

File: A074/21**Applicant:** Igor and Tatiana Kroupnik**Address:** 399 Marc Santi Boulevard, Maple**Agent:** None.

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA	<input checked="" type="checkbox"/>	
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None.

Background History: None.

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, June 10, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance
Application

Agenda Item: 07

A074/21

Ward: 4

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, June 10, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Igor and Tatiana Kroupnik

Agent: None.

Property: 399 Marc Santi Boulevard, Maple

Zoning: The subject lands are zoned RD3, Residential Detached Zone Three, and subject to the provisions of Exception 9(1264) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential" and "Natural Areas"

Related Files: None.

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed deck in the rear yard. The existing deck is to be demolished.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A maximum encroachment of 1.8 metres is permitted (Section 3.14c)).	To permit a maximum Rear yard encroachment of 4.36 metres for an uncovered deck and stairs.

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 26, 2021

Applicant confirmed posting of signage on May 21, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2013
Existing Deck	2013

Applicant has advised that they cannot comply with By-law for the following reason(s): To be able to enjoy the deck while using a standard outdoor furniture.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 21-100976 for Single Detached Dwelling - Deck, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The property is subject to the Toronto and Region Conservation Authority.

Building Inspections (Septic):
No comments received to date

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is requesting to permit the expansion of an elevated deck located in the rear yard with the above noted variances.

The Development Planning Department does not object to the variance, as the proposed expansion to the deck is in keeping with the existing height and remains proportionally balanced relative to the width of the home. Development Planning staff is of the opinion the proposed works are centrally located and poses no impact onto the abutting property to the east, as a spacious setback of 5.18m is being maintained.

In support of the minor variance application, the Owner submitted an Arborist Report (prepared by Ashley's Tree Care, dated April 19, 2021). Policy Planning and Environmental Sustainability and Urban Design staff have reviewed the study, agree with findings and are satisfied the proposed works will not have an adverse impact onto the abutting Natural Heritage Feature (i.e. Woodland).

The Development Planning Department is of the opinion the variances are minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A074/21.

Parks Development - Forestry:
No comments or concerns

By-Law and Compliance, Licensing and Permit Services:
No comments received to date

Development Finance:
No comment no concerns

Fire Department:
No comments or concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None.

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections
TRCA – comments with conditions. Condition cleared.

Schedule D - Previous Approvals (Notice of Decision)
None.

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended: None.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

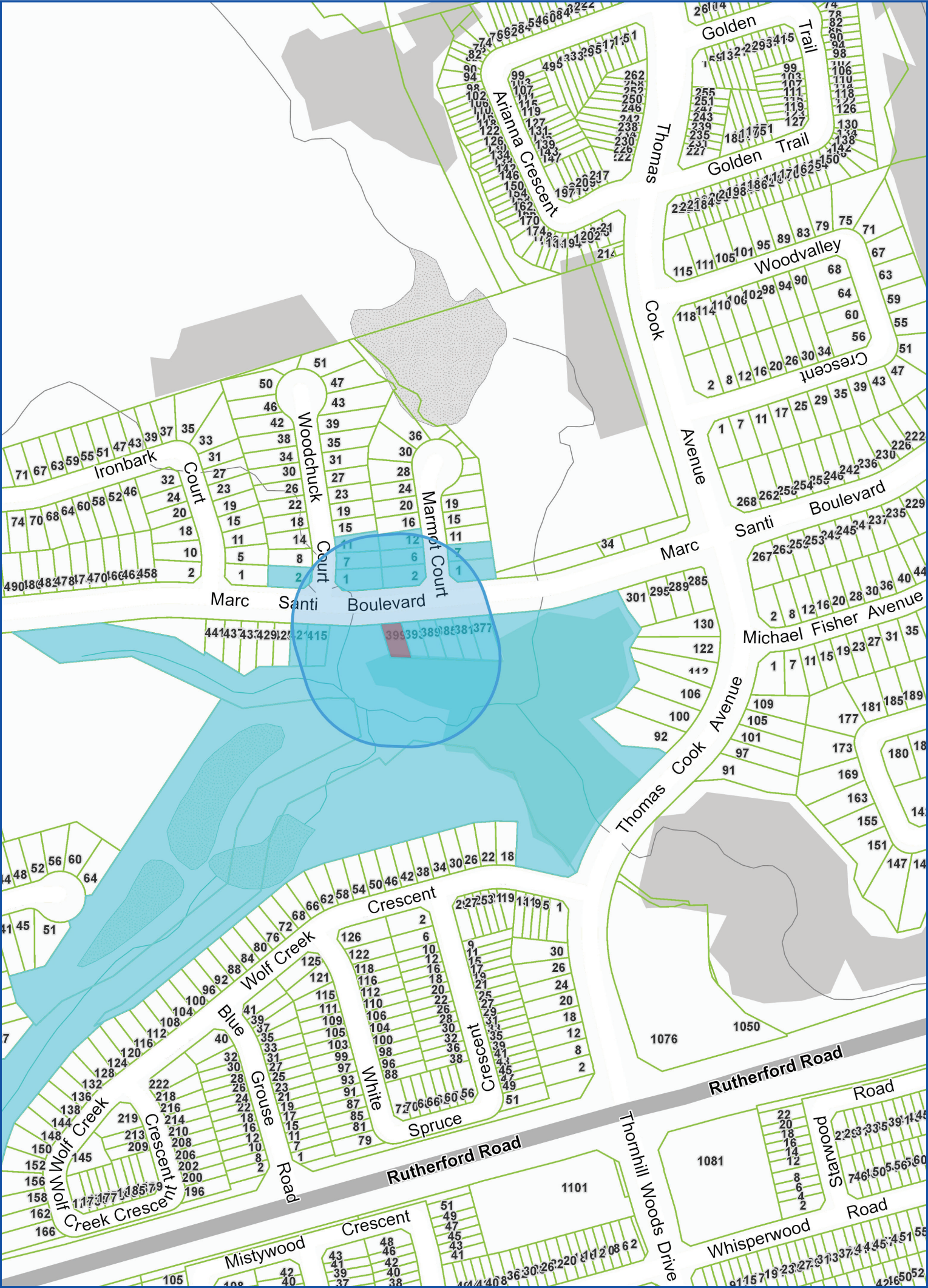
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

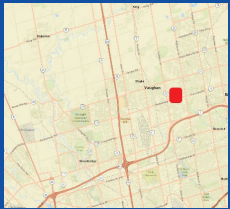
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



Map Information:



Title:

399 MARC SANTI BOULEVARD, MAPLE

NOTIFICATION MAP - A074/21

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:3,596

0 0.06 km



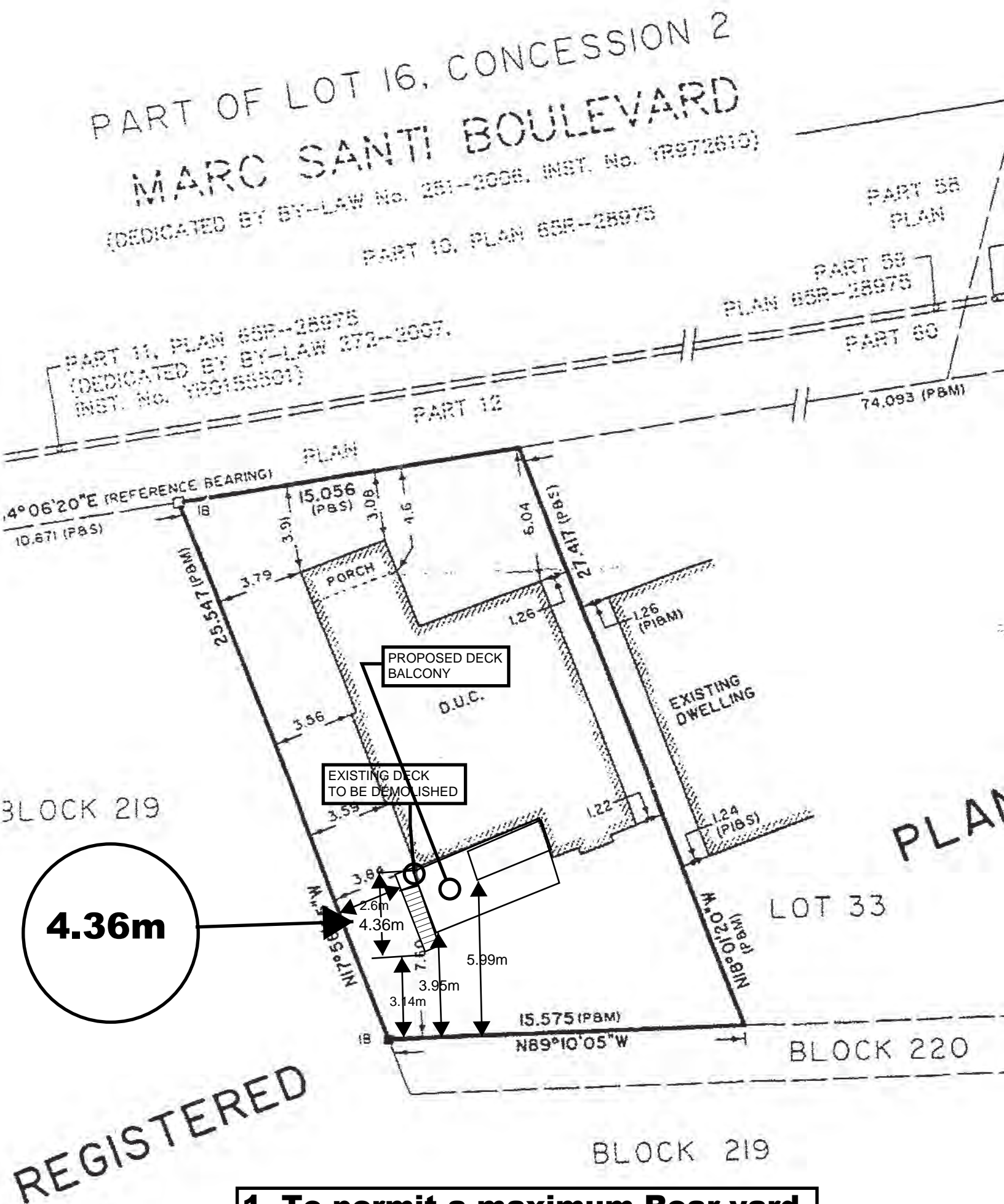
Created By:
Infrastructure Delivery
Department
May 17, 2021 4:33 PM

Projection:
NAD 83
UTM Zone
17N

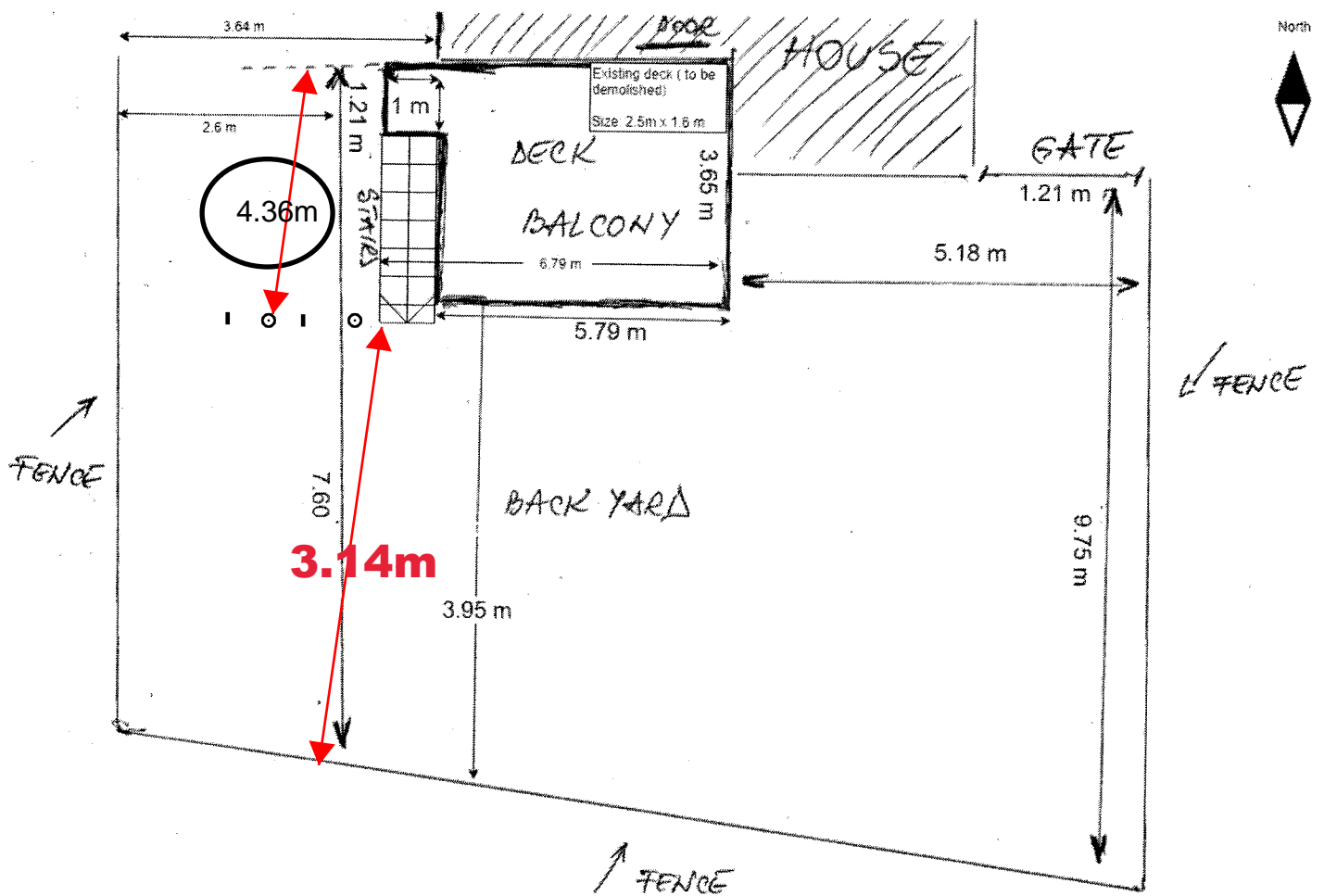
Revised

May 7, 2021

A074/21



1. To permit a maximum Rear yard encroachment of 4.36 metres for an uncovered deck and stairs.



Revised

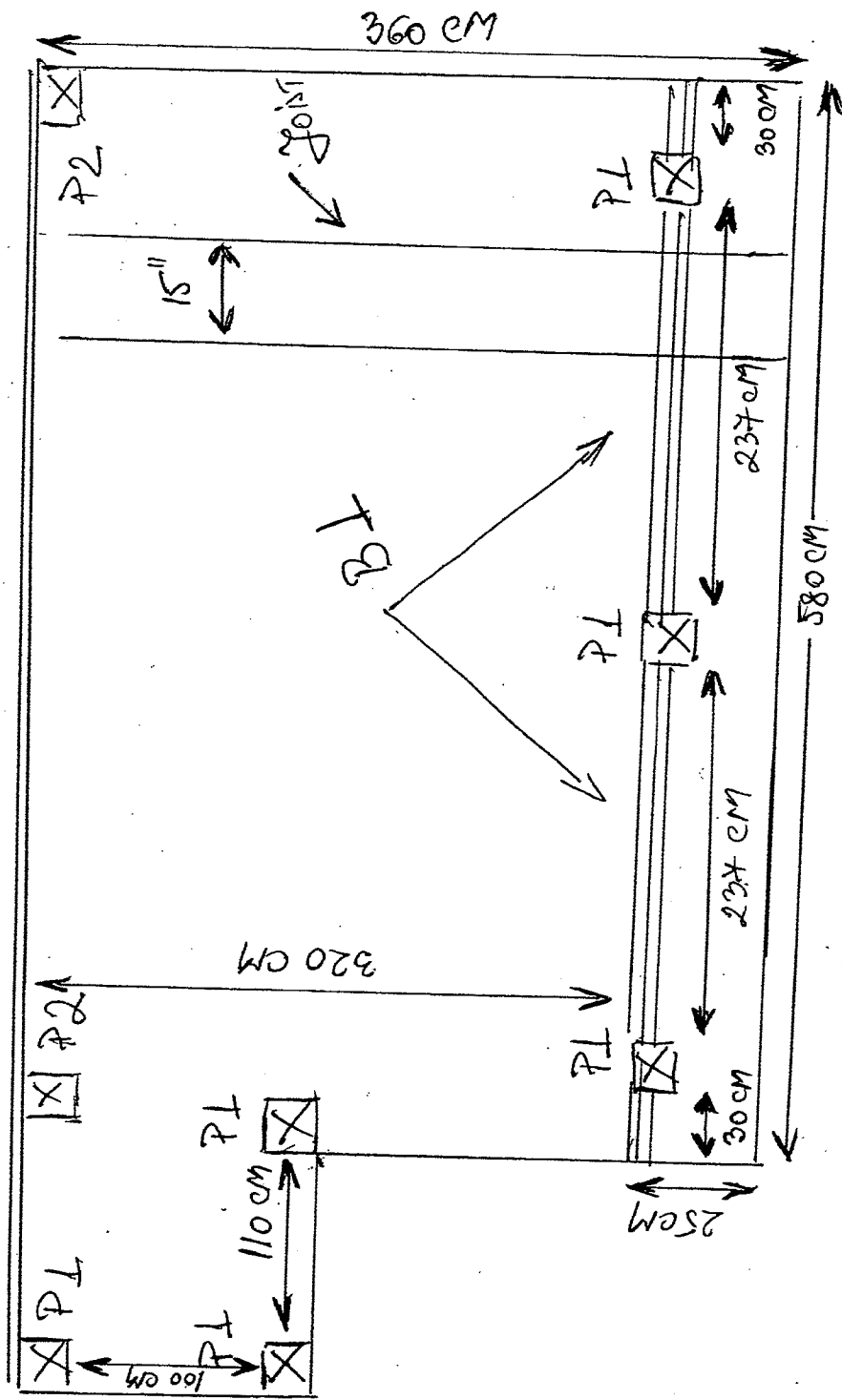
May 7, 2021

A074/21

1. To permit a maximum Rear yard encroachment of 4.36 metres for an uncovered deck and stairs.



✓ B2



J1 : POST 6x6

J2 : POST 4x4

B1 : BEAM 6x8

B2 : BEAM WALL 2x8

JOIST : 2x8

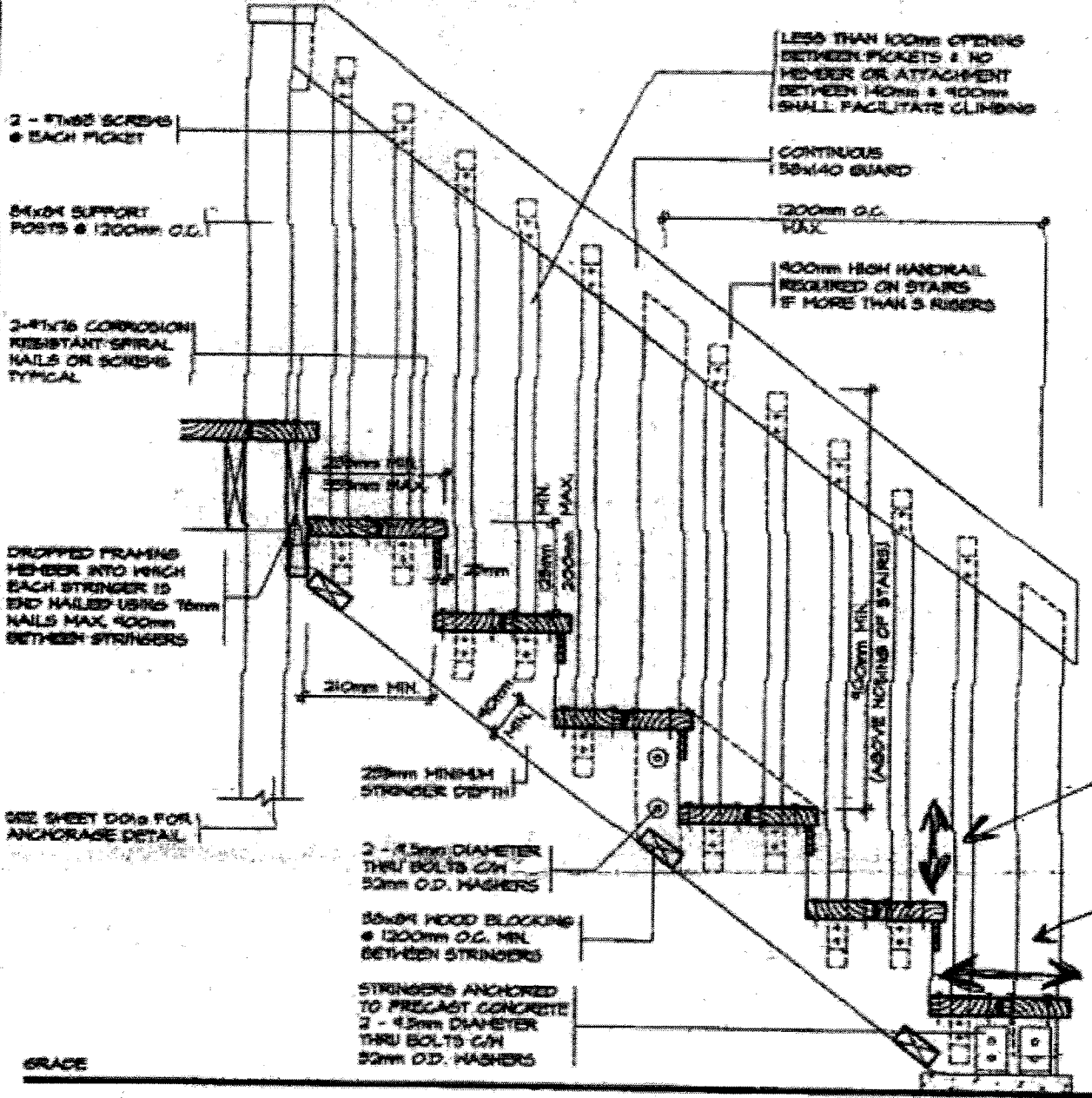
HEIGHT DECK : 9 FEET

PRESSURE TREATED WOOD
DECK BOARDS FLOOR 5/4x6

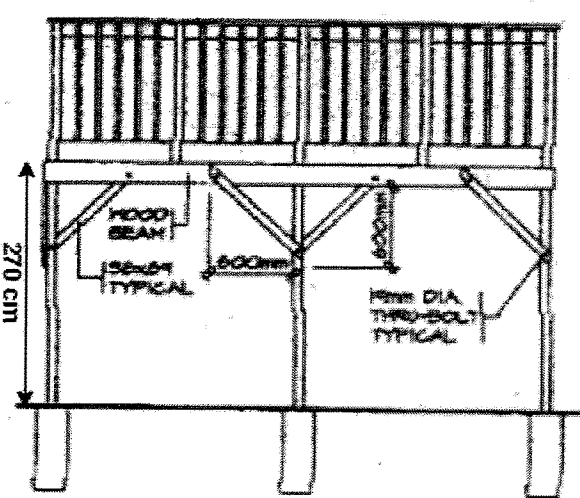
15 STEPS

180 CM

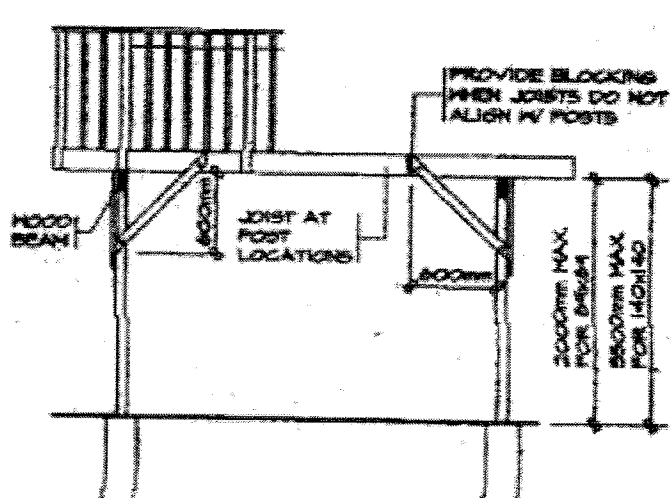
240 CM



SECTION 'B'

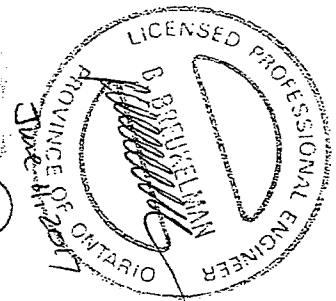


BRACING PARALLEL TO BEAM

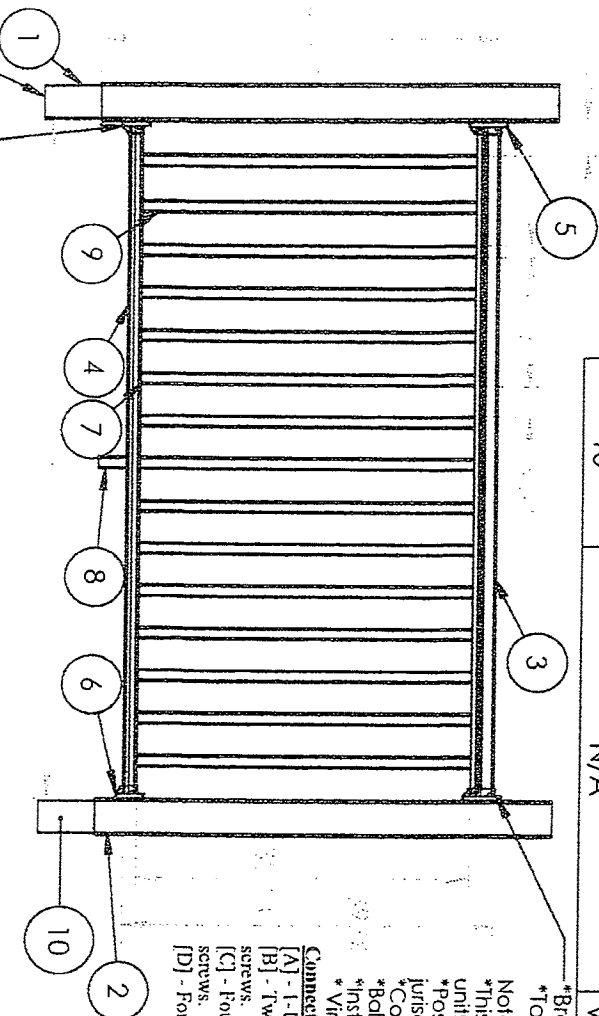


BRACING PERPENDICULAR TO BEAM

FREE STANDING DECKS GREATER THAN 800mm ABOVE GRADE SHALL RESIST LATERAL LOADING & MOVEMENT. ALL POSTS MUST BE BRACED WHERE THE SUPPORTED AREA EXCEEDS THOSE LISTED IN THE TABLE ON DRAWING



ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	4x4 Post	Treated Wood Post or Item 10 Below	2
2	IN105101 Post Cover	WPC Post Sleeve (4x4)	2
3	IN107005	Architectural WPC Top Rail (Light)	1
4	IN107103	Reinforcing WPC Top Rail	1
5	IN134601	Classic Top Rail Connector	2
6	IN134801	Bottom Rail Connector	2
7	IN134401	Baluster Connector	30
8	IN105401	Hollow WPC Foot Piece	1
9	IN105401	Hollow WPC Baluster	15
10	N/A	Vinylcast Steel Post Mount or Item 1 Above	2



Notes:

- *This rail assembly meets 2012 OBC requirements for guards within dwelling units & exterior guards serving not more than 2 dwelling units.
- *Post installation per SB-7 requirements (OBC) or local authority having jurisdiction.
- *Component verification & testing per AII report C8061.01-119-19
- *Balusters/rails to be installed to have no play between baluster/rail.
- *Install complete railing system according to installation instructions.
- *Vinylcast Steel Post Mount Testing & Approval per Intertek CCRR-0257.

Connections:

- [A] - 1-1/2" long x 0.137" major dia. 304 stainless steel screw (bugle head) 9 threads per inch.
- [B] - Two #10-16 x 3/4" (0.130 in minor diameter) square drive, pan-head, stainless steel screws.
- [C] - Four #10-16 x 3/4" (0.130 in minor diameter) square-drive, pan-head, stainless steel screws.
- [D] - Four #8-15 x 2" (0.113 in minor diameter) square-drive, pan-head, stainless steel screws.

Baluster Options			
Baluster Name	Part No.	Connector Part No.	Fastener Callout and (qty.)
Classic	104.3	107.1or107.2	A (2)
Estate	114.3	108.1	A (2)

UNLESS OTHERWISE SPECIFIED:
DIMENSIONS ARE IN INCHES
TOLERANCES:
FRACTIONAL ±
ANGULAR MATCH ±
TWO PLACE DECIMAL ±
THREE PLACE DECIMAL ±
INTERPRET GEOMETRIC TOLERANCING PER:
MATERIAL
WOOD/Plastic Composite

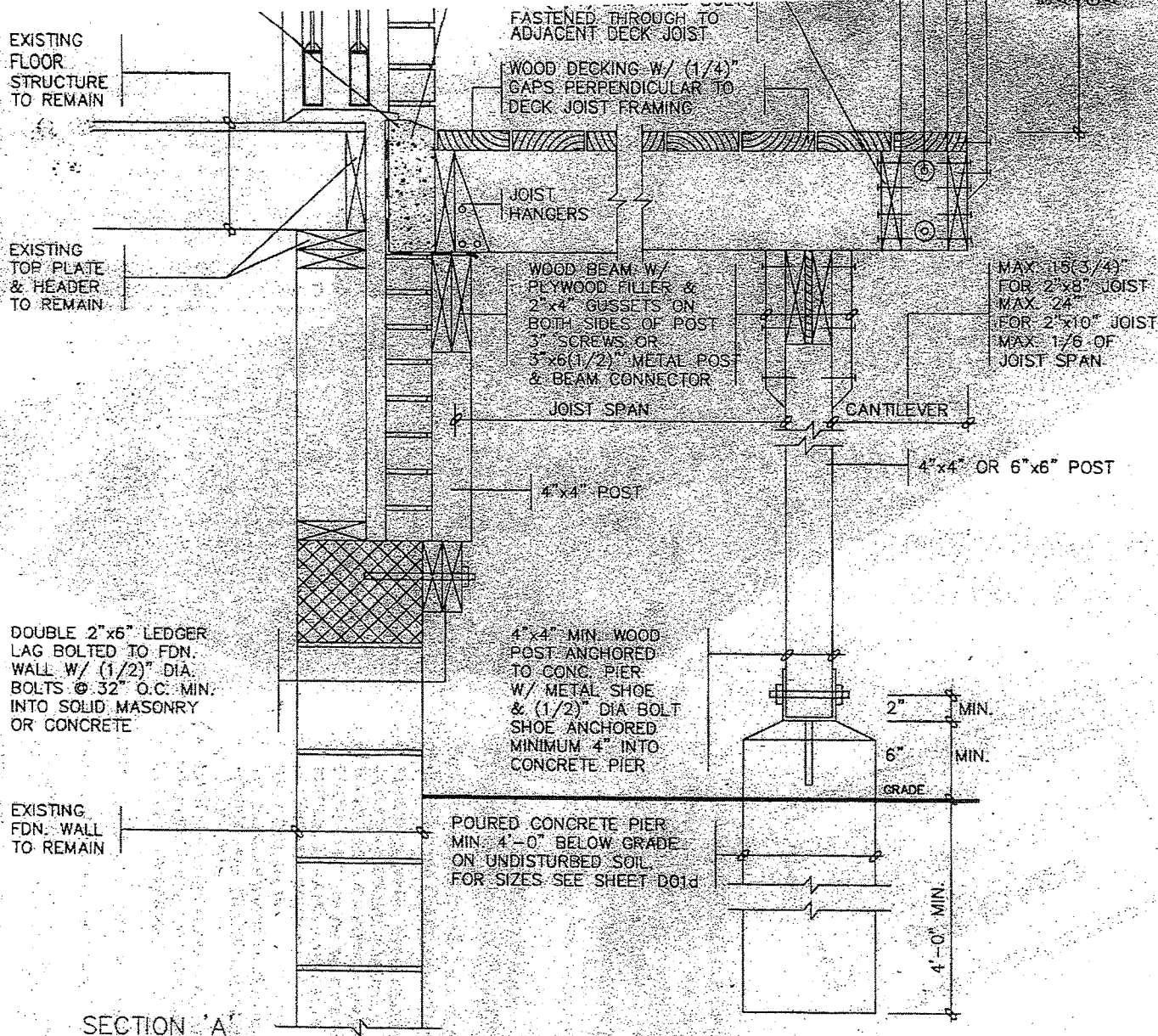
DATE: 3/20/2014
DRAWING
6' Classic Veranda
HP (Light)

Structural 4x4 #1 SYP Ground
Contact Treated Post (ESR-
2240 or AWPA Std U1, UC 4A)
REV 2: Print Revised to Show Vinylcast Steel Post Mount
Copyright 2017, Universal Forest Products, Inc.
PROPRIETARY AND CONFIDENTIAL
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AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF UFP IS PROHIBITED.

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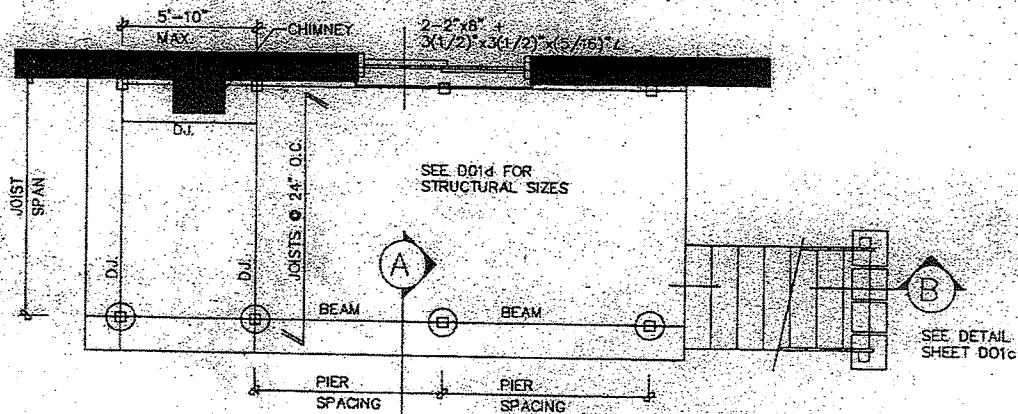
SIZE Job No. 69301 REV
A DWG No. IN147001
SCALE: 1:18 SHEET 1 OF 1

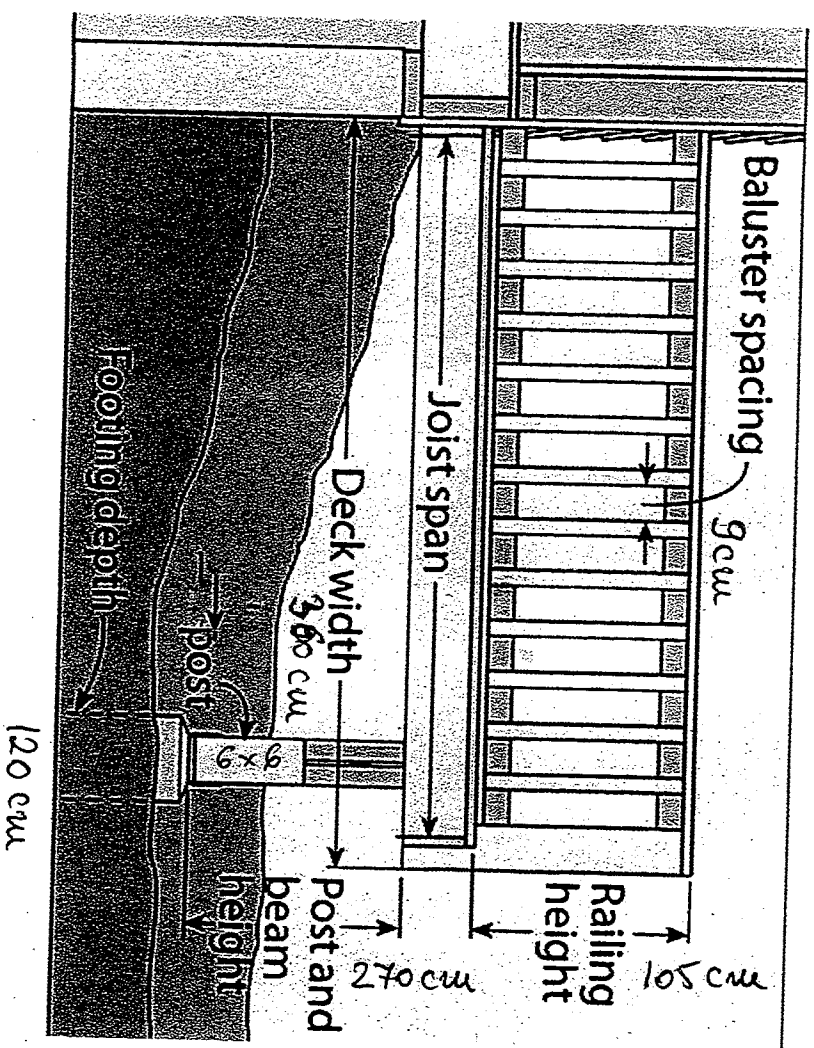
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SECTION 'A'

PLAN





POST 6x6 P.T.

DECK BOARDS 5/4x6

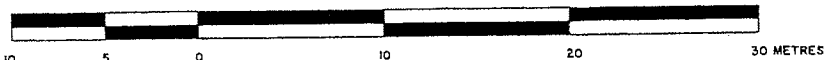
DECK SIZE 10 FEET

/ 19 FEET

BEAM 6x8

JOIST 2x8

SCALE 1:300



© COPYRIGHT SCHAEFFER DZALDOV BENNETT LTD.

**SURVEYOR'S REAL PROPERTY REPORT
PART 2**

THIS PLAN MUST BE READ WITH SURVEYOR'S REAL PROPERTY
REPORT DATED FEBRUARY 13, 2013.

NOTES

□	DENOTES	PLANTED MONUMENT
■	"	FOUND MONUMENT
IB	"	IRON BAR
SSIB	"	SHORT STANDARD IRON BAR
P	"	REGISTERED PLAN 65M-4004
Pi	"	SCHAEFFER DZALDOV BENNETT LTD., SURVEY DATED AUGUST 7, 2012
D.U.C.	"	DWELLING UNDER CONSTRUCTION
S-	"	SET
M	"	MEASURED
922	"	SCHAEFFER DZALDOV BENNETT LTD.

BEARINGS ARE GRID DERIVED FROM THE 6° UTM COORDINATE SYSTEM NAD 83.
ZONE 17, CENTRAL MERIDIAN 81° WEST LONGITUDE AND ARE REFERRED TO THE
NORTHERLY LIMIT OF REGISTERED PLAN 65M-4004 HAVING A BEARING OF N84°06'20"E.

ALL MEASUREMENTS TO DWELLINGS ARE TO TAKEN CONCRETE FOUNDATIONS.
ALL FOUND MONUMENTS ARE NUMBERED 922.

THIS REPORT WAS PREPARED FOR REMINGTON HOMES
AND OTHER APPLICABLE PARTIES TO CURRENT TRANSACTIONS ONLY.
AND THE UNDERSIGNED IS NOT LIABLE FOR ANY FUTURE TRANSACTIONS.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE
SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE
UNDER THEM.

2. THE SURVEY WAS COMPLETED ON 20th DAY OF DECEMBER, 2012

DATE: FEBRUARY 13, 2013.

DAN DZALDOV
ONTARIO LAND SURVEYOR

OCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

1849918



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).



SCHAEFFER DZALDOV BENNETT LTD.
ONTARIO LAND SURVEYORS

64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL: (416) 987-0101

DRAWN ACAD/SB

CHECKED WEB

SCALE 1:300

JOB NO. 03-514-00

DWG NO. 03-514-00-032

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None.

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections
TRCA – comments with conditions. Condition cleared.

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A074/21 - REQUEST FOR COMMENTS - 399 Marc Santi Blvd, Maple (Full Circulation)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: May-18-21 10:44 AM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Subject: [External] RE: A074/21 - REQUEST FOR COMMENTS - 399 Marc Santi Blvd, Maple (Full Circulation)

Good morning Lenore,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Providence, Lenore

Subject: FW: TRCA Condition Clearance - A074/21 - 399 Marc Santi Blvd, Maple

From: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

Sent: May-26-21 3:02 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>; Tatiana Kroupnik <kroupnikt@gmail.com>

Subject: [External] TRCA Condition Clearance - A074/21 - 399 Marc Santi Blvd, Maple

Hi Lenore,

Please be advised that the applicant has submitted TRCA's review fee of \$580.00 for the above noted application. As such, TRCA's condition has been cleared.

Should you have any questions, please do not hesitate to contact me.

Regards,

Hamedeh Razavi MURP

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(416\) 661-6600](tel:(416)661-6600) ext. 5256

E: Hamedeh.Razavi@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



TRCA's Offices are closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that all development planning and permit applications and materials be submitted digitally in PDF format only. Paper submissions are discouraged and may result in extended timeframes for review. All documents should be submitted via an on-line file sharing service (e.g. OneDrive, Dropbox or corporate file sharing services) or via email in PDF format. Documents can be submitted directly to me at Hamedeh.Razavi@trca.ca We thank you for your cooperation as we respond to the current situation.

City of Vaughan | Office of the City Clerk

2141 Major Mackenzie Dr., Vaughan, ON L6A 1T1 [vaughan.ca](https://www.vaughan.ca)

May 26, 2021

CFN 64195.15
X-Ref CFN 64343

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Ms. Christine Vigneault, Secretary Treasurer
Committee of Adjustment, City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Ms. Vigneault:

Re: Minor Variance Application A074.21
399 Marc Santi Blvd, PLAN 65M4004 Lot 32
City of Vaughan, Region of York
Owner: Igor and Tatiana Kroupnik

This letter acknowledges receipt of the above noted application circulated by the City of Vaughan, Committee of Adjustment. The materials were received by Toronto and Region Conservation Authority (TRCA) on May 10, 2021. TRCA staff has reviewed the above noted application, and as per the "Living City Policies for Planning and Development within the Watersheds of the TRCA" (LCP), provides the following comments as part of TRCA's commenting role under the *Planning Act*; the Authority's delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA's Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

Purpose of the Applications

It is our understanding that the purpose of the above noted application is facilitate the construction of a deck, specifically:

1. To permit an encroachment of 3.14 metre into the required rear yard setback for an uncovered deck, whereas a maximum encroachment of 1.8 metres is permitted.

Ontario Regulation 166/06

The subject land is entirely located within TRCA's Regulated Area of the Don River Watershed due to a valley corridor traversing to the south of the subject property. A TRCA permit pursuant to Ontario Regulation 166/06 will be required for any development or site alteration within the Regulated Area on the property.

Application-Specific Comments

TRCA recently issued a permit to facilitate the construction of the proposed works on January 19, 2021 (TRCA Permit No. C-210061).

Based on a review of the plans submitted with this variance application, TRCA is satisfied that the

noted works are consistent with the plans that were approved as a part of the TRCA Permit C-210061. As such, TRCA has no concerns with the proposed variance.

Fees

By copy of this letter, the applicant is advised that the application is subject to a \$580.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Please note that TRCA's Administrative Fees for Planning and Permitting Services are presently under review. It is anticipated that new (2021-2022) fee schedules will be in place as of June 2021. For applications in which TRCA's fees have not been paid by this date, the applications will be subject to the new fees, effective the date of the approval of the new fees by TRCA's Board of Directors. TRCA's current fee top-up provisions, as outlined in our current fee schedules, will continue to apply.

Recommendation

Based on the above, TRCA staff have **no objection** to the approval of Minor Variance Application A074.21, subject to the following condition:

1. That the applicant provides the required fee amount of \$580.00 payable to the Toronto and Region Conservation Authority.

TRCA trusts these comments are of assistance. Should you have any questions, please contact the undersigned at extension 5256 or at Hamedeh.Razavi@trca.ca

Sincerely,



Hamedeh Razavi
Planner I
Development Planning and Permits

HR/mh

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Schedule D: Previous Approvals (Notice of Decision)

None.