR BARRIER
BLK	BLOCK	FL	FLOOR	P LAM	PLASTIC LAMINATE	WC	WATER CLOSET
CB	CATCH BASIN	FR	FLASHING	P LYWD	PLYWOOD	WD	WOOD
CD	CENTRO JOINT	FRR	FIRE RESISTANCE RATING	PREFIN	PREFINISHED	W/O	WITHOUT
CLG	CEILING	FS	FIRE SEPARATION	P.T.	PRESSURE TREATED	W/R	WASHROOM
CLM	CLIMB	GALV	GALVANIZED	PCP	PAINTED	W/	WITH
CONC	CONCRETE	GL	GLAZING	RD	REFLECTIVE CEILING PLAN		
CONT	CONTINUOUS	GWB	GYPSONUM WALL BOARD	RD	ROOF DRAIN		
C/W	COMPLETE WITH	HAND	HANDICAP	REINF	REINFORCED		
DET	DETAIL	HM	HOLLOW METAL	REQ	REQUIRED		
DE	DETAIL WITH	HP	HIGH POINT	RHC	RECESSED HEATING CABINET		
DIA	DIAMETER	HR	HOUR	RTU	ROOF TOP UNIT		
DN	DOWN	HSS	HOLLOW STEEL SECTION	RVL	RAIN WATER LEADER		
DWG	DRAWING	INSUL	INSULATION	RWT	RAINFALL		
ELEC	ELECTRICAL	LP	LOW POINT	SHT	SHEET		
ELEV	ELEVATION	LX	LOW POINT	SIM	SIMILAR		
EQ	EQUAL	MAX	MAXIMUM	SS	SPECIFICATION		
EXIST	EXISTING	MECH	MECHANICAL	SS	STAINLESS STEEL		
EXP/EX	EXPANSION JOINT	MEMB	MEMBRANE	STRUCT	STRUCTURAL		
EXP/EX	EXPANSION JOINT	MH	MANHOLE	ST/STL	STEEL		
EXP/EX	EXPANSION JOINT	MT	METAL	T/O	TOP OF		
EXP/EX	EXPANSION JOINT	MIN	MINIMUM	TYP	TYPICAL		
EXP/EX	EXPANSION JOINT	MISC	MISCELLANEOUS				

GENERAL NOTES/MATERIAL KEYING

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0 4
0 3
0 2 17 MAR 21 PERMIT
0 1 14 DEC 20 REVIEW
NO. DATE REASON FOR ISSUE
DRAWN BY: DSM CHECKED BY: JSB
CONSULTANT

PROJECT TITLE

PRIVATE RESIDENCE
10 LEE ANNE COURT
VAUGHAN, ON
JSBA PROJECT#: 2022-01

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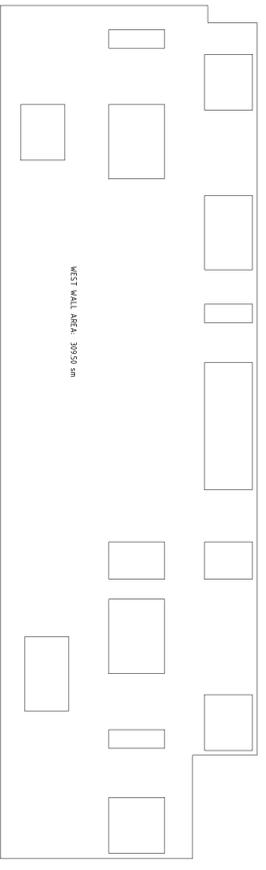
A 000

TITLE SHEET
SITE DATA
ABBREVIATIONS

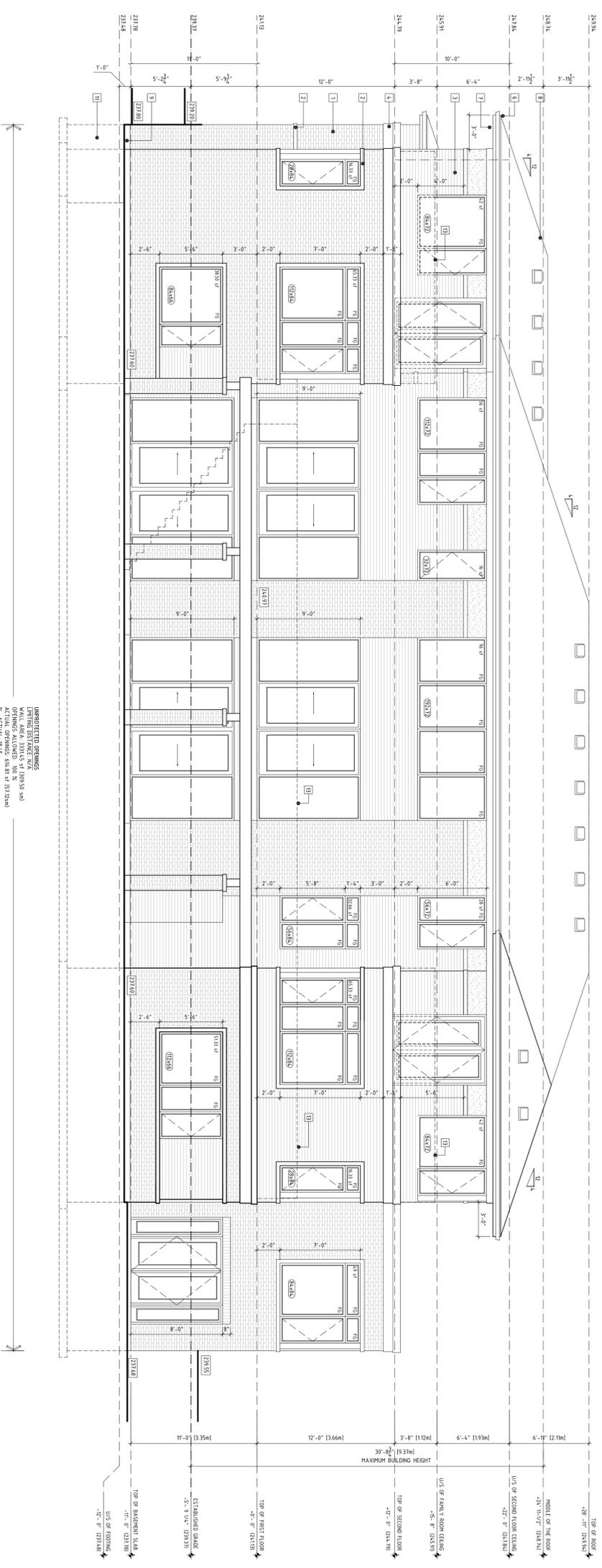
2586A YONGE STREET
TORONTO, ON M4P 2J3 CANADA
T: +1 416 745 0765
E: INFO@LVINGBOX.CA
I: WWW.LIVINGBOX.CA

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- ELEVATION NOTES**
- 1 BRICK OR STONE VENEER, TYP.
 - 2 CHEAST STONE TRIM, TYP.
 - 3 WOOD SILING, TYP.
 - 4 METAL PANEL/FLASING, TYP.
 - 5 EPS PANEL/ TRIM TYP. (TEXTURE TO BE DETERMINED LATER)
 - 6 PRE-FIN METAL GUTTER, DWP EDEL AND FASOLA, TYP.
 - 7 GUTTER SPOUT, TYP.
 - 8 ASPHALT/CEAD SHINGLES, TYP.
 - 9 EPS, TYPICAL (TEXTURE TO BE DETERMINED LATER)
 - 10 2" GUTTER PAVING OVER EXPANDED FOUNDATION 6" BELOW GRADE, TYP.
 - 11 STATED CONC. FOUNDING (2" MAX HEIGHT & 2'-0" MIN LENGTH)
 - 12 FRODOD CONC. FOUNDATION WALLS AND FOOTINGS
 - 13 42" HIGH GUARD RAILING TO LATER DETAIL



UNPROTECTED OPENINGS
 WALL AREA 33315.5 sq ft (30959 sq)
 ACTUAL OPENING AREA 8137.21 sq ft
 X ACTUAL 88.45
 THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS PREPARED BY AH-DESIGN INC.

PROPOSED REAR / WEST ELEVATION

A 1

3/16" = 1'-0"

04
 03
 02 17 MAR 21 PERMIT
 01 14 DEC 20 REVIEW
 NO. DATE REASON FOR ISSUE
 DRAWN BY: DSM CHECKED BY: JSB
 CONSULTANT

PROJECT TITLE
 PRIVATE RESIDENCE
 10 LEE ANNE COURT
 VAUGHAN, ON
 JSBA PROJECT #: 2022-01



J S BARMİ ARCHITECT

A202

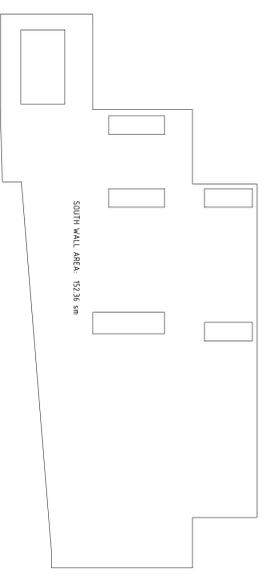
PROPOSED REAR / WEST ELEVATION

2586A YONGE STREET
 TORONTO, ON M4P 2J3 CANADA
 T: +1 416 745 0765
 E: INFO@JVBINOX.CA
 I: WWW.JVBINOX.CA

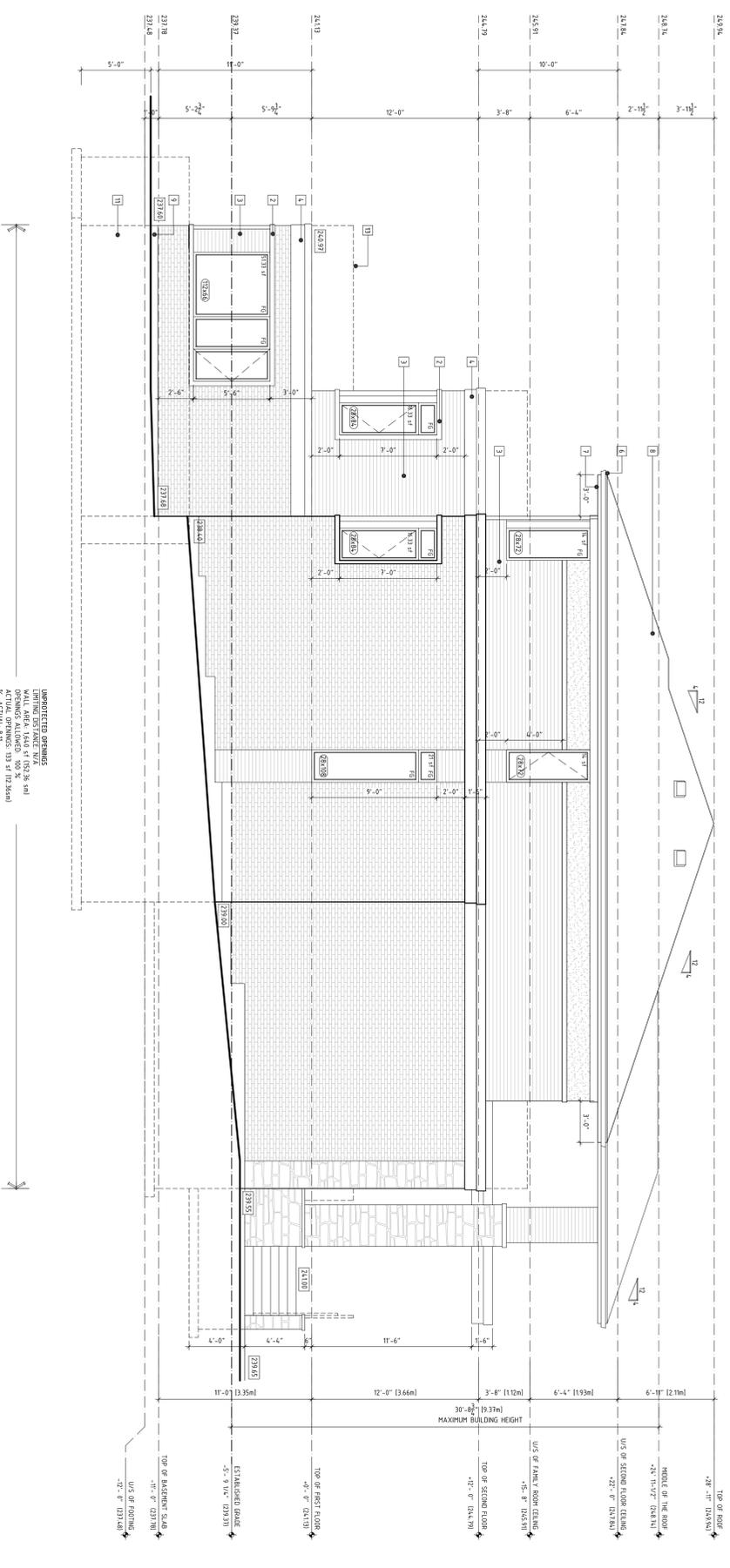
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- ELEVATION NOTES**
- 1 BRICK OR STONE VENEER, TYP.
 - 2 PRECAST STONE TRIM, TYP.
 - 3 WOOD SINGLES, TYP.
 - 4 METAL PANEL/ TRIM FLASHING, TYP.
 - 5 EPS PANEL/ TRIM, TYP. (TEXTURE TO BE DETERMINED LATER)
 - 6 PRE-FIN METAL GUTTER, DWP EDGE, AND FLASH, TYP.
 - 7 GOMA SPELIT, TYP.
 - 8 ASPHALT/ GOMA SINGLES, TYP.
 - 9 EPS, TYPICAL (TEXTURE TO BE DETERMINED LATER)
 - 10 1" CENTR. FLASHING OVER EXPOSED FOUNDATION TO 6" BELOW FINISH FLOOR
 - 11 STRIPPED CONC. FOUNDATION WALLS AND FOOTINGS
 - 12 FOUNDED CONC. FOUNDATION WALLS AND FOOTINGS
 - 13 4" HIGH GUARD RAILING TO LATER DETAIL



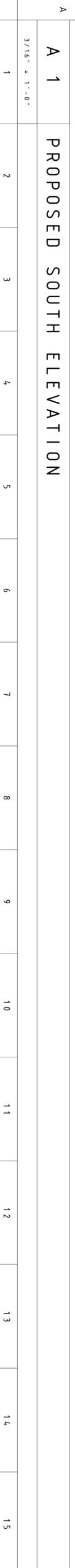
UNPROTECTED DRAWING
 WALL AREA: 10238 sq. ft. (10238 sq. ft.)
 ACTUAL DRAWING: 10238 sq. ft. (10238 sq. ft.)
 X: ACTUAL: 811

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS PREPARED BY AH-DESIGN INC.

PROPOSED SOUTH ELEVATION

A 1

3/16" = 1'-0"



04
 03
 02 17 MAR 21 PERMIT
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 CONSULTANT

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 JSBA PROJECT #: 2022-01



J S BARNI ARCHITECT

A203

PROPOSED SOUTH ELEVATION

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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO CONSTRUCTION. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON ARCHITECTURAL DRAWINGS, ALL DIMENSIONS AND CONDITIONS SHALL BE REVISED IN ANY MANNER WITHOUT WRITTEN PERMISSION OF JS BARNI ARCHITECT.

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REASON FOR ISSUE: REVIEW
DRAWN BY: DSM
CHECKED BY: JSB
CONSULTANT

04
03
02 17 MAR 21 PERMIT
01 14 DEC 20 REVIEW

PROJECT TITLE
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VAUGHAN, ON
JSBA PROJECT #: 2022-01

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J S BARNI ARCHITECT
JACQUE SINGH BARNI
LICENCE 6172

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T: +1 416 745 0765
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A300
BUILDING SECTION B
BUILDING SECTION A

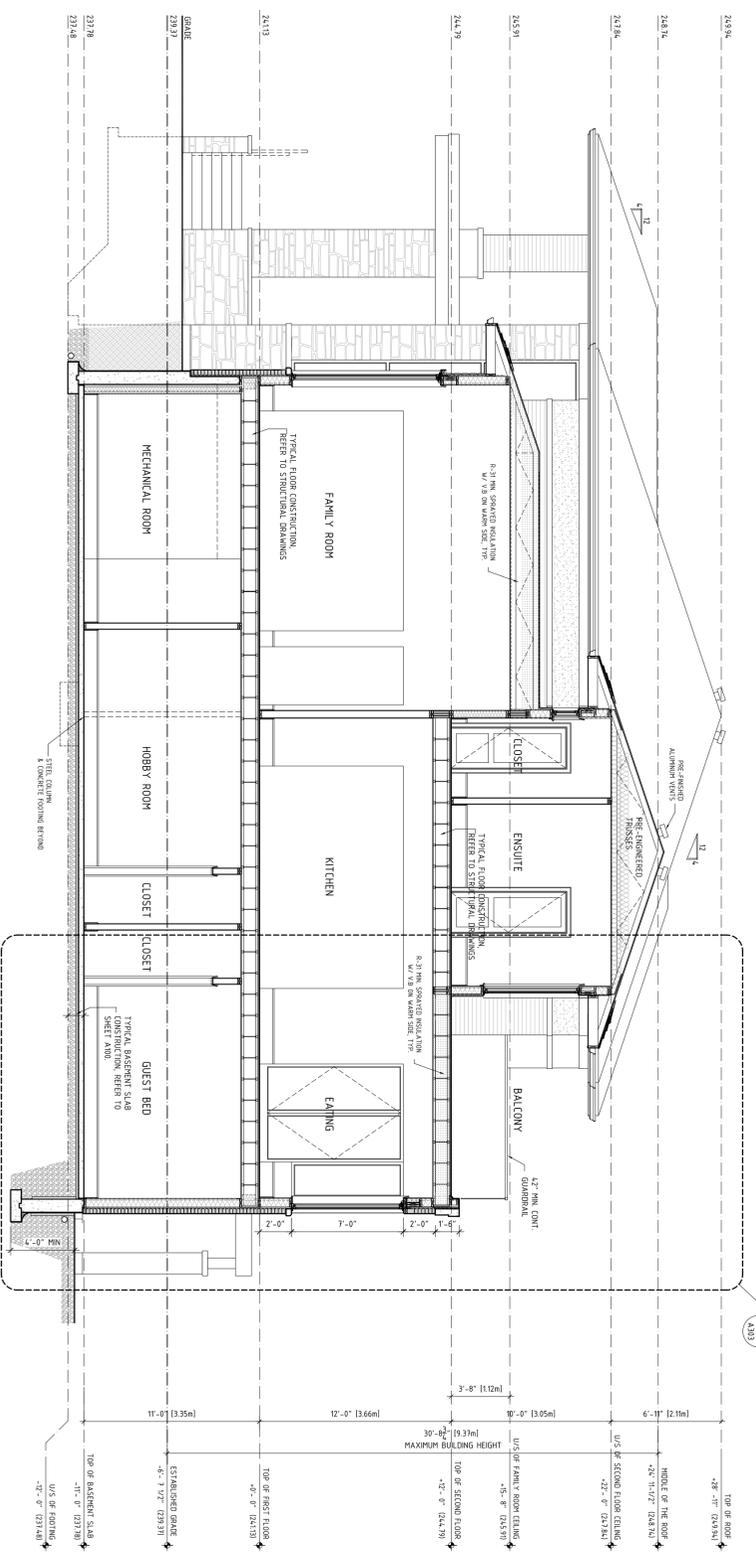
ENERGY EFFICIENCY REQUIREMENTS

INSULATION FOR BASEMENT WALLS AS PER PART 7.2, MIN 2500 COMPLIANT POLYURETHANE INSULATION WITH 50% MOISTURE BARRIER, MIN. NOMINAL R TO BE 222

NOTES

1. ALL BASEMENT WALLS ABOVE GROUND WITH AN EXPOSED AREA ABOVE GROUND LEVEL EXCEEDING SIX (6) FEET THE BASEMENT WALL TO RECEIVE R-24 INSULATION.

2. ALL FOOTINGS TO BE ON NATURAL UNDISTURBED SOIL.



248.94	TOP OF ROOF	-28'-11" (85.91M)
248.74	MODEL OF THE ROOF	-26'-11 1/2" (82.81M)
248.74	US OF SECOND FLOOR CEILING	-22'-0" (67.31M)
245.91	US OF FAMILY ROOM CEILING	-15'-0" (45.71M)
244.79	US OF SECOND FLOOR	-12'-0" (36.58M)
244.19	US OF FIRST FLOOR	-6'-0" (18.29M)
233.78	ESTABLISHED GRADE	-4'-7 1/2" (13.73M)
233.48	TOP OF BASEMENT SLAB	-11'-0" (33.53M)
	US OF FOOTING	-11'-0" (33.53M)
	US OF FOOTING	-22'-0" (67.31M)

BUILDING SECTION B

3/16" = 1'-0"

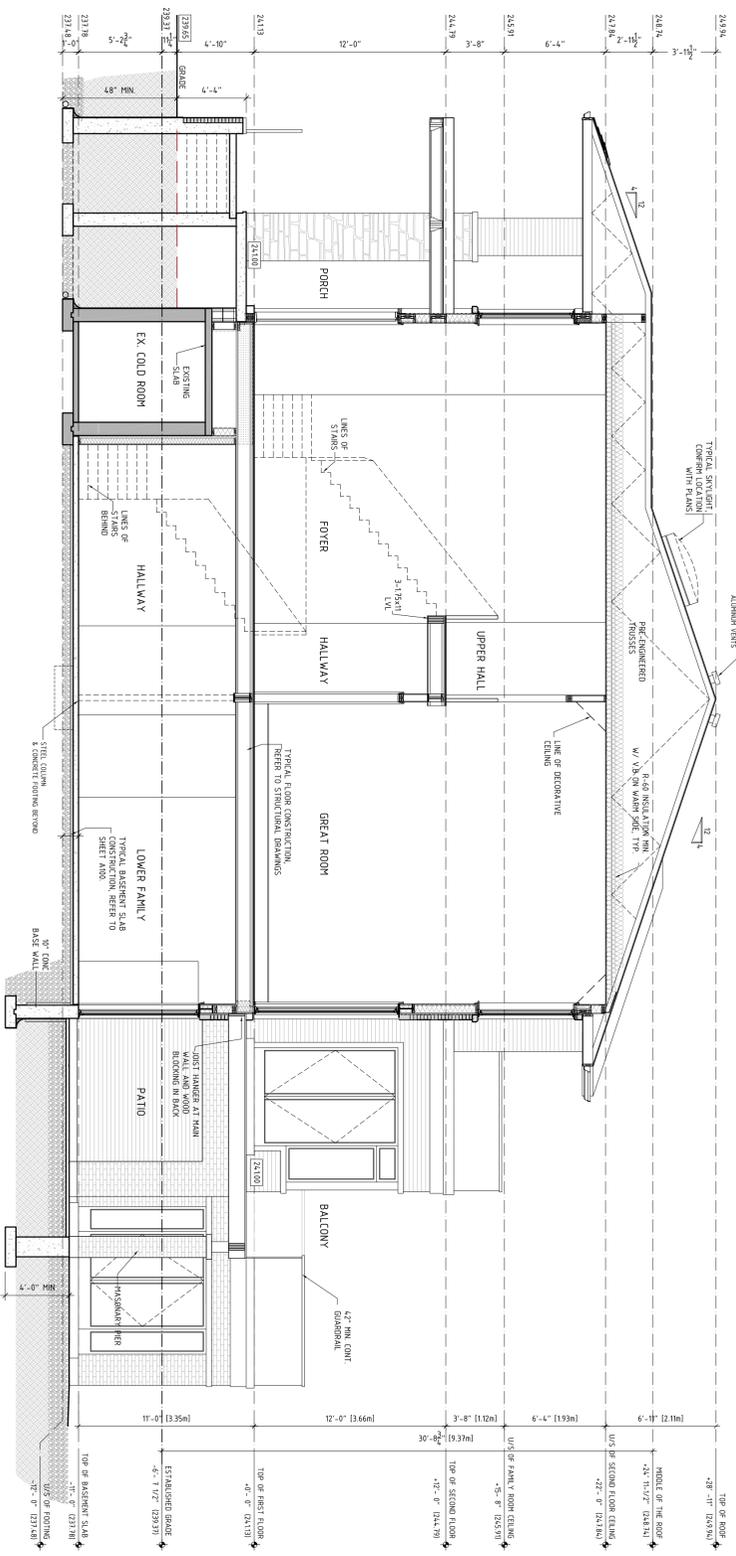
ENERGY EFFICIENCY REQUIREMENTS

INSULATION FOR BASEMENT WALLS AS PER PART 7.2, MIN 2500 COMPLIANT POLYURETHANE INSULATION WITH 50% MOISTURE BARRIER, MIN. NOMINAL R TO BE 222

NOTES

1. ALL BASEMENT WALLS ABOVE GROUND WITH AN EXPOSED AREA ABOVE GROUND LEVEL EXCEEDING SIX (6) FEET THE BASEMENT WALL TO RECEIVE R-24 INSULATION.

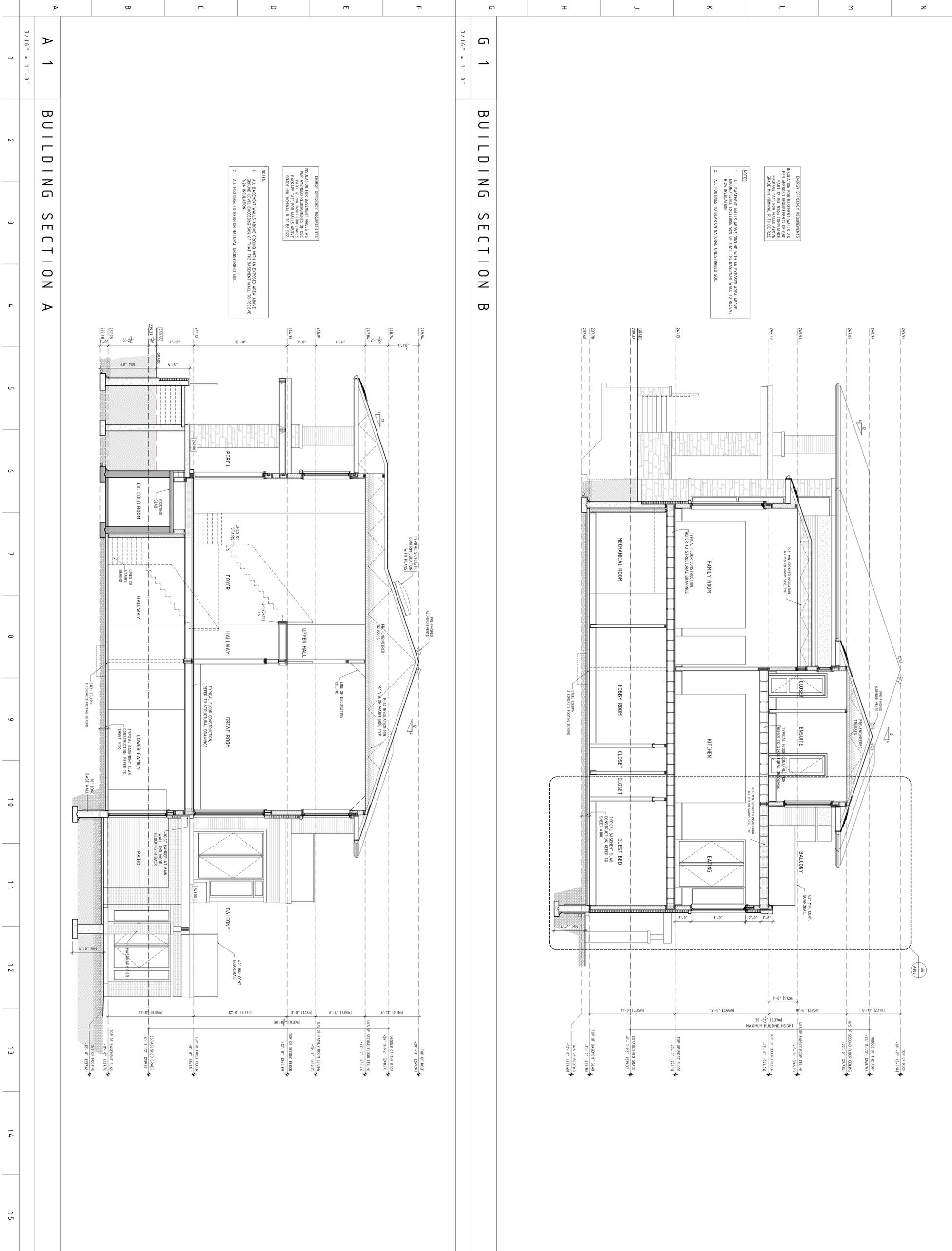
2. ALL FOOTINGS TO BE ON NATURAL UNDISTURBED SOIL.



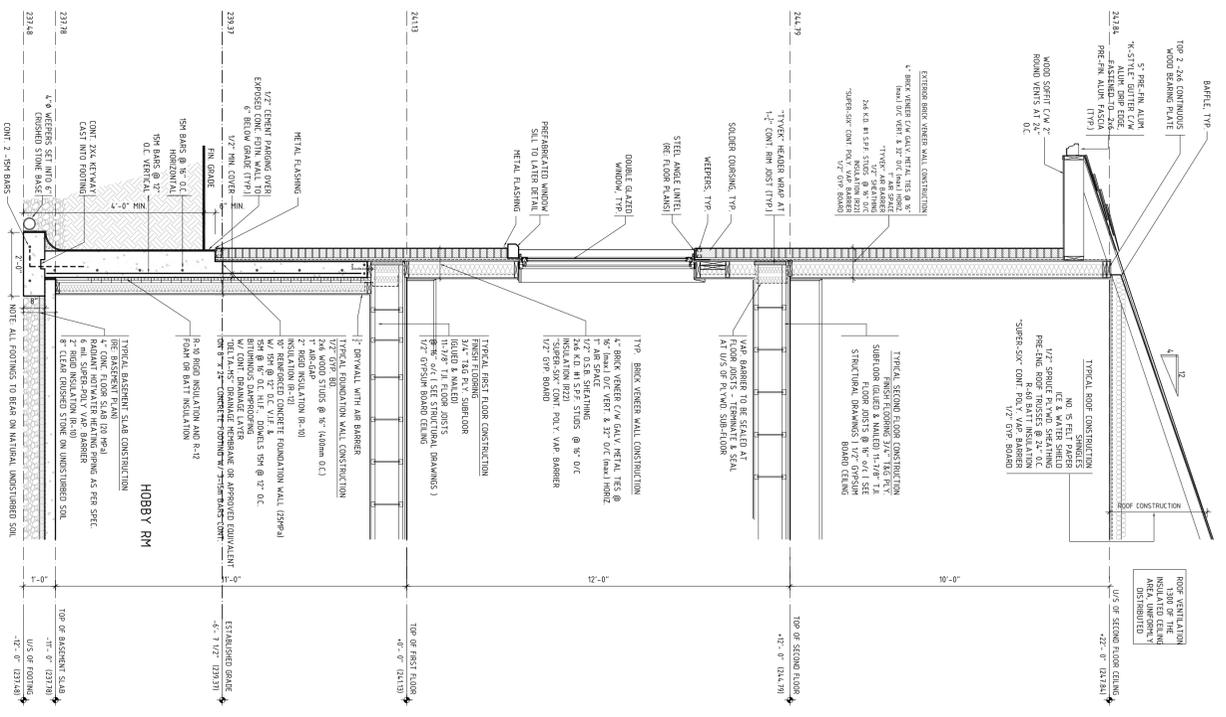
248.94	TOP OF ROOF	-28'-11" (85.91M)
248.74	MODEL OF THE ROOF	-26'-11 1/2" (82.81M)
248.74	US OF SECOND FLOOR CEILING	-22'-0" (67.31M)
245.91	US OF FAMILY ROOM CEILING	-15'-0" (45.71M)
244.79	US OF SECOND FLOOR	-12'-0" (36.58M)
244.19	US OF FIRST FLOOR	-6'-0" (18.29M)
233.78	ESTABLISHED GRADE	-4'-7 1/2" (13.73M)
233.48	TOP OF BASEMENT SLAB	-11'-0" (33.53M)
	US OF FOOTING	-11'-0" (33.53M)
	US OF FOOTING	-22'-0" (67.31M)

BUILDING SECTION A

3/16" = 1'-0"

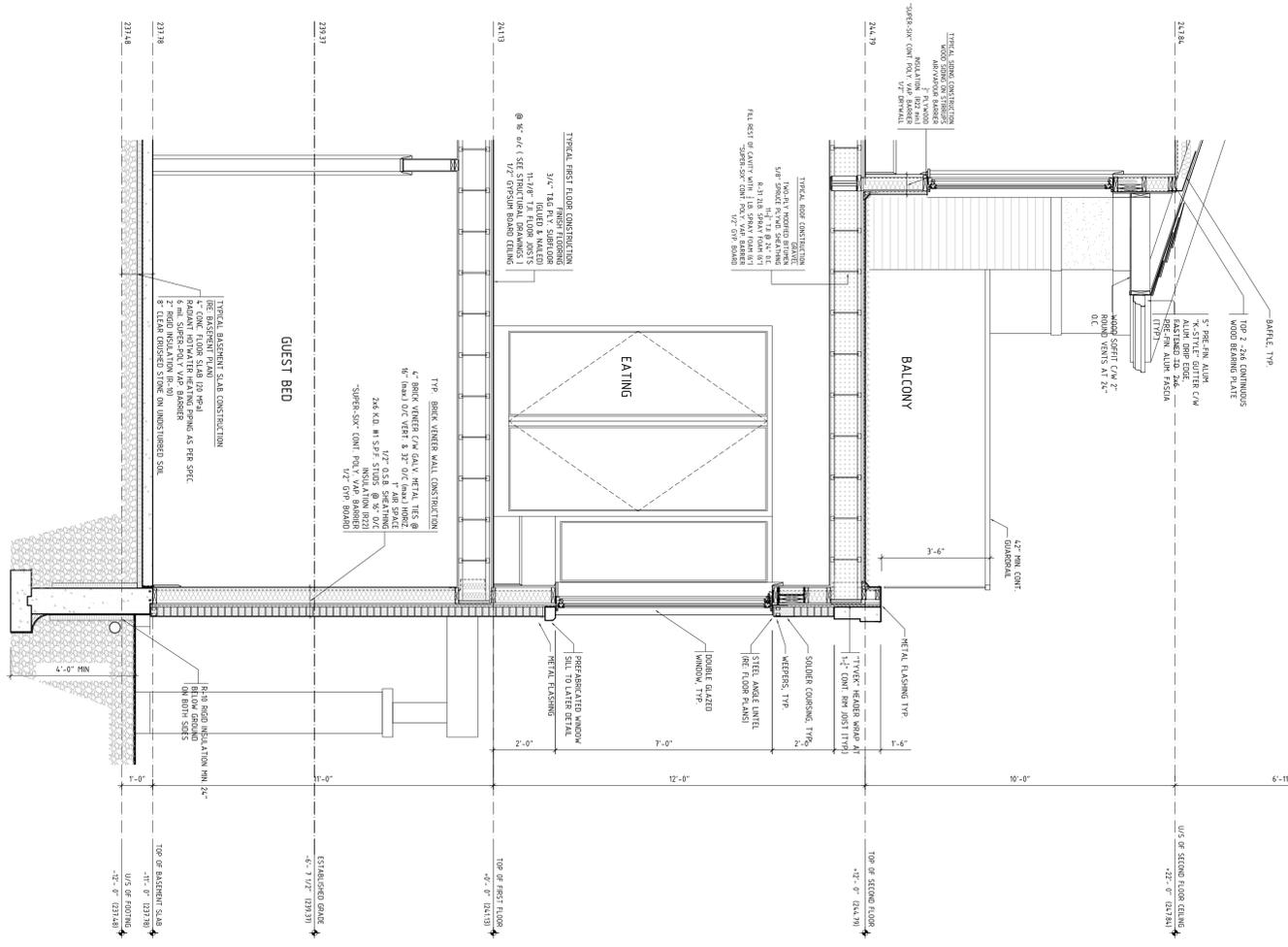


ENERGY EFFICIENCY REQUIREMENTS
INSULATION FOR BASEMENT WALLS AS PER APPROVED REQUIREMENTS OF OBC PACKAGE "A", FOR WALLS ABOVE GRADE FIN NOMINAL R TO BE R22



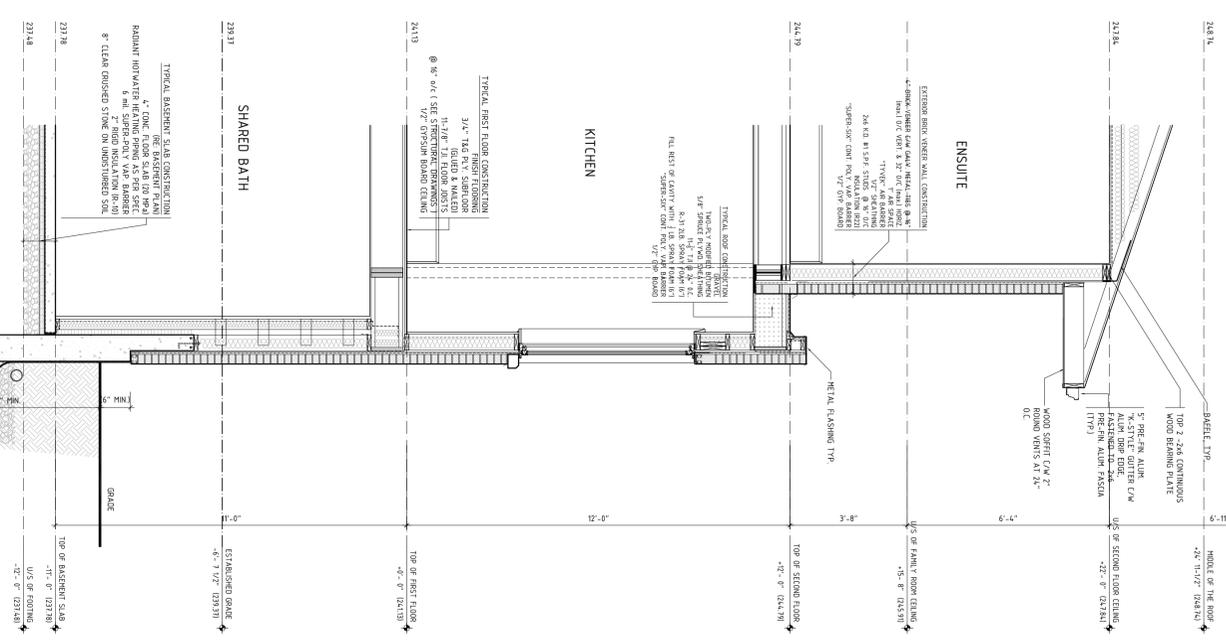
A 1 WALL SECTION TYPICAL

ENERGY EFFICIENCY REQUIREMENTS
INSULATION FOR BASEMENT WALLS AS PER APPROVED REQUIREMENTS OF OBC PACKAGE "A", FOR WALLS ABOVE GRADE FIN NOMINAL R TO BE R22



A 6 WALL SECTION A

ENERGY EFFICIENCY REQUIREMENTS
INSULATION FOR BASEMENT WALLS AS PER APPROVED REQUIREMENTS OF OBC PACKAGE "A", FOR WALLS ABOVE GRADE FIN NOMINAL R TO BE R22



A 12 WALL SECTION B

GENERAL NOTES/MATERIAL KEYING
DIMENSIONS NOT BE GIVEN AND TO BE FOUND IN CONSTRUCTION WITH GENERAL NOTES AND OBC
ALL DIMENSIONS AND INFORMATION ON THESE DRAWINGS MUST BE FOUND TO VARY FROM THAT INDICATED ON ARCHITECTURAL AND FABRICATION. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON ARCHITECTURAL AND FABRICATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT IMMEDIATELY IN WRITING. ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED
COPYRIGHT © 2021 ALL INFORMATION CONTAINED ON THIS DRAWING IS THE PROPERTY OF JS BARNI ARCHITECT. ALL RIGHTS ARE RESERVED. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT WRITTEN PERMISSION OF JS BARNI ARCHITECT.

- 0.4
- 0.3
- 0.2 17 MAR 21 PERMIT
- 0.1 14 DEC 20 REVIEW
- NO. DATE REASON FOR ISSUE
- DRAWN BY: DSM CHECKED BY: JSB
- CONSULTANT

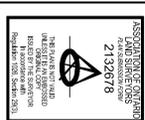
PROJECT TITLE
PRIVATE RESIDENCE
10 LEE ANNE COURT
VAUGHAN, ON
JSBA PROJECT #: 2022-01

STAMP
Ontario Association of Architects
J S BARNI ARCHITECT
J S BARNI ARCHITECT

A302
WALL SECTIONS

2586A YONGE STREET
TORONTO, ON M4P 2J3 CANADA
T: +1 416 745 0765
E: INFO@JVBNOX.CA
I: WWW.JVBNOX.CA

METRIC
DISTANCES SHOWN ON THIS PLAN ARE TO FEET BY DIVIDING BY 0.3048.



- LEGEND**
- DENOTES SURVEY MONUMENT PLANTED
 - DENOTES STANDARD IRON BAIL
 - DENOTES IRON PIPE
 - (740) DENOTES MONUMENT WAUGHAN LIMITED, O.L.S.
 - (P1) DENOTES IRON PIPE
 - (P2) DENOTES IRON PIPE
 - (P3) DENOTES IRON PIPE
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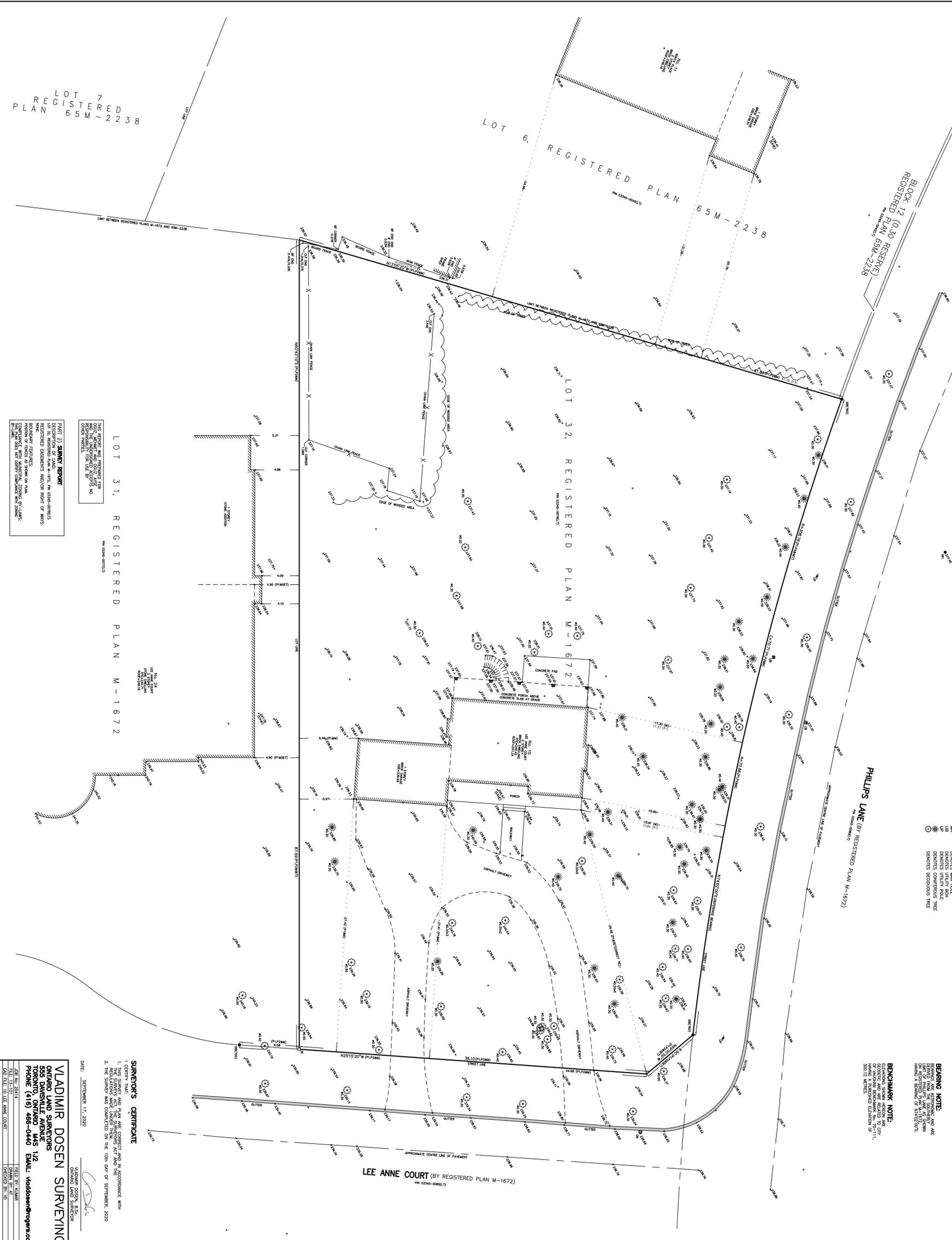
SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF
LOT 32
REGISTERED PLAN M-1672
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

DATE: 2020

VLADIMIR DOSEN SURVEYING, O.L.S.
1000 SHEPPARD AVENUE EAST, SUITE 101
VAUGHAN, ONTARIO L4V 1N2

BEARING NOTE:
BEARINGS AND DISTANCES AND AREAS
SHOWN ON THIS PLAN ARE REFERRED TO CITY
OF VAUGHAN'S LANE AS SHOWN
MAPS A BEARING OF N47°30'00"E

BENCHMARK NOTE:
BENCHMARK IS A BENCH MARK
SHOWN ON THIS PLAN AS SHOWN
MAPS A BENCHMARK OF N47°30'00"E
200.12 METERS



LOT 31, REGISTERED PLAN M-1672
PH 0346-0980/3

LOT 7 REGISTERED PLAN 65M-2238

SURVEYOR'S CERTIFICATE

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE THEREUNDER.

2. THE SURVEY WAS COMPLETED ON THE 17th DAY OF SEPTEMBER, 2020.

DATE: SEPTEMBER 17, 2020

VLADIMIR DOSEN, B.S.
ONTARIO LAND SURVEYOR

VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS
555 DAVENPORT AVENUE
TORONTO, ONTARIO M4S 1A2
PHONE: (416) 468-0440 EMAIL: vldosen@rogers.com

FILED BY: VLADIMIR DOSEN
DATE: SEP 17, 2020
OFFICE: 1111 LEE ANNE COURT

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A093/21 - REQUEST FOR COMMENTS

From: Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>

Sent: May-07-21 1:56 PM

To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Subject: [External] Re: A093/21 - REQUEST FOR COMMENTS

Good afternoon,

As the property at 10 Lee Anne Court is outside of MTO permit control area, MTO has no comments.

Colin Mulrenin (he/him) | Corridor Management Officer | York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

Colin.Mulrenin@ontario.ca

Attwala, Pravina

Subject: FW: A093/21 - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: May-11-21 3:29 PM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A093/21 - REQUEST FOR COMMENTS

Good afternoon Pravina,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca