

File: A090/21

Applicant: Frank Nudo & Jill Ashley Toffoli

Address: 55 Glenheron Cr Maple

Agent: Frasca Giorgio

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
 Hearing Date: Thursday, June 10, 2021

***Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).**



**Minor Variance
Application**

Agenda Item: 13

A090/21

Ward: 4

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, June 10, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Frank Nudo & Jill Ashley Toffoli

Agent: Frasca Giorgio

Property: **55 Glenheron Cr Maple**

Zoning: The subject lands are zoned RD3 Residential Detached Zone Three and subject to the provisions of Exception No. 9(1205) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of two proposed cabanas to be located in the rear yard and a loggia to be attached to the rear of the existing dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum setback of 7.5 metres is required from the rear lot line to the accessory buildings. (S.4.1.1)	1. To permit a minimum setback of 0.93 metres from the rear lot line to the accessory buildings.
2. A minimum setback of 1.2 metres is required from the interior side lot line to the accessory buildings. (S.4.1.1)	2. To permit a minimum setback of 0.60 metres from the interior side lot line to the accessory buildings.
3. A maximum building height of 3.0 metres is permitted from the average finished grade to the nearest part of the roof for an accessory building. (S.4.1.1.)	3. To permit a maximum building height of 3.14 metres from the accessory building to the nearest part of the roof (loggia).
4. Where the area of a rear yard is greater than 135m ² , a minimum of 60% of that portion of the rear yard in excess of 135m ² shall be composed of soft landscaping.	4. To permit a minimum rear yard soft landscaping of 44%.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A**Staff & Agency Comments**

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on May 26, 2021

Applicant confirmed posting of signage on May 26, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2011

Applicant has advised that they cannot comply with By-law for the following reason(s): Setbacks and requirements seem to be too restrictive for proposed cabana 2 and soft landscaping in the rear yard. In regards to the height variance of the loggia, we cannot comply due to heights of existing conditions (door).

Adjournment Request: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard.

Building Inspections (Septic):

No response

Development Planning:

Official Plan: Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"

The Owner is requesting permission to construct a loggia and accessory structures (2 cabana's) in the rear yard. Development Planning Department has no concerns with the proposed variances given the area of the cabanas complies with Zoning By-law 1-88. In regard to reduction of rear yard soft landscape, the Development Engineering is satisfied with the reduction and a similar development in the area has been supported by Development Planning Department and approved by Committee of Adjustment. Overall, the Development Planning Department is of the opinion the proposal will not impact the abutting properties and remains compatible to other rear yard amenity areas.

The Development Planning Department is of the opinion the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A090/21. subject to the following condition(s):

The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.2) The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage from 60% to 44% in order to mitigate potential impacts on the municipal storm water system.

Parks Development - Forestry:

No comments or concerns.

By-Law and Compliance, Licensing and Permit Services:

No comments or concerns.

Development Finance:

No comment no concerns

Fire Department:

No comments or concerns.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: N/A

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.2) The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage from 60% to 44% in order to mitigate potential impacts on the municipal storm water system.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that

architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

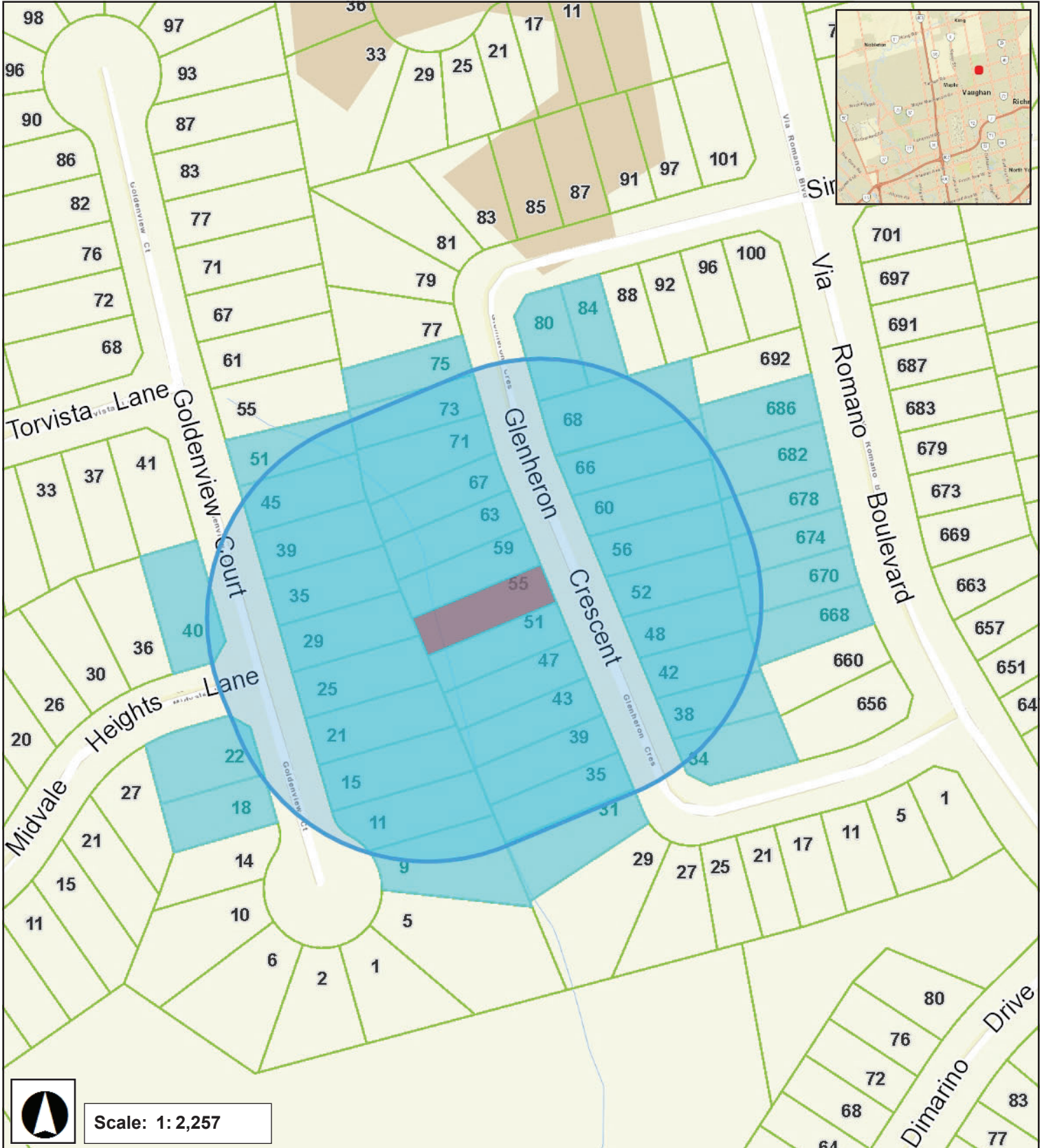
Location Map
Plans & Sketches



LOCATION MAP - A090/21

55 GLENHERON CRESCENT, MAPLE

Teston Road



Major Mackenzie Drive

May 19, 2021 4:02 PM

LEGEND	
	EXISTING SETBACK/DIMENSIONS
	PROPOSED SETBACK/DIMENSIONS
	EXISTING BUILDING
	PROPOSED BUILDING
	SOD
	PAVERS

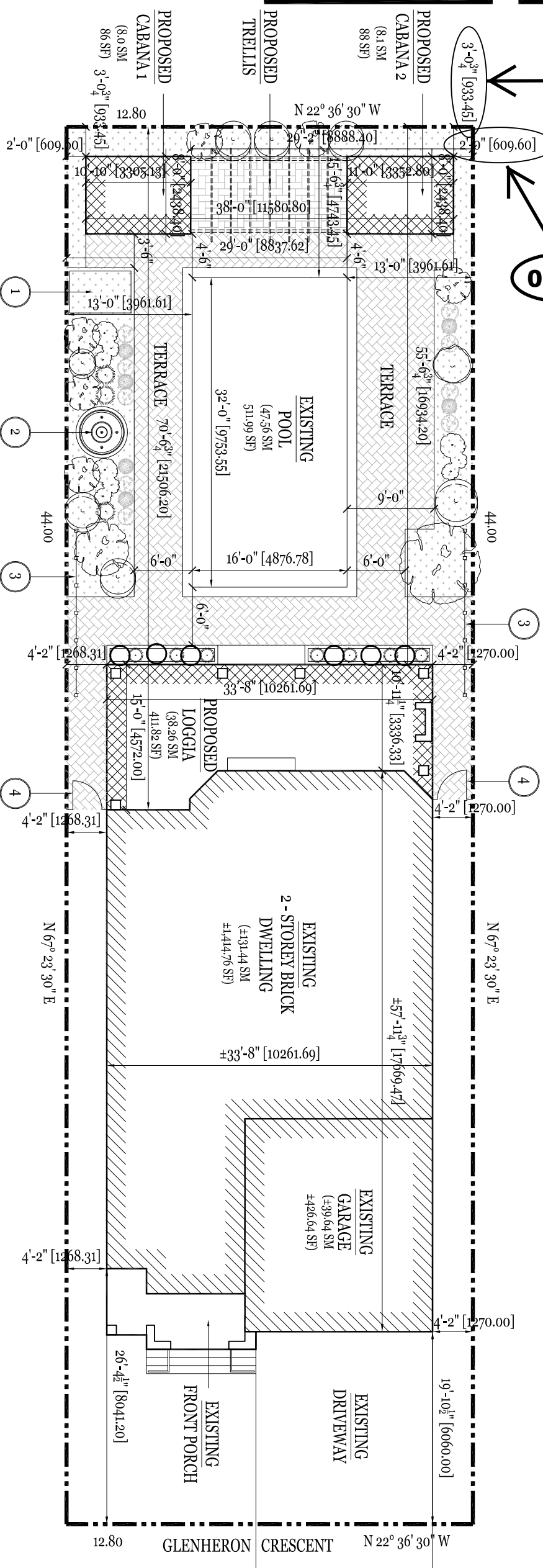
CONSTRUCTION NOTES	
1	4'-4" x 6'-4" VEGETABLE GARDEN
2	FOUNTAIN
3	6'-0" HIGH PRIVACY FENCE
4	EXISTING GATE

REAR YARD SOFTLANDSCAPING = 44%

SURVEYOR'S REAL PROPERTY REPORT
 PART 1 - PLAN SHOWING
 PART OF BLOCK 40
 REGISTERED PLAN 65M-4056
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

0.93M
0.60M

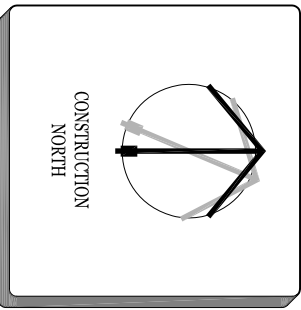
SITE INFORMATION TAKEN FROM
 PLAN OF SURVEY PREPARED BY:
 J.D. BARNES LTD.
 ONTARIO LAND SURVEYORS
 MARCH 15, 2011



PROPOSED LOGGIA & CABANA

Project: 55 GLENHERON CREES, MAPLE, ON., L4A 0G2
 Project #: 21010

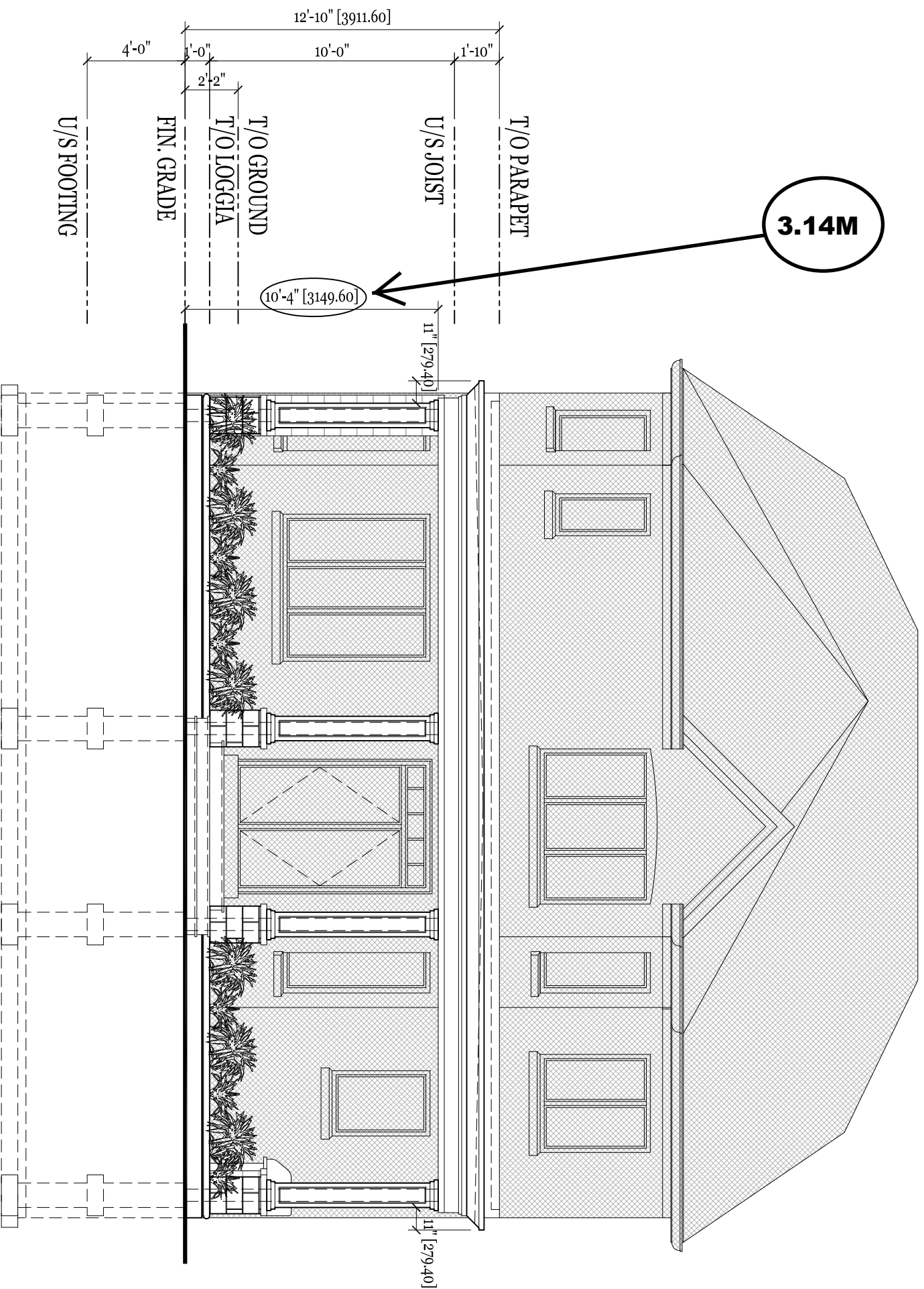
No.	Description	Date	By
1.	ISSUED FOR COFA (03)	APRIL 13, 2021	EB



SITE PLAN
 SCALE 1:150

A090/21

3.14M



LEGEND	
	EXISTING TO REMAIN
	PROPOSED WALLS
	STONE CLADDING
	WOOD PANELS

**PROPOSED
LOGGIA & CABANA**

Project:
55 GLENHERON CRES.,
MAPLE, ON.,
L4A 0G2

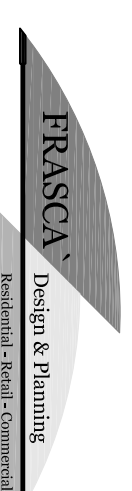
Project #:
21010

No.	Description	Date	By
1.	ISSUED FOR CoTA (03)	APRIL 13, 2021	EB

**PROPOSED LOGGIA
WEST ELEVATION**

SCALE 3/16" = 1'-0"

**1
A3**



2781 HIGHWAY 7, SUITE 201 VAUGHAN, ON. L4K 1W1 416.272.2024
2010giorgio@gmail.com & giorgio@frascadesignandplanning.com

SITE DATA		
ACCESSORY STRUCTURES		
CITY OF VAUGHAN		
ZONING	RD3	
LOT	563.19 SM (EXISTING) (6,062.23 SF)	
ACCESSORY STRUCTURE (PROPOSED LOGGIA)	PERMITTED	PROPOSED
SIDE SETBACK (NORTH)	1.2 M	1.27 M
SIDE SETBACK (SOUTH)	1.2 M	1.27 M
REAR SETBACK (WEST)	7.5 M	16.93 M
MAX. HEIGHT (TO ROOF PEAK)	4.5 M	3.91 M
MAX. HEIGHT (TO NEAREST POINT OF ROOF)	3.0 M	3.14 M
LOT COVERAGE	N/A	6.79%
ACCESSORY STRUCTURE (PROPOSED CABANA 1)	PERMITTED	PROPOSED
SIDE SETBACK (NORTH)	0.6 M	0.60 M
SIDE SETBACK (SOUTH)	0.6 M	0.60 M
REAR SETBACK (WEST)	0.6 M	0.93 M
MAX. HEIGHT (TO ROOF PEAK)	4.5 M	4.41 M
MAX. HEIGHT (TO NEAREST POINT OF ROOF)	3.0 M	2.55 M
LOT COVERAGE	N/A	1.42% 8.0 SM

	PERMITTED	PROPOSED
ACCESSORY STRUCTURE (PROPOSED CABANA 2)		
SIDE SETBACK (NORTH)	1.2 M	0.60 M
SIDE SETBACK (SOUTH)	1.2 M	0.60 M
REAR SETBACK (WEST)	7.5 M	0.93 M
MAX. HEIGHT (TO ROOF PEAK)	4.5 M	4.41 M
MAX. HEIGHT (TO NEAREST POINT OF ROOF)	3.0 M	2.55 M
LOT COVERAGE	10% OR 67 SM (WHICHEVER IS LESSER)	1.43% 8.1 SM

SITE AREAS			
	EXISTING	PROPOSED	LOT COVERAGE
1. EXISTING DWELLING	±131.44 SM (±1,414.76 SF)	-	23.33%
2. EXISTING GARAGE	±39.64 SM (±426.64 SF)	-	7.04%
3. EXISTING FRONT PORCH	±8.23 SM (±88.62 SF)	-	1.46%
4. PROPOSED LOGGIA	-	38.26 SM (411.82 SF)	6.79%
5. PROPOSED CABANA 1	-	8.0 SM (86 SF)	1.42%
6. PROPOSED CABANA 2	-	8.1 SM (88 SF)	1.43%
TOTAL LOT COVERAGE (1+2+3+4+5+6) PERMITTED LOT COVERAGE N/A			41.47%

REAR YARD		
	PERMITTED	AREAS
TOTAL REAR YARD AREA	-	266.25 SM (2,865.89 SF)
SOFT LANDSCAPING *	60% (MIN.) OF LANDSCAPED AREA IN EXCESS OF 135 SM SOFT LANDSCAPING (-78.75 SM REQ'D)	SOD 44% 57.49 SM (618.81 SF)

* SOFT LANDSCAPING INCLUDES ONLY SOD

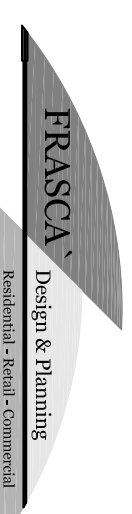
PROPOSED
LOGGIA & CABANA

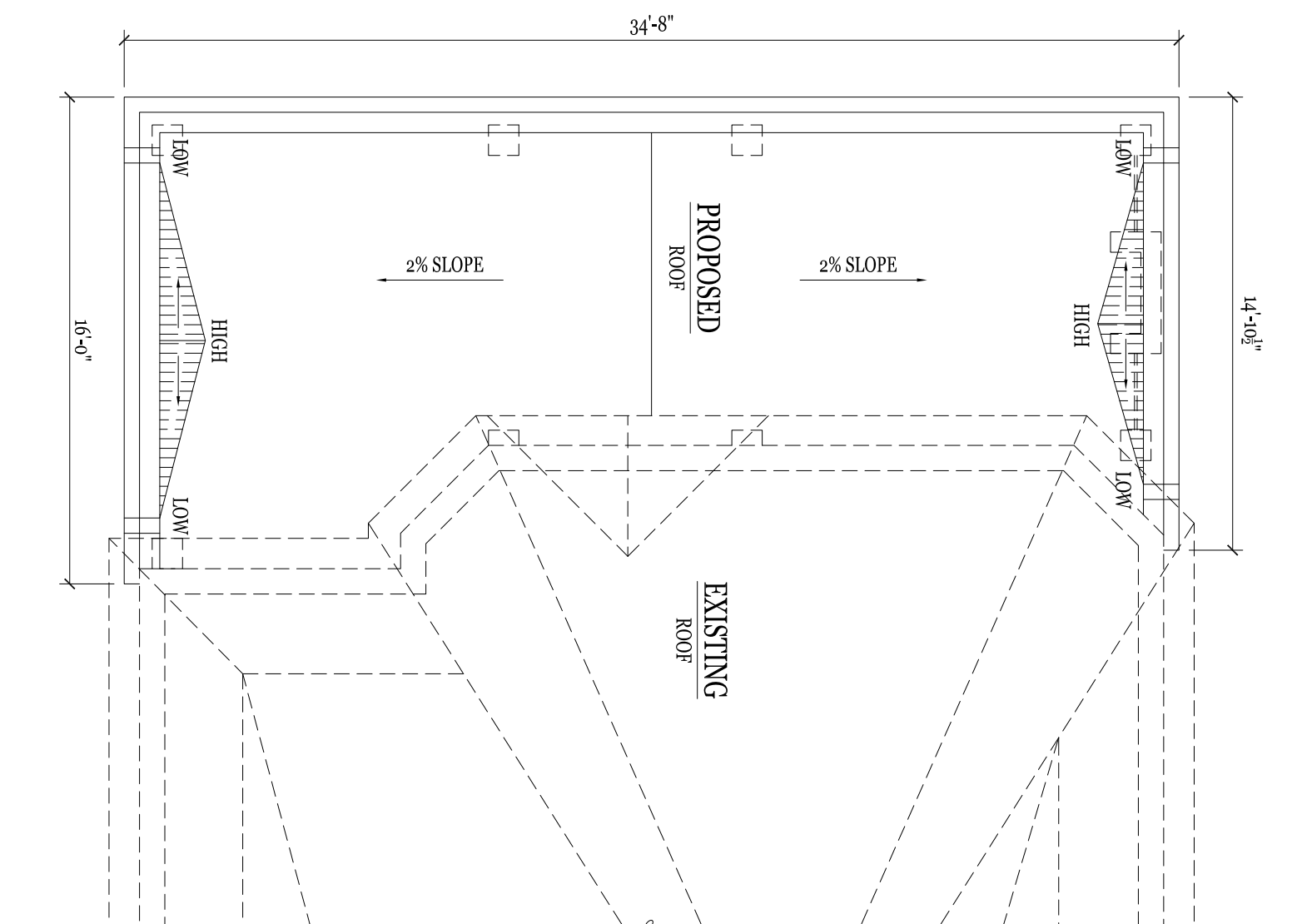
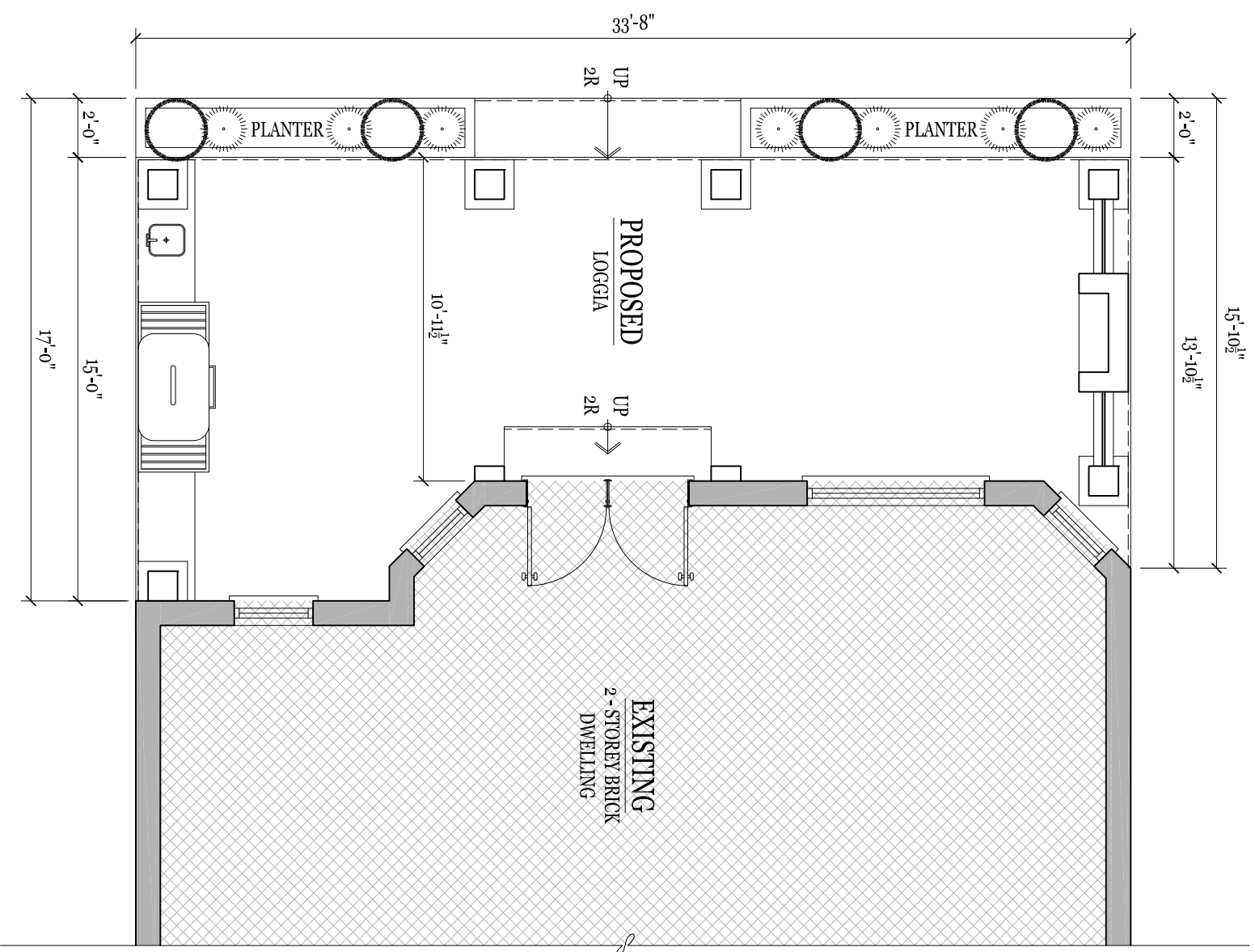
Project: 55 GLENHERON CRES., MAPLE, ON., L4A 0G2

Project #: 21010

No.	Description	Date	By
1.	ISSUED FOR COFA (03)	APRIL 13, 2021	EB

SITE STATISTICS
SCALE N.T.S





LEGEND	
	EXISTING TO REMAIN
	EXISTING TO REMAIN
	PROPOSED WALL

1 FLOOR PLAN
SCALE 3/16" = 1'-0"

2 ROOF PLAN
SCALE 3/16" = 1'-0"

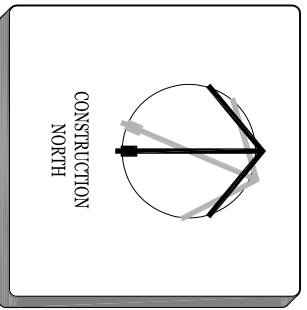
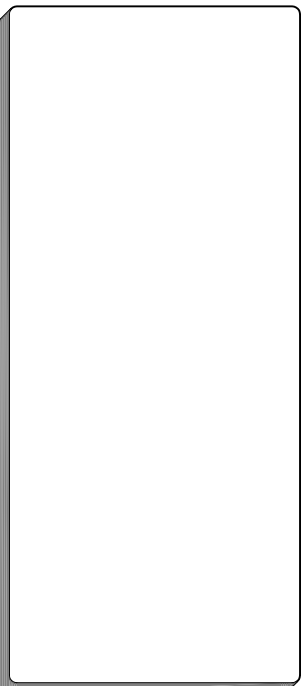
PROPOSED LOGGIA
FLOOR & ROOF PLAN
SCALE 3/16" = 1'-0"

PROPOSED LOGGIA & CABANA

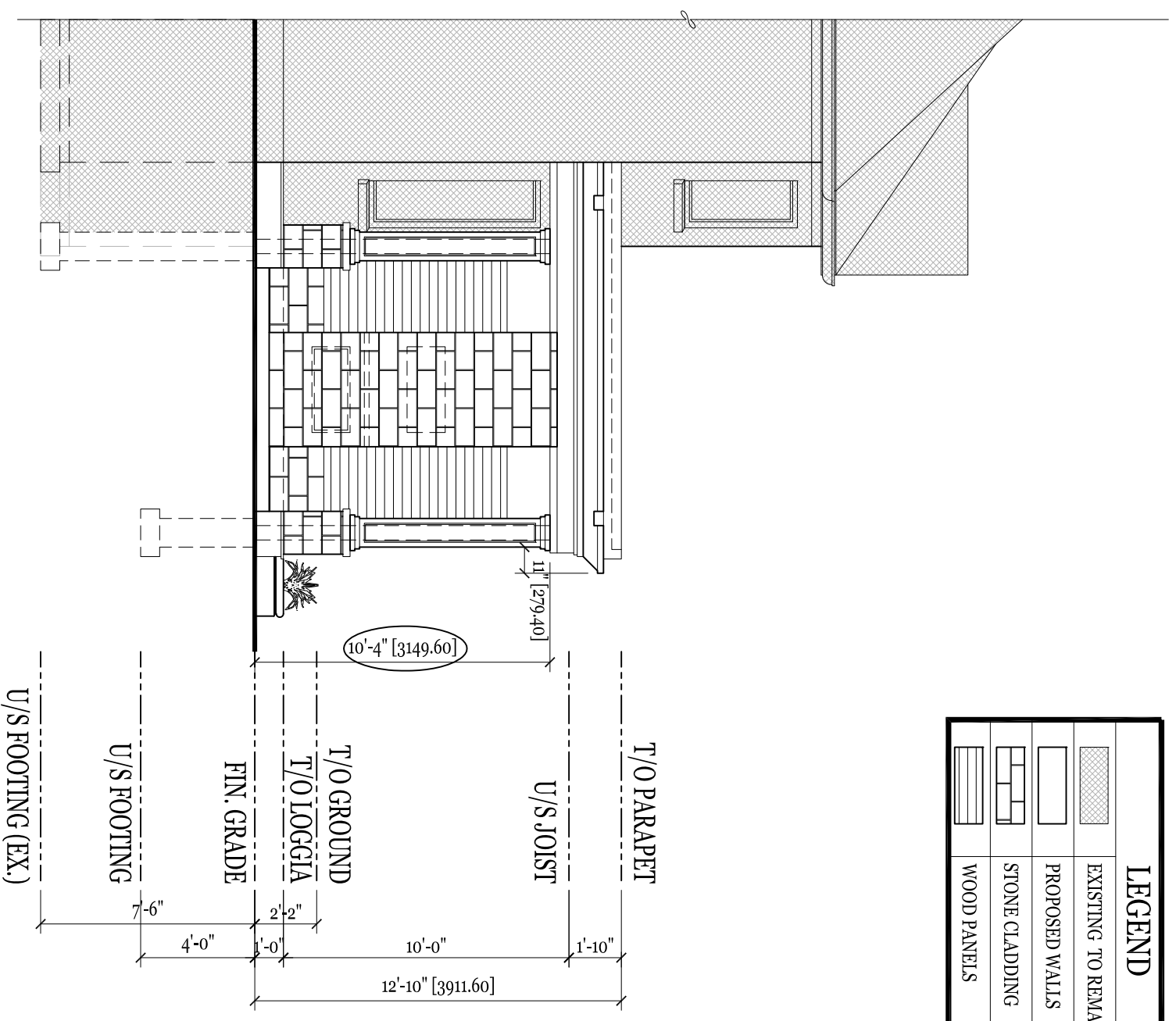
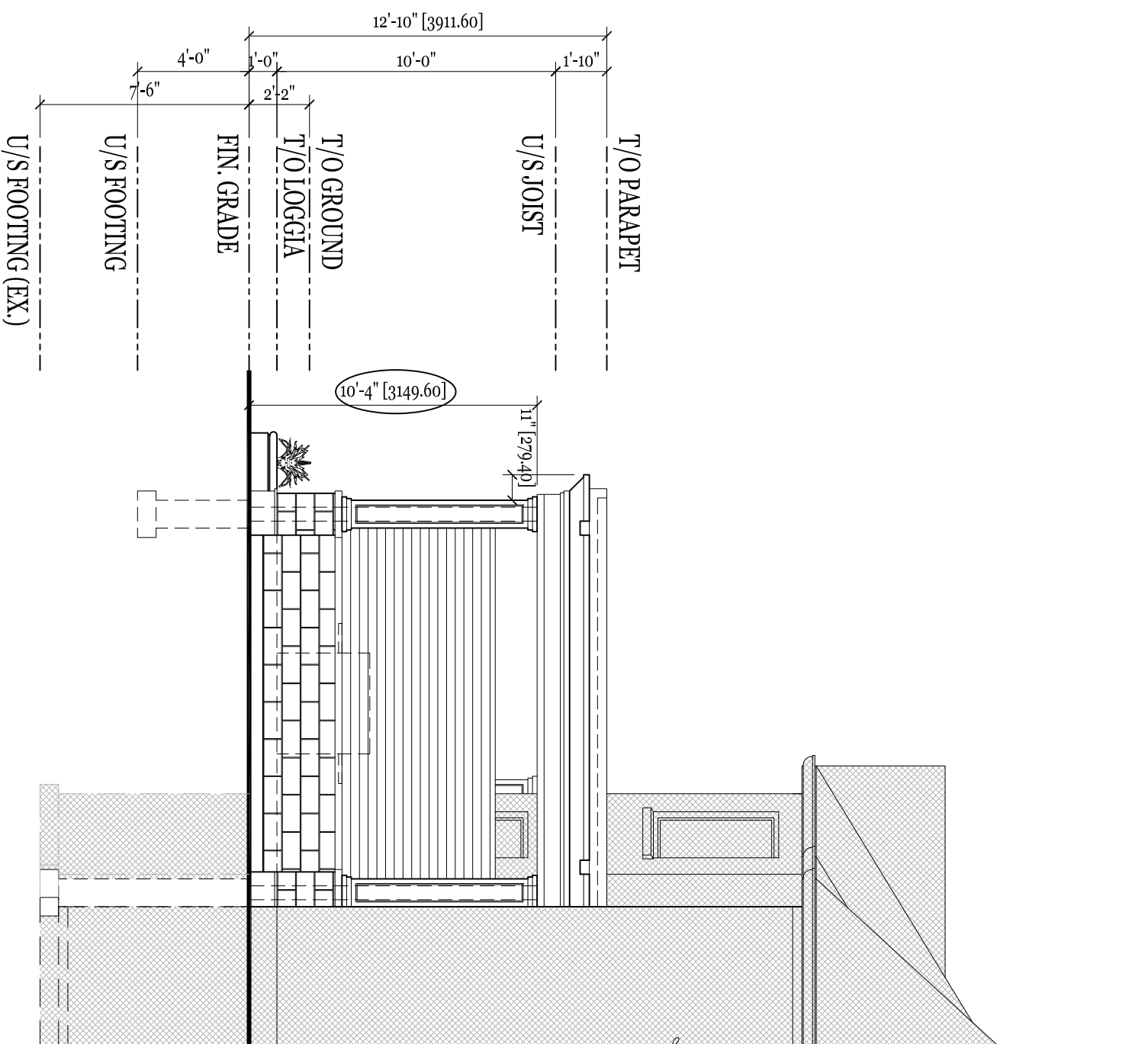
Project: 55 GLENHERON CREES, MAPLE, ON., L4A 0G2

Project #: 21010

No.	Description	Date	By
1.	ISSUED FOR COFA (03)	APRIL 13, 2021	EB



LEGEND	
	EXISTING TO REMAIN
	PROPOSED WALLS
	STONE CLADDING
	WOOD PANELS



1 SOUTH ELEVATION
A3.1 SCALE 3/16" = 1'-0"

2 NORTH ELEVATION
A3.1 SCALE 3/16" = 1'-0"

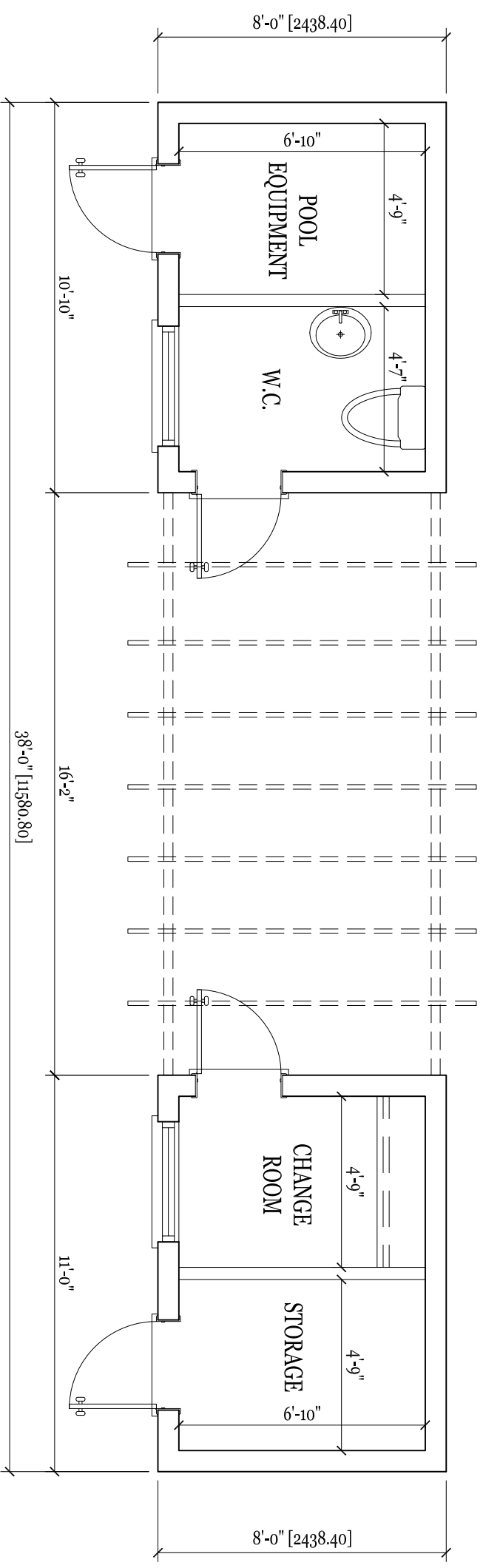
PROPOSED LOGGIA & CABANA

Project:	Project #:
55 GLENHERON CRES., MAPLE, ON., L4A 0G2	21010

No.	Description	Date	By
1.	ISSUED FOR CoFA (03)	APRIL 13, 2021	EB

PROPOSED LOGGIA ELEVATIONS
SCALE 3/16" = 1'-0"

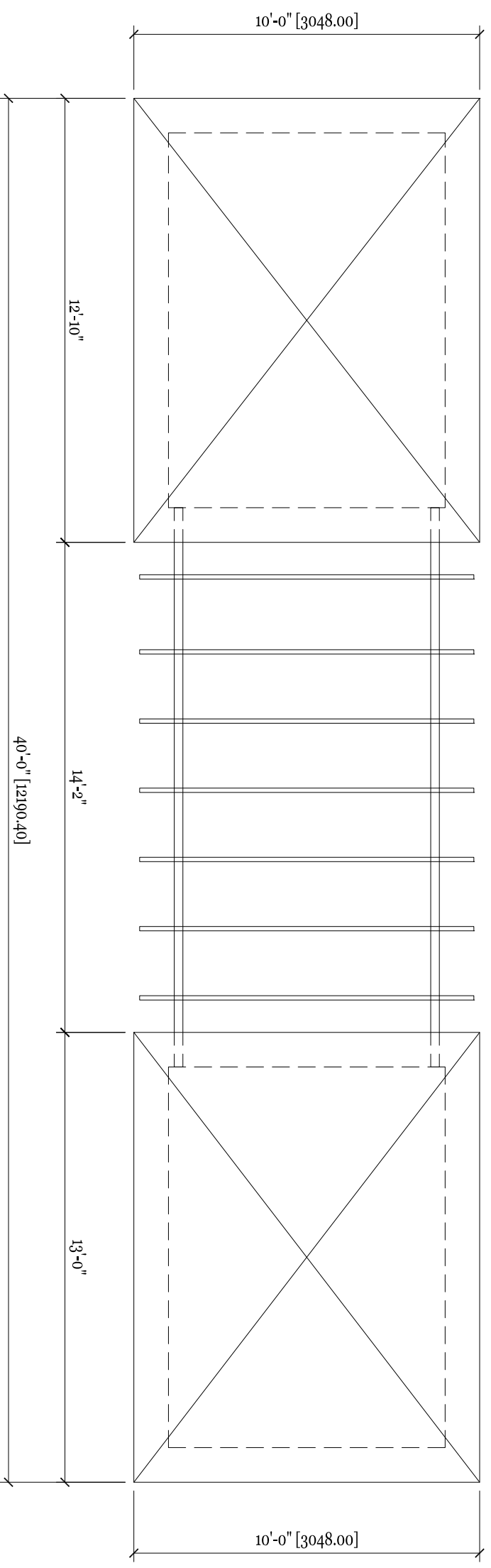
1
A3.1



CABANA 1

CABANA 2

1 FLOOR PLAN
 A4 SCALE 1/4" = 1'-0"



CABANA 1

CABANA 2

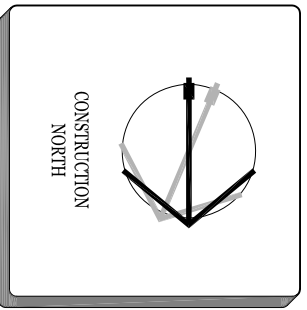
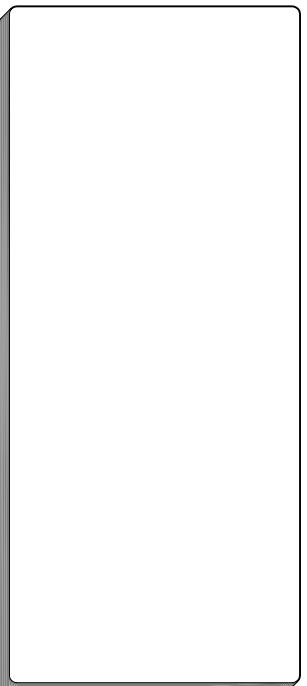
2 ROOF PLAN
 A4 SCALE 1/4" = 1'-0"

PROPOSED LOGGIA & CABANA

Project: 21010
 Project #: 21010

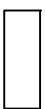
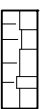

Project:
 55 GLENHERON CRES.,
 MAPLE, ON.,
 L4A 0G2

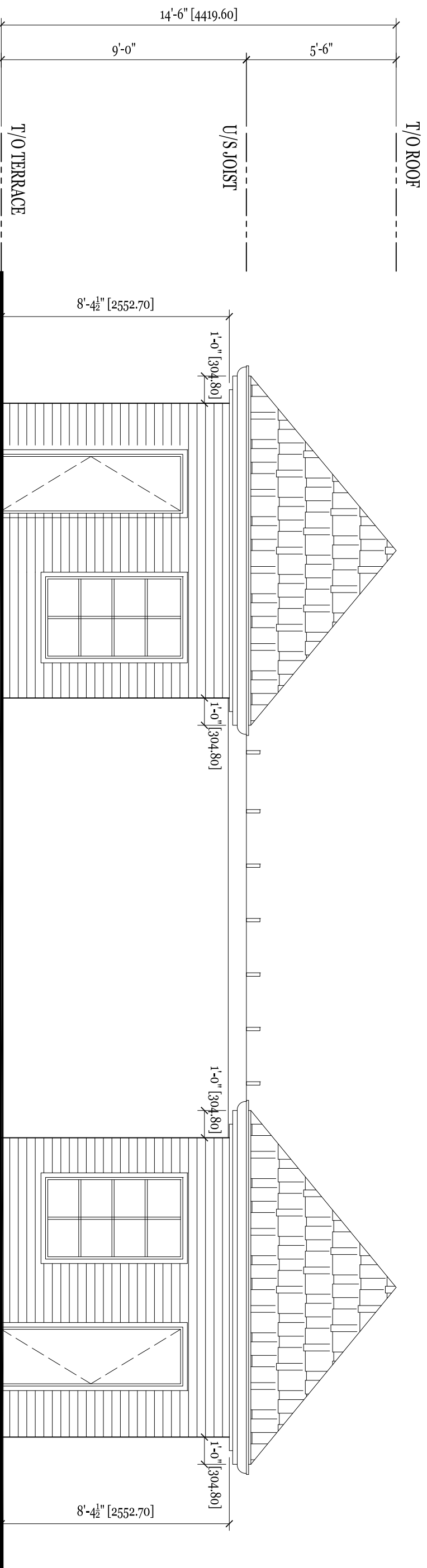
No.	Description	Date	By
1.	ISSUED FOR COFA (03)	APRIL 13, 2021	EB



PROPOSED CABANAS FLOOR & ROOF PLAN
 SCALE 1/4" = 1'-0"

-
 A4

LEGEND	
	PROPOSED WALLS
	ROOF SHINGLES
	COMPOSITE WOOD SIDING



PROPOSED
LOGGIA & CABANA

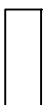
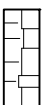

Project: 55 GLENHERON CRES.,
MAPLE, ON.,
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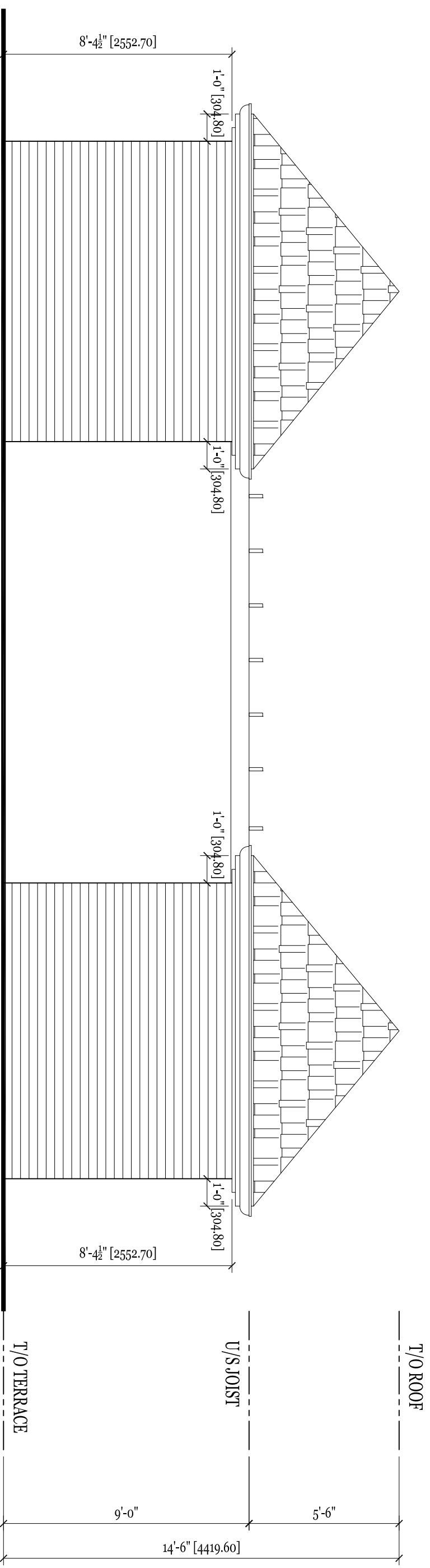
Project #: 21010

No.	Description	Date	By
1.	ISSUED FOR CoFA (03)	APRIL 13, 2021	EB

PROPOSED CABANAS
EAST ELEVATION
SCALE 1/4" = 1'-0"

1
A5

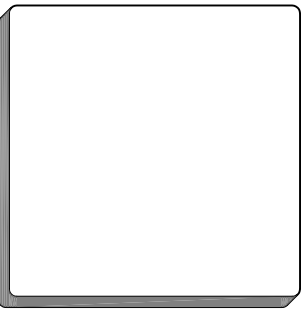
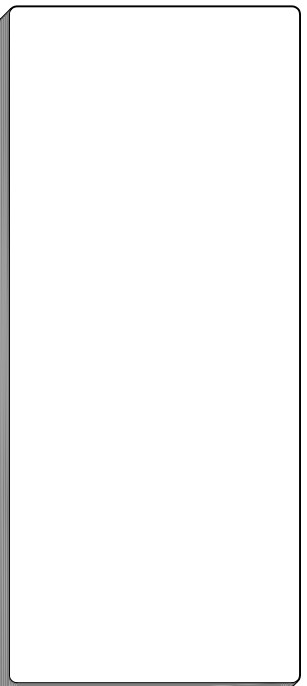
LEGEND	
	PROPOSED WALLS
	ROOF SHINGLES
	COMPOSITE WOOD SIDING



PROPOSED
LOGGIA & CABANA

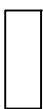
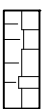
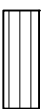
Project: 55 GLENHERON CRES., MAPLE, ON., L4A 0G2
Project #: 21010

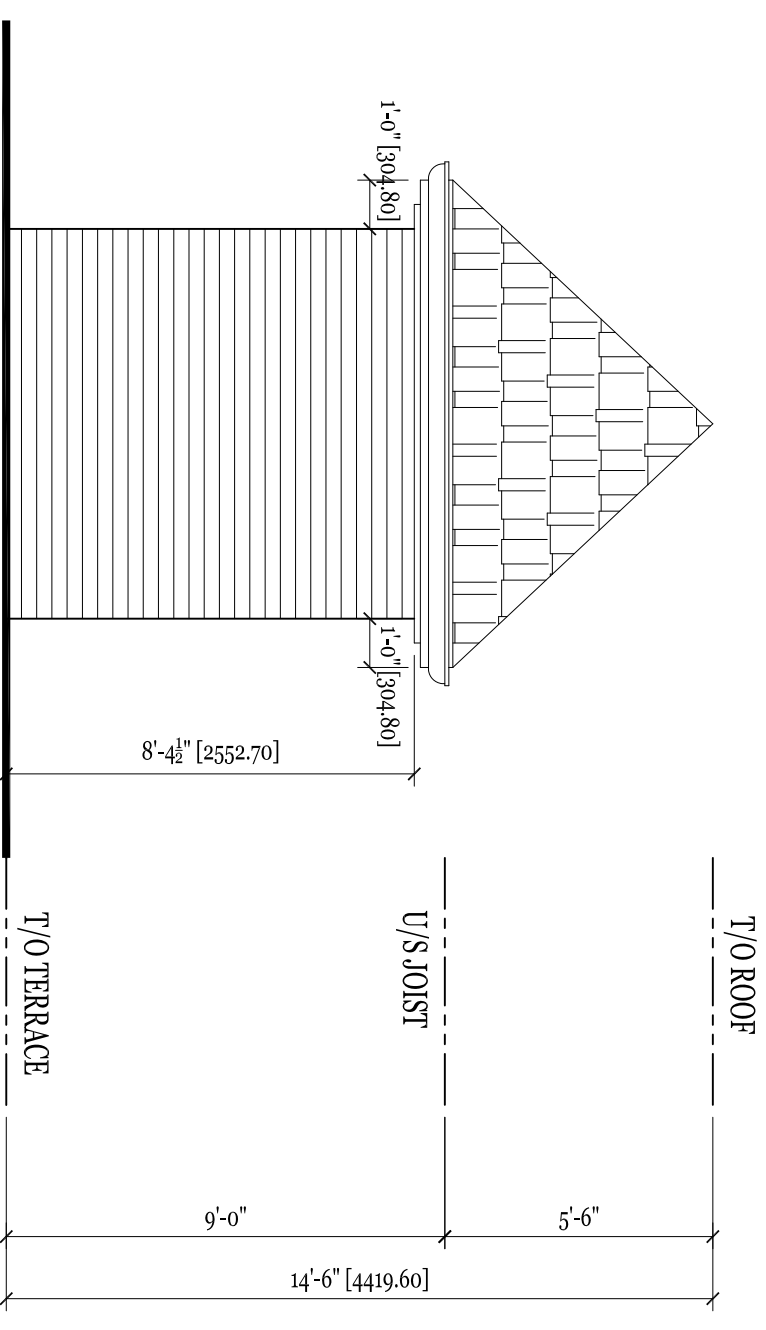
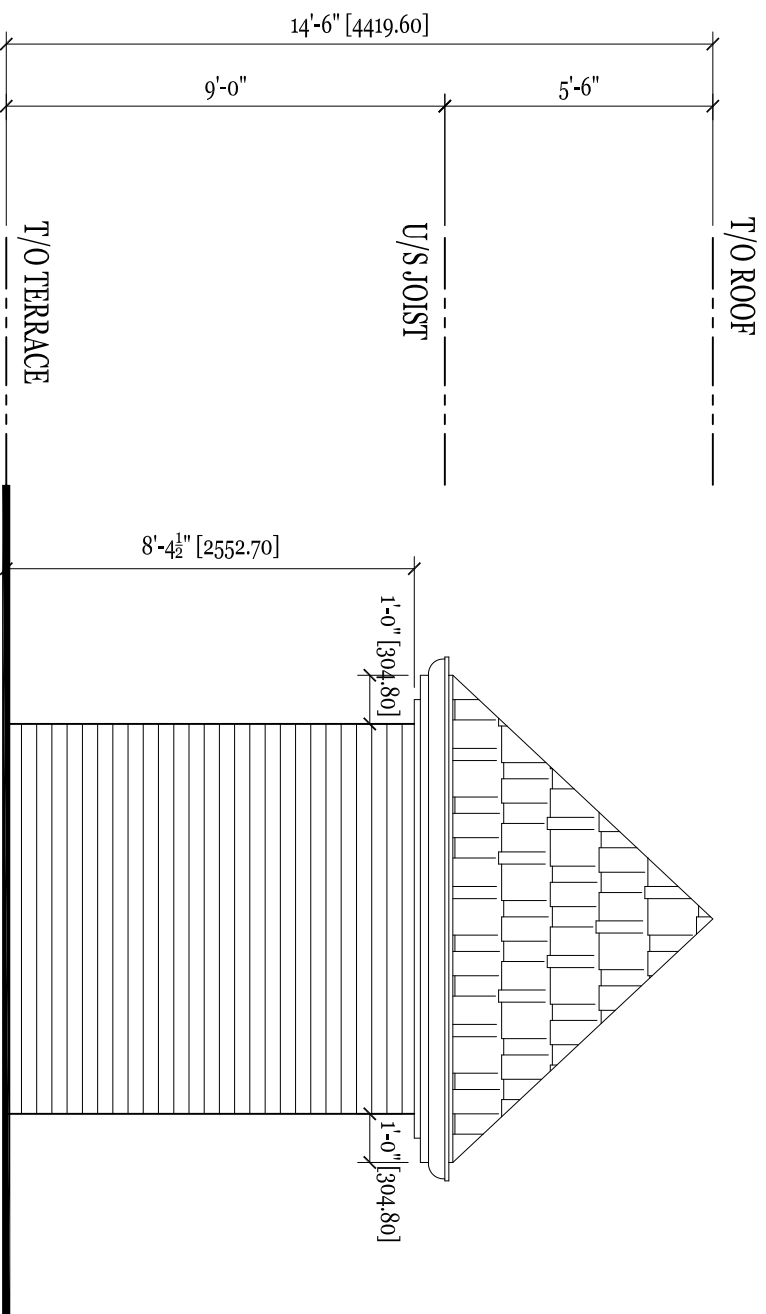
No.	Description	Date	By
1.	ISSUED FOR CoFA (03)	APRIL 13, 2021	EB



PROPOSED CABANAS
WEST ELEVATION
SCALE 1/4" = 1'-0"

1
A5.1

LEGEND	
	PROPOSED WALLS
	ROOF SHINGLES
	COMPOSITE WOOD SIDING



1 SOUTH ELEVATION

A5.2 SCALE 1/4" = 1'-0"

2 NORTH ELEVATION

A5.2 SCALE 1/4" = 1'-0"

PROPOSED
LOGGIA & CABANA

Project:
55 GLENHERON CRES.,
MAPLE, ON.,
L4A 0G2

Project #:
21010

No.	Description	Date	By
1.	ISSUED FOR CoFA (03)	APRIL 13, 2021	EB

PROPOSED CABANAS
ELEVATIONS

SCALE 1/4" = 1'-0"

1

A5.2



2781 HIGHWAY 7, SUITE 201 VAUGHAN, ON. L4K 1W1 416.272.2024
2010giorgio@gmail.com & giorgio@frascadesignandplanning.com

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A090/21 - REQUEST FOR COMMENTS

From: Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>
Sent: May-05-21 4:12 PM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Cc: Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>
Subject: [External] Re: A090/21 - REQUEST FOR COMMENTS

Good afternoon,

As the property at 55 Glenheron Crescent is not within MTO permit control area, MTO has no comments.

Colin Mulrenin (he/him) | Corridor Management Officer | York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

Colin.Mulrenin@ontario.ca

Attwala, Pravina

Subject: FW: A090/21 - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: May-10-21 11:45 AM

To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A090/21 - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877-464-9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca