

**File:** A072/21

**Applicant:** 2207922 Ontario Inc.

**Address:** 7611 Pine Valley Dr. Unit 28, Woodbridge

**Agent:** 2MK Architects Inc.

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: N/A

Background History: A104/15, A170/14, A129/14 (see next page for details)

Staff Report Prepared By: Pravina Attwala  
Hearing Date: Thursday, June 10, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance  
Application

Agenda Item: 6

A072/21

Ward: 3

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Thursday, June 10, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** 2207922 Ontario Inc.

**Agent:** 2MK Architects Inc.

**Property:** 7611 Pine Valley Drive, Unit 28, Woodbridge

**Zoning:** The subject lands are zoned C7 - Service Commercial Zone and are subject to the provisions of Exception 9(864) under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Mixed-Use"

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended is being requested to permit the construction of a proposed second floor within Unit #28.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
The by-law requires that a minimum of 285 parking spaces shall be required on the lot. [3.8 a) and 9(864 ei)]	A minimum of 261 parking spaces are proposed to be provided on the lot.

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A104/15	259 Parking Spaces on site	April 16, 2015
A170/14	Church located in a multi-unit building 259 parking spaces	July 10, 2014
A129/14	259 Parking Spaces	May 29, 2014

For information on the previous approvals listed above please visit [www.vaughan.ca](https://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**  
Public notice was mailed on May 26, 2021

Applicant confirmed posting of signage on May 25, 2021

Property Information	
Existing Structures	Year Constructed
Building	2003 (Purchased 2019)

Applicant has advised that they cannot comply with By-law for the following reason(s): The existing unit has 6 parking spaces allocated for it, while 7 parking spaces are required based on the proposed gross floor area of this unit.

**Adjournment Request:** None

**Building Standards (Zoning Review):**  
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 20-111250 for Business and Prof. Office Unit - Interior Unit Alteration, Issue Date: (Not Yet Issued)  
Building Permit No. 20-000007 for Professional Services Unit - Interior Unit Alteration, Issue Date: Feb 13, 2020  
Building Permit No. 20-111250 for Business and Prof. Office Unit - Interior Unit Alteration, Issue Date: Dec 15, 2020

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Building Inspections (Septic):**  
No response received to date.

**Development Planning:**  
Official Plan: City of Vaughan Official Plan ('VOP 2010'): "Mid-Rise Mixed-Use", with a maximum permitted height of 10-storeys and floor space index ('FSI') of 3 times the area of the lot.

The Owner is proposing interior alterations to a unit within an existing multi-unit building to facilitate additional office space, resulting in a parking deficiency with a minimum of 261 parking spaces on-site, whereas 285 parking spaces are required.

The Committee of Adjustment has previously approved several Minor Variances that have permitted reductions to the required amount of parking spaces on the subject property. The most recent Minor Variance File A104/15 for Unit 21 approved a total of 259 parking spaces, whereas 423 parking spaces were required.

The Owner has submitted a Parking Study prepared by JD Northcote Engineering Inc. dated April 15, 2021, to address the requested parking deficiency. The Transportation Division of the Development Engineering Department has reviewed the Parking Study and advised that the proposed parking supply of 261 parking spaces is adequate to serve the site.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

**Development Engineering:**  
The Development Engineering (DE) Department does not object to variance application A072/21.

Following summarizes Transportation Planning Division comments for a Parking Study by JD Engineering dated April 15, 2021 for the subject development:

- The Parking Study is in support of a proposed development with a reduced parking supply of 261 spaces comparing to bylaw requirement of 285 spaces
- The parking study/justification report is based on a detailed parking survey conducted at the existing facility.
- The estimated parking spaces are also found consistent with the IBI Parking Standard prepared for the City of Vaughan.

The proposed parking supply is found adequate based on the supporting analysis provided in the consultant's report. We therefore agree with the conclusions reached in the study report and have no objections with the subject variance application.

**Parks Development - Forestry:**

No comments no concerns.

**By-Law and Compliance, Licensing and Permit Services:**

No comments no concerns.

**Development Finance:**

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

**Fire Department:**

No comments received to date

**Schedule A – Plans & Sketches****Schedule B – Public Correspondence**

A072/21 - York Region Standard Condominium Corporation No. 1051

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

**Schedule D - Previous Approvals (Notice of Decision)**

Minor Variances A104/15, A170/14, A129/14

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended: None

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Please Note:**

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Notice to the Applicant – Development Charges**

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**Notice to Public**

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business day prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](https://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8002  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

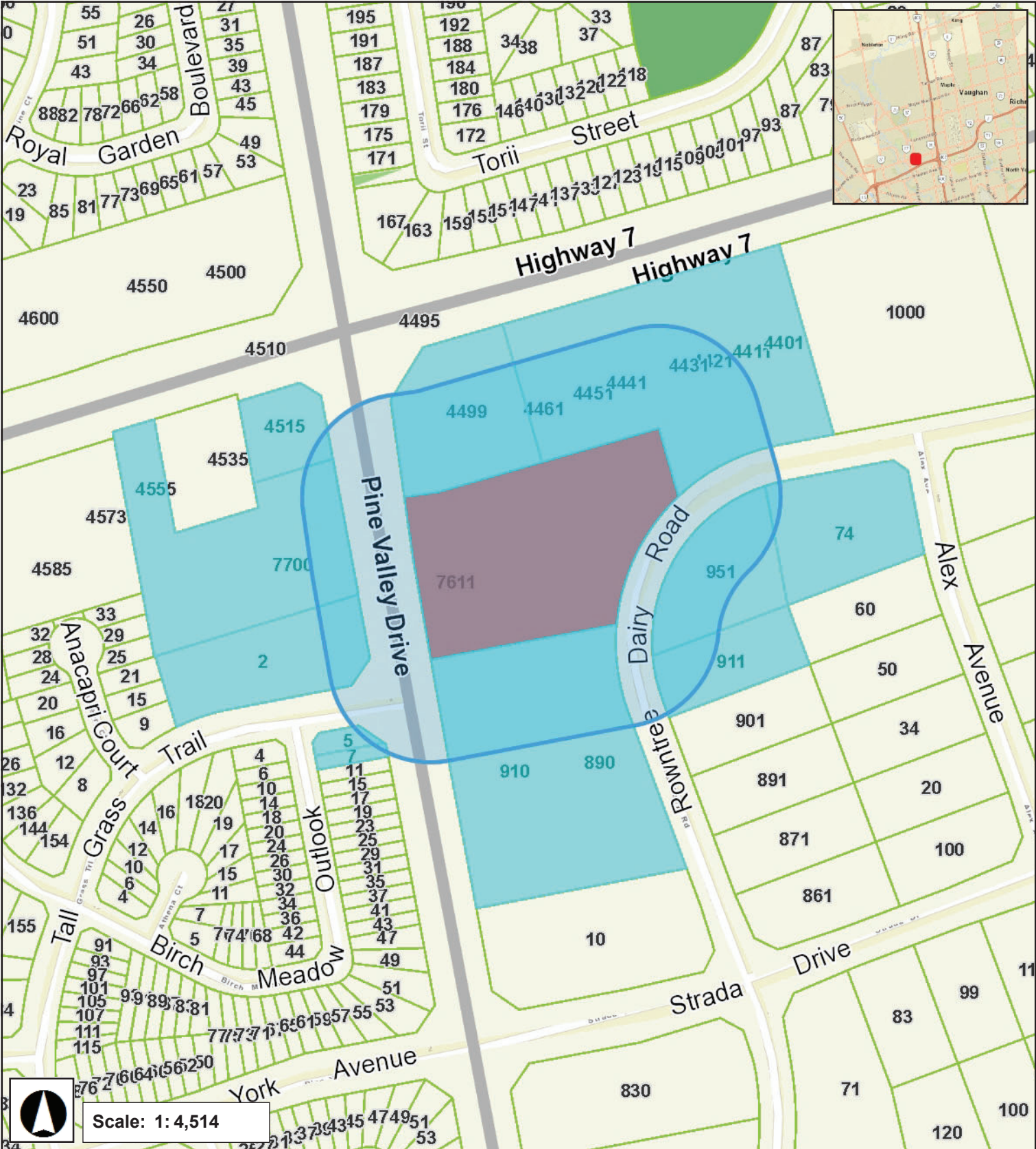
Location Map  
Plans & Sketches





# LOCATION MAP - A072/21

7611 PINE VALLEY DRIVE, UNIT 28, WOODBRIDGE







SITE DEVELOPMENT DATA		
ZONING	C7-H	
LOT AREA	16,366.50 sqm.	176,173.00 sq ft. (4,044 AC.) (1.63 hrs)
LOT AREA		
BUILDING AREA		
BUILDING A (COMMERCIAL)	2,928.48 sqm.	31,421.87 sq ft.
BUILDING B (COMMERCIAL)	1,678.55 sqm.	18,068.03 sq ft.
TOTAL BUILDING AREA (FOOTPRINT)	4,607.03 sqm.	49,589.90 sq ft.
LOT COVERAGE		
GROSS GROUND COVERAGE		28.15%



REAR YARD	22.00M	23.41M	
SIDE YARD (EXT.)	N/A	N/A	
SIDE YARD (INT.)	6.00M	6.19M/7.40M	
PARKING		REQUIRED	PROVIDED
COMMERCIAL (6.0/10.0 S.W.) BUILDING A AND B		271 SPACES	261 SPACES (INCL. 3 H/V SPACES)
LOADING SPACES	REQUIRED		PROVIDED
OFFICE	N/A		N/A
LANDSCAPED AREA	2,959.69 sq.m.	31,762.00 sq.ft.	(14.03 %)
MIN. 10% OF LOT AREA	8,608.77 sq.m.	94,619.91 sq.ft.	(53.82%)
PAVED AREA			

ONTARIO BUILDING CODE DATA

BUILDING A AND BUILDING B		
PROJECT DESCRIPTION	<input type="checkbox"/> CHANGE OF USE	-
MAJOR OCCUPANCY(S) group [ E ]	<input type="checkbox"/> EDUCATION	3.1.2.1.
NUMBER OF STOREYS	above grade = [ 1 ] below grade = [ 0 ]	-
HEIGHT OF BUILDING Bios. B. [ 6.80 ] m	FACING - Bios. B. [ 1 ] SHEETS(S)	3.2.2.10
BUILDING CLASSIFICATION	group [E], up to 2 STOREYS SHIMMERED	3.2.2.162
SPRINKLER SYSTEM PROPOSED	<input type="checkbox"/> Entire building CLASSIFIED ONLY <input type="checkbox"/> IN LINE OF ROOF RAINING <input type="checkbox"/> NOT REQUIRED	[ ]
STAIRWELL REQUIRED	<input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9.1.
FIRE ALARM REQUIRED	<input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4.1.
HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6.1.
WATER SERVICE IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	-
CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE	<input checked="" type="checkbox"/> BOTH	3.2.2.62
MEZZANINES'S AREA [ m <sup>2</sup> ]	<input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON COMBUSTIBLE	-
TOTAL OCCUPANCY LOAD based on sqm/person	[ ] PERSONS <input checked="" type="checkbox"/> DESIGN OF BUILDING	TABLE 3.1.161
BARRIER-FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.6.1.1.
HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	-
RESISTANCE TO FIRE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) [ ]	
ROOF: [0] HOURS	LISTED DESIGN NO.(U/LD) OR DESCRIPTION (SP-2)	[ ]
MEZZANINE: -	FRR OF SUPPORTING MEMBERS [ ]	[ ]
FLOORS: [0] HOURS	LISTED DESIGN NO.(U/LD) OR DESCRIPTION (SP-2)	[ ]
ROOF: [0] HOURS		[ ]
MEZZANINE: - HOURS		[ ]
		3.2.2.62

[illegible]

H/C PARKING SIGN DETAIL  
N.T.S.

9

5

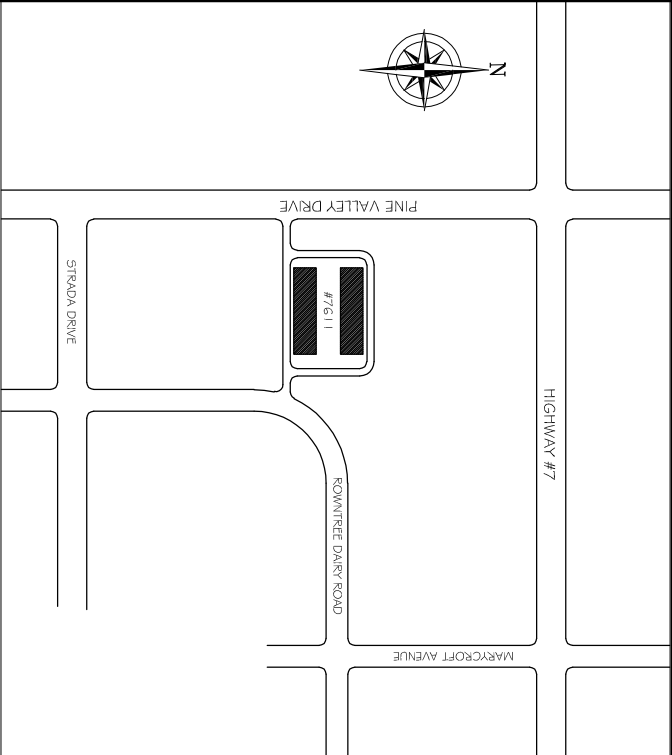
[illegible][illegible][illegible]

ORDER NO. ORDER DATE ORDER BY ORDER MAIL ORDER J.C.	SCALE 1:300	DATE SEPTEMBER 2003	PROJECT No. 2304/R	info@archited inc. 3231 LINDSEY ROAD, SUITE 204, VANUAGAN ONTARIO L4K 4T2 TEL. (905) 761-7870 TEL. (905) 761-7872 FAX. (905) 761-7872 INFO@INTARCH.COM WWW.INTARCH.COM
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Ontario Building Code Data Matrix Part 3										Building Code Reference <sup>1</sup>
3.00	Building Code Version:	O. Reg. 338/12		Last Amendment		O. Reg. 191/14				
3.01	Project Type:	<input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation								[A] 1.1.2
	Description:	Interior Alteration to an Existing Commercial Building								
3.02	Major Occupancy Classification:	Occupancy	Use							3.12.1(f)
		D	Office							
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		Description: _____						3.2.2.7
3.04	Building Area (m <sup>2</sup> )	Description:	Existing	New	Total					[A] 1.4.1.2
		Area of Interior Alteration	192.8 m <sup>2</sup>	0	192.8 m <sup>2</sup>					
		Total area of interior alteration	192.8 m <sup>2</sup>							
3.05	Gross Area (m <sup>2</sup> )	Description:	Existing	New	Total					[A] 1.4.1.2
		Area of Interior Alteration	192.8 m <sup>2</sup>	0	192.8 m <sup>2</sup>					
		Total	192.8 m <sup>2</sup>							
3.06	Mezzanine Area (m <sup>2</sup> )	Description:	Existing	New	Total					3.2.1.1
		Existing mezzanine	42.8 m <sup>2</sup>	33	75.8 m <sup>2</sup>					
		Total	75.8 m <sup>2</sup>							
3.07	Building Height	1	Storeys above grade	Existing	(m) Above grade					[A] 1.4.1.2 & 3.2.1.1
		0	Storeys below grade							
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes								3.2.6
3.09	Number of Streets/Firefighter access	1 street(s)								3.2.2.10 & 3.2.5
3.10	Building Classification: (Style and Construction Reference to Occupancy)	3.2.2.62		Group/Div	E					3.2.2.20 - 83
3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		Processed:		<input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> none				3.2.15.8 & 3.2.2.17
3.12	Standpipe System	<input checked="" type="checkbox"/> Not required <input type="checkbox"/> Required								3.2.9
3.13	Fire Alarm System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not required		Processed:		<input type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None				3.2.4
3.14	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes								
3.15	Construction Type	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes								3.2.2.20 - 83 & 3.2.1.4
3.18	Occupant Load	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)					3.1.17
		Main Floor	Office employees	Design	10 persons					
3.19	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <u>                    </u> Explanation: Barrier Free washroom existing in the unit. <input type="checkbox"/> No								3.8
3.20	Hazardous Substances:	<input type="checkbox"/> Yes <u>                    </u> Explanation <input checked="" type="checkbox"/> No								3.3.12.8 & 3.3.119
3.21	Required Fire Resistance Ratings	Horizontal Assembly	Rating	Supporting Assembly (L1)	Noncombustible in lieu of rating?					3.2.2.20 - 83 & 3.2.1.4
		Floors over basement	0	0	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A					
		Floors	0	0	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A					
		Mezzanine	0	0	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A					
		Roof	0	0	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A					
3.23	Punching Fixture Requirements	Ratio:	Male/Female = 50/50 Except as noted otherwise							37.4
		Floor Level/Area	Occupant Load	OBC Reference	Exits Required	Exits Provided				
		Main Floor	10	3.7.4.7	2	2				
(Repeat additional lines as needed)										

STATISTICS	
ADDRESS: 7611 Pine Valley Dr., Vaughan, ON, L4L 9A9, Unit #28	
ZONING: C7 Commercial	TOTAL PROPOSED GROSS FLOOR AREA=192.8 m² Gr. Floor area= 117m² Mezzanine / SECOND FLOOR = 75.8 m²
PREVIOUS UNIT USE: EATING ESTABLISHMENT/ CONVENIENCE	PROPOSED UNIT USE: PROFESSIONAL OFFICE / BUSINESS
MEZZANINE AREA CALCULATIONS	
EXISTING MEZZANINE FLOOR AREA = 42.8 m² PROPOSED ADDITION TO EXISTING MEZZANINE FLOOR AREA = 33 m² TOTAL PROPOSED MEZZANINE / SECOND FLOOR AREA = 75.8 m² OPEN SPACE AREA = 35.5 m²	
NOTE: WE PROPOSE THIS ADDITION AS SECOND FLOOR	
CAR PARKING: REQUIRED CAR PARKING FOR OFFICE USE = 3.5 FOR EVERY 100 m² GFA = 7 CAR PARKING SPACES REQUIRED TOTAL EXISTING CAR PARKING ALLOCATED FOR UNIT #28 = 6 (NO CHANGE) TOTAL EXISTING CAR PARKING PROVIDED ON SITE = 261 (NO CHANGE)	
BUILDING HEIGHT : EXISTING (NO CHANGE)	
SET BACKS: ALL SET-BACKS EXISTING , NO CHANGE FOR EXISTING SET-BACKS	
O.B.C COMPLIANCE	
PREVIOUS UNIT USE: EATING ESTABLISHMENT/ CONVENIENCE	PROPOSED UNIT USE: PROFESSIONAL OFFICE / BUSINESS
EXISTING BUILDING MAJOR OCCUPANCY : E - MERCANTILE OCCUPANCIES	O.B.C CLASSIFICATION OF THE WHOLE BUILDING: 3.2.2.62
EXISTING BUILDING FULLY SPRINKLERED	NUMBER OF EXITS FOR EXISTING UNIT: 2
MAX. OCCUPANT LOAD : 10 PERSON	
NUMBER OF BARRIER FREE WASHROOMS : 1 - EXISTING (NO CHANGE)	
NUMBER OF REGULAR WASHROOMS : 2	



KEY PLAN SCALE 1:1000	
DRAWINGS LIST	
Sheet Number	Sheet Name
A000	COVER SHEET & O.B.C MATRIX
A001	EXISTING SITE PLAN & STATISTICS
A002	GENERAL NOTES
A100	EXISTING UNIT FLOOR PLANS
A101	PROPOSED UNIT FLOOR PLANS
A102	REFLECTED CEILING PLAN
A 501	INTERIOR SECTIONS / ELEVATIONS
Grand total: 10 Drawings	

This drawing is protected by copyright. Contractors must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the architect before proceeding. All dimensions are shown in mm.		
Revisions		
No.	Issued	Date
1	Issued for Building Permit Application	Sep. 08, 2020
2	Re-issued for Building Permit Application	Oct. 30, 2020
3	Re-issued for Building Permit Revision	Jan. 20, 2021
4	Re-issued for Minor Variance Application	April 13, 2021
5		
6		
7		
8		
9		
10		
<div><div><div>ONTARIO ASSOCIATION OF ARCHITECTS</div><div>MISSISSAUGA MEMBER</div><div>LICENCE 7148</div></div><div>Client R-Con Engineering Inc.</div><div>7611 Pine Valley Dr., Vaughan, ON, Unit #28</div><div>Consultant</div><div>2MK Architects Inc.</div><div>501 A-3461 DIXIE RD. MISSISSAUGA ON, L4Y3X4 phone 4162729435/473000175</div><div>Project Interior Alterations To an Existing Space</div><div>7611 Pine Valley Dr., Vaughan, ON, Unit #28</div><div>Drawing Title</div><div>Cover Sheet</div><div>Drawn by: MK</div><div>Checked by: MK</div><div>Scale 1 : 150</div><div>Date Sep. 08, 2020</div><div>Project No. 202049</div><div>drawing No. A000</div></div>		



H I G H W A Y # 7



1  
A001  
SCALE: 1:500  
SITE PLAN

This drawing is protected by copyright. Contractors must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the architect before proceeding.  
All dimensions are shown in mm.

Revisions

No.	Issued	Date
1	Issued for Building Permit Application	Sep. 08, 2020
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3	Re-issued for Minor Variance application	April 13, 2021
4		
5		
6		
7		
8		
9		
10		



Client

R-Con Engineering Inc.

7611 Pine Valley Dr. Vaughan, ON, Unit #28

Consultant

**ZMK Architects Inc.**

501 A-3461 DIXIE RD.,  
MISSISSAUGA ON, L4Y3X4  
phone 4162729435/6473000175

Project  
Interior Alterations To an  
Existing Space

7611 Pine Valley Dr. Vaughan, ON, Unit #28

Drawing Title

**SITE PLAN**

Drawn by:	MK	Checked by:	MK
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Scale	1 : 500	Date	Sep. 08, 2020
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Project No.	202049		
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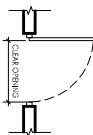
drawing No.

**A001**

DOOR SCHEDULE

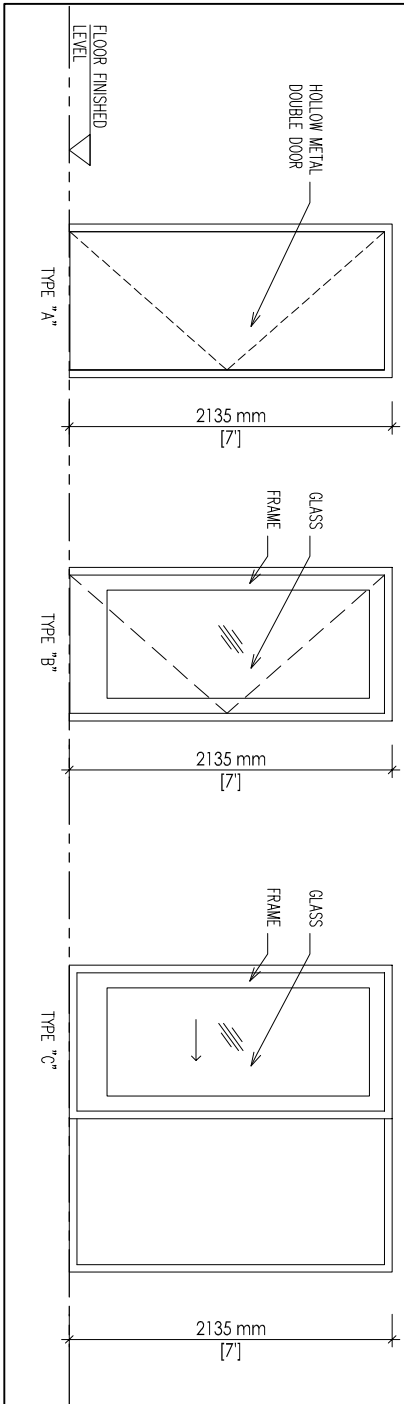
NOTE :

- DOORS SIZE INDICATED IN THIS SCHEDULE IS THE CLEAR DOORWAY OPENING SIZE; FRAME NOT INCLUDED, FOR ROUGH OPENINGS REFER TO PLAN DRAWINGS
- ALL DOORS ARE SWING-TYPE DOORS UNLESS OTHERWISE NOTED IN THE SCHEDULE
- PROVIDE DOOR STOPPER FOR ALL NEW DOORS TO PROTECT WALLS.



NO.	TYPE	SIZE (mm)	QTY.	DOOR TYPE	LOCATION	REMARKS
D1	INTERIOR	810 x 2130	4	A	WASHROOMS, STORAGE ROOMS	HOLLOW METAL FLUSH SWING DOOR
D2	INTERIOR	915 x 2130	1	B	MAIN ENTRANCE HALLWAY	GLASS & WOOD SWING DOOR, WITH DOOR CLOSER
D3	INTERIOR	865 x 2130	2	C	CONFERENCE ROOM AND UPPER LEVEL WORK SPACE	GLASS & WOOD SLIDING DOOR

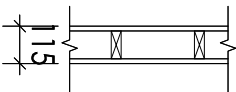
DOOR TYPES



WALL TYPES

INTERIOR STUD PARTITION

-12.7mm DRYWALL FINISH BOTH SIDES OF  
-89mm WIDE WOOD STUDS @ 400mm O/C  
2 TOP PLATES & 1 BOTTOM PLATE



GENERAL NOTES

- DO NOT SCALE THE DRAWINGS
- GENERAL CONTRACTOR TO VERIFY FIELD CONDITION PRIOR TO COMMENCEMENT OF WORK
- THE CONTRACTOR SHALL COORDINATE ALL PARTS OF WORK, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION
- UNLESS OTHERWISE INDICATED, PLANS DIMENSIONS ARE TO GRIDLINES, FINISHED SURFACE OF MASONRY WALLS, FACE OF DRYWALL PARTITIONS.
- WHERE NEW WALLS ARE CONSTRUCTED, PATCH ALL HOLES IN EXISTING DRYWALL AND MAKE IT FLUSH WITH THE EXISTING WALL, SEAL JOINTS WITH ACOUSTIC SEALANT.
- FULL HEIGHT PARTITIONS SHALL BE SEALED WITH ACOUSTIC SEALANT ON BOTH SIDES, TOP & BOTTOM, INTERSECTIONS, DOOR FRAMES & ALL OTHER PENETRATIONS.
- ALL PENETRATIONS THROUGH FIRE RATED WALLS SHALL MAINTAIN CONTINUITY OF FIRE RATING.
- PATCH & MAKE GOOD ALL FLOORS, WALLS AND CEILINGS AFFECTED BY DEMOLITION.
- INFILL ANY PENETRATION RESULTING FROM THE REMOVAL OF EXISTING MECHANICAL HVAC DIFFUSERS OR REMOVED LIGHT FITTINGS

SYMBOLS LEGEND

	2'X4' CEILING MOUNTED LIGHT FITTING
	HVAC SUPPLY DIFFUSER
	HVAC RETURN AIR
	EXISTING CEILING MOUNTED SPRINKLER HEAD
	2'X2' CEILING MOUNTED LIGHT FITTING
	LIGHT FIXTURE (CEILING MOUNTED)
	POT LIGHT FIXTURE
	EXIT SIGN-CEILING OR WALL MOUNTED
	EMERGENCY LIGHT FITTING EXISTING
	FIRE ALARM PULL STATION
	FIRE ALARM BELL
	FIRE EXTINGUISHER
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE ALARM

This drawing is protected by copyright. Contractors must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the architect before proceeding.  
All dimensions are shown in mm.

Revisions		
No.	Issued	Date
1	Issued for Building Permit Application	Sep. 08, 2020
2	Re-issued for Building Permit Revision	Jan. 20, 2021
3		
4		
5		
6		
7		
8		
9		
10		



Client

R-Con Engineering Inc.

7611 Pine Valley Dr. Vaughan, ON, Unit #28

Consultant

2MK Architects Inc.

501 A-3461 DIXIE RD,  
MISSISSAUGA ON, L4Y3X4  
phone 4162729435/6473000175

Project  
Interior Alterations To an  
Existing Space

7611 Pine Valley Dr. Vaughan, ON, Unit #28

Drawing Title

GENERAL NOTES

Drawn by:	MK	Checked by:	MK
Scale	1 : 500	Date	Sep. 08, 2020
Project No.	202049		

drawing No.

A002



This drawing is protected by copyright. Contractors must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the architect before proceeding.

7611 Pine Valley Dr. Vaughan, ON, Unit #28

**2MK Architects Inc.**

## Project

### Interior Alterations To an

Drawing Title

1000

drawing No. **A100**

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All dimensions are shown in mm.

Revisions	
No.	Issued
1	Issued for Building Permit Application
2	Re-issued for Building Permit Application
3	Re-issued for Building Permit revision
4	
5	
6	
7	
8	
9	
10	



Client  
R-Con Engineering Inc.

7611 Pine Valley Dr. Vaughan, ON, Unit #28

Consultant

**ZMK Architects Inc.**

501 A-3461 DIXIE RD.  
MISSISSAUGA ON, L4Y3X4  
phone 4162729435/6473000175

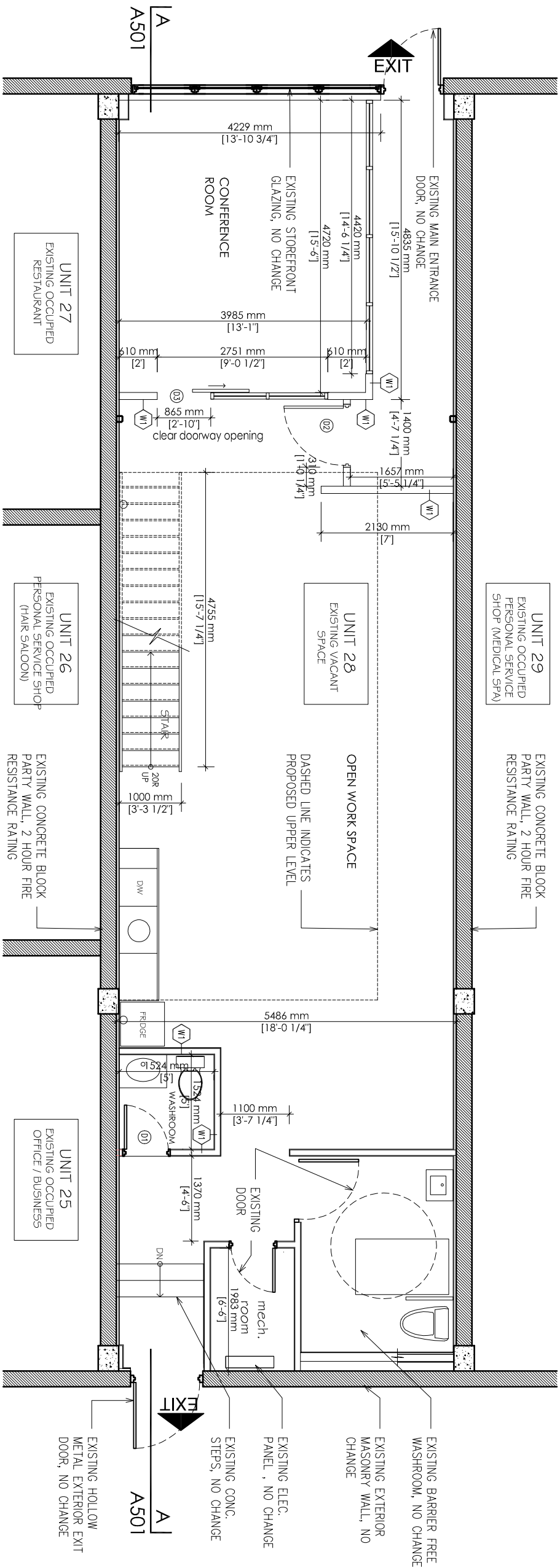
Project  
Interior Alterations To an  
Existing Space

7611 Pine Valley Dr. Vaughan, ON, Unit #28

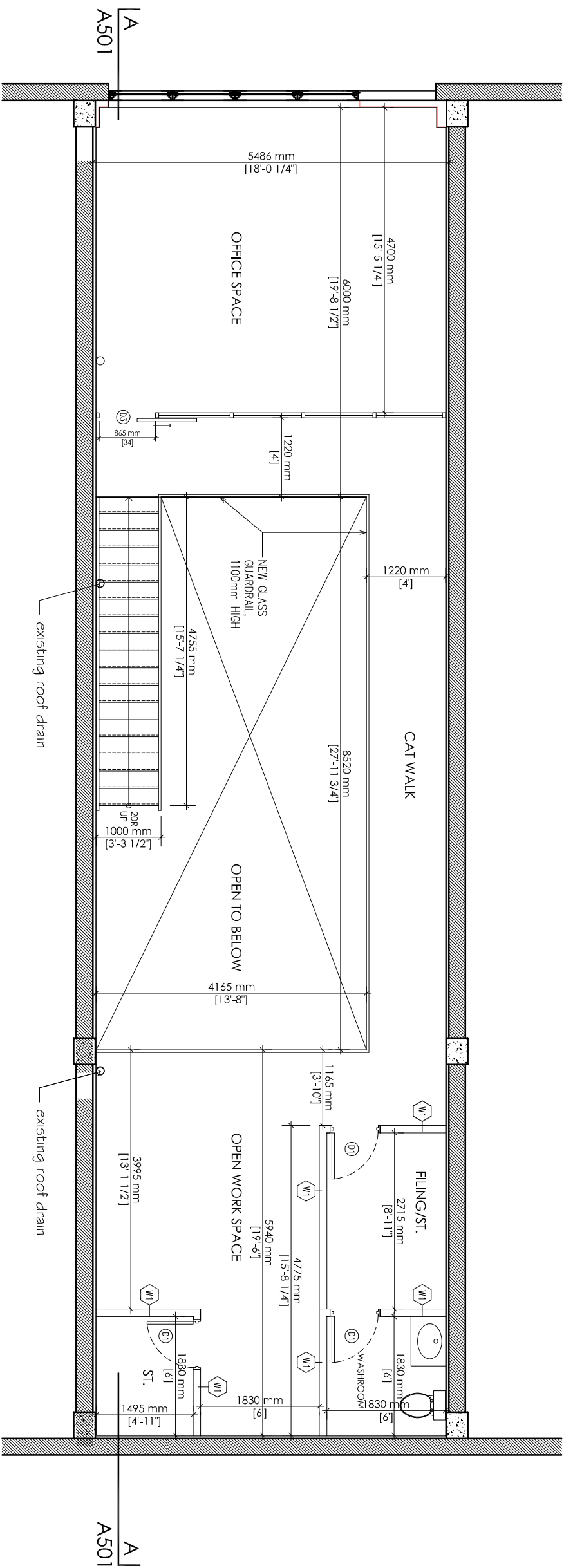
Drawing Title  
**PROPOSED UNIT  
LAYOUT**

Drawn by:	MK	Checked by:	MK
Scale	1 : 75	Date	Sep. 08, 2020
Project No.	202049		

A101



1  
A101  
SCALE: 1:75  
PROPOSED GROUND LEVEL FLOOR PLAN



2  
A101  
SCALE: 1:75  
PROPOSED SECOND LEVEL FLOOR PLAN

This drawing is protected by copyright. Contractors must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the architect before proceeding.  
All dimensions are shown in mm.

Revisions

No.	Issued	Date
1	Issued for Building Permit Application	Sep. 08, 2020
2	Re-issued for Building Permit Application	Dec.04, 2020
3	Re-issued for Building Permit Revision	Jan.20, 2021
4		
5		
6		
7		
8		
9		
10		



Client  
R-Con Engineering Inc.

7611 Pine Valley Dr. Vaughan, ON, Unit #28

Consultant

**2MK Architects Inc.**

501 A-3461 DIXIE RD.  
MISSISSAUGA ON, L4Y3X4  
phone 4162729435/6473000175

Project  
Interior Alterations To an  
Existing Space

7611 Pine Valley Dr. Vaughan, ON, Unit #28

Drawing Title

REFLECTED CEILING  
LAYOUTS

Drawn by:	MK	Checked by:	MK
Scale	1 : 75	Date	Sep. 08, 2020
Project No.	202049		

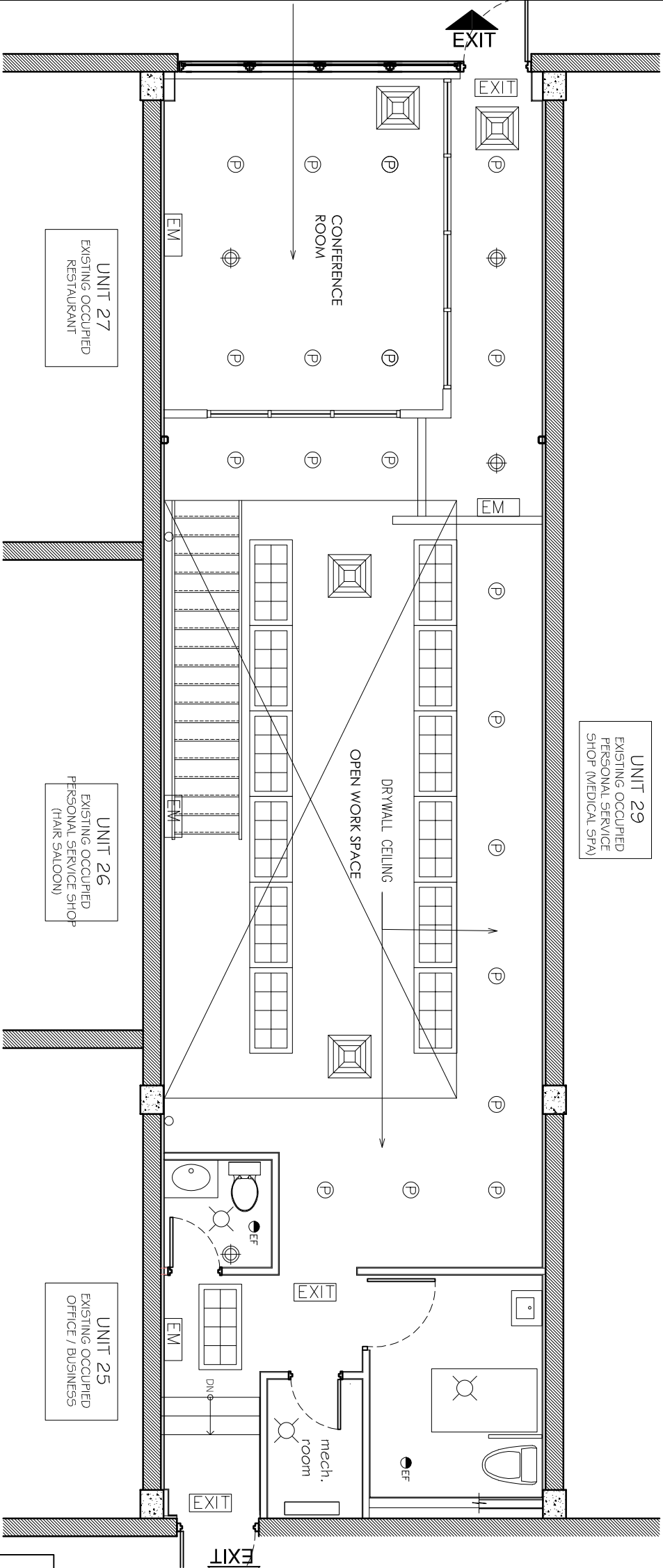
drawing No.

A102

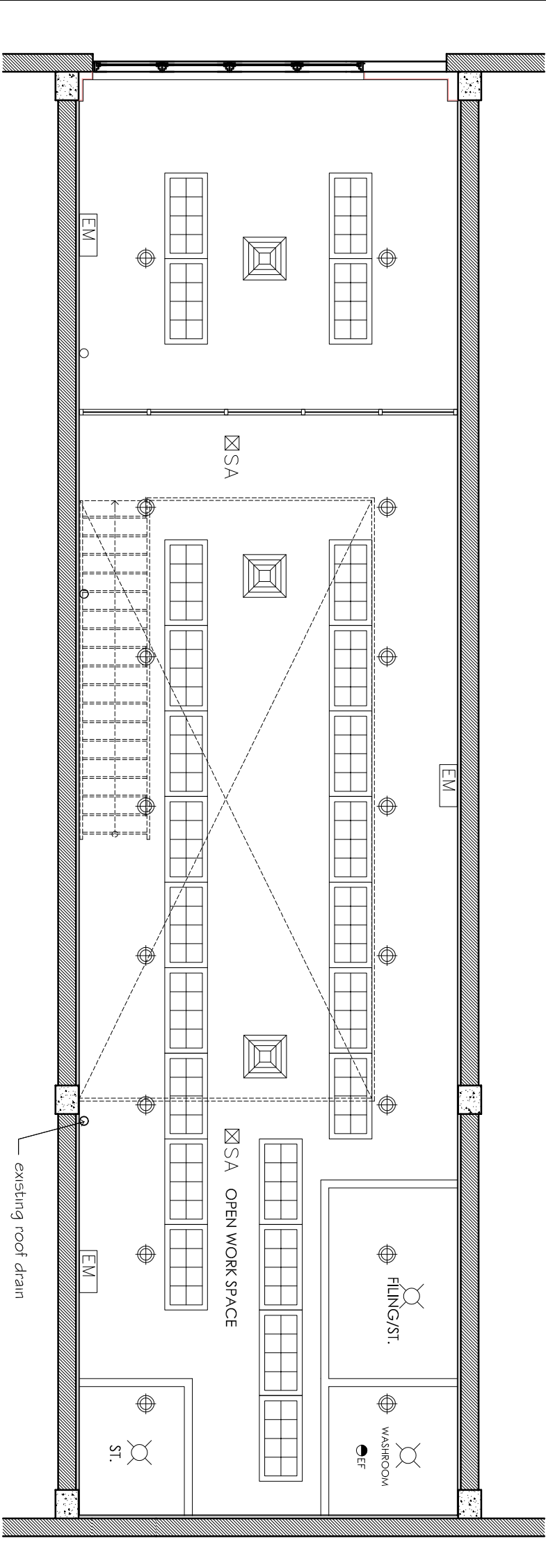
SYMBOLS LEGEND

	2'X4' CEILING MOUNTED LIGHT FITTING
	HVAC SUPPLY DIFFUSER
	HVAC RETURN AIR
	EXISTING CEILING MOUNTED SPRINKLER HEAD
	2'X2' CEILING MOUNTED LIGHT FITTING
	LIGHT FIXTURE (CEILING MOUNTED)
	POT LIGHT FIXTURE
	EXIT SIGN-CEILING OR WALL MOUNTED
	EMERGENCY LIGHT FITTING EXISTING
	FIRE ALARM PULL STATION
	FIRE ALARM BELL
	FIRE EXTINGUISHER
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE ALARM

NOTE: REFER TO MECHANICAL  
DRAWINGS FOR SPRINKLERS  
LOCATIONS & INFORMATION



1  
A102 REFLECTED CEILING LAYOUT @ MAIN LEVEL



2  
A102 REFLECTED CEILING LAYOUT @ SECOND LEVEL

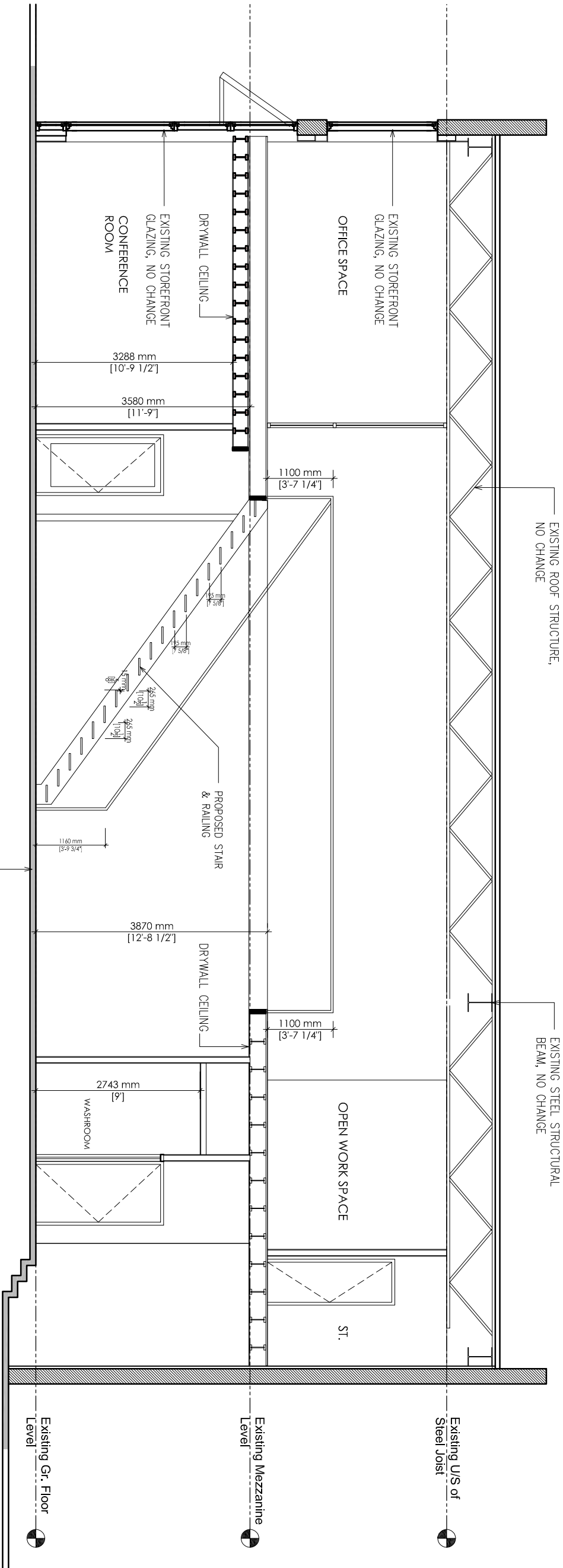


This drawing is protected by copyright. Contractors must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the architect before proceeding.  
All dimensions are shown in mm.

Revisions		
No.	Issued	Date
1	Issued for Building Permit/ Application	Sep. 08, 2020
2	Re-issued for Building Permit Revision	Jan. 20, 2021
3		
4		
5		
6		
7		
8		
9		
10		



Client <b>R-Con Engineering Inc.</b>	
7611 Pine Valley Dr. Vaughan, ON, Unit #28	
Consultant	
<b>2MK Architects Inc.</b> 501 A-3461 DIXIE RD. MISSISSAUGA ON, L4Y3X4 phone 4162729435/6473000175	
Project <b>Interior Alterations To an Existing Space</b>	
7611 Pine Valley Dr. Vaughan, ON, Unit #28	
Drawing Title <b>INTERIOR SECTION / ELEVATION</b>	
Drawn by: <b>MK</b>	Checked by: <b>MK</b>
Scale     1 : 7.5	Date    Sep. 08, 2020
Project No.    202049	
drawing No. <b>A501</b>	



**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**A072/21 - York Region Standard Condominium Corporation No. 1051**



Downing Street  
Property Management Inc.

668 Millway Avenue  
Unit 7  
Vaughan, Ontario  
Canada L4K 3V2

T. 905.851.1717  
800.361.0144  
F. 905.760.8636  
[www.dspm.ca](http://www.dspm.ca)

March 29, 2021

TO: CITY OF VAUGHAN  
COMMITTEE OF ADJUSTMENT  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

AND TO: 2207922 ONTARIO INC.  
7611 Pine Valley Drive, Unit 28  
Vaughan (Woodbridge), Ontario L4L 0A2

RE: Unit 28, Level 1, YRSCP No. 1051 and its appurtenant interest  
City of Vaughan, being PIN 29582-0028 (LT) and municipally known as  
Unit 28, 7611 Pine Valley Drive, Vaughan (Woodbridge), Ontario

---

**YORK REGION STANDARD CONDOMINIUM CORPORATION NO. 1051** hereby authorizes and consents to the Minor Variance Application made by 2207922 Ontario Inc. to the City of Vaughan Committee of Adjustment, in respect of the proposed addition to the second floor of Unit 28, 7611 Pine Valley Drive, Vaughan (Woodbridge), Ontario and the parking proposal set out in the said Application.

**YORK REGION STANDARD CONDOMINIUM CORPORATION NO. 1051**

Per:

*Brad Tooze*

Name: Brad Tooze

Position: Condominium Manager

I have authority to bind the Corporation

If you have any questions, please do not hesitate to reach out to us at 905.851.1717 X245 or via email [brad.tooze@dspm.ca](mailto:brad.tooze@dspm.ca)



Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

**Attwala, Pravina**

---

**Subject:** FW: A072/21 - REQUEST FOR COMMENTS

---

**From:** Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>  
**Sent:** May-05-21 4:37 PM  
**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>  
**Subject:** [External] Re: A072/21 - REQUEST FOR COMMENTS

Good afternoon,

As the property at 7611 Pine Valley Drive is not within MTO permit control area, MTO has no comments.

**Colin Mulrenin (he/him) | Corridor Management Officer | York**

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7<sup>th</sup> Floor, Building D | Downsview, Ontario | M3M 0B7

[Colin.Mulrenin@ontario.ca](mailto:Colin.Mulrenin@ontario.ca)



**Attwala, Pravina**

---

**Subject:** FW: A072/21 - REQUEST FOR COMMENTS

---

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>  
**Sent:** May-05-21 3:41 PM  
**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A072/21 - REQUEST FOR COMMENTS

Good afternoon Pravina,  
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

**Schedule D: Previous Approvals (Notice of Decision)**

**Minor Variances A104/15, A170/14, A129/14**

# **NOTICE OF DECISION**

## **MINOR VARIANCES**

**FILE NUMBER:** A104/15

**APPLICANT:** AURORA MONTEMARANO

**PROPERTY:** Part of Lot 5, Concession 6 (Lots 3 & 4, Registered Plan 65M-2167) municipally known as 7611 Pine Valley Drive, Unit 21, Woodbridge.

**ZONING:** The subject lands are zoned C7 Service Commercial, and subject to the provisions of Exception 9(864) under By-law 1-88 as amended for a second floor.

**PURPOSE:** To permit the construction of a second floor within Unit 21, as follows:

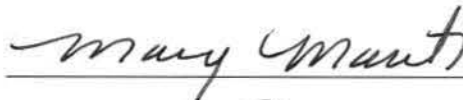
**PROPOSAL:** To permit a minimum of 259 parking spaces on site.

**BY-LAW REQUIREMENT:** A minimum of 423 parking spaces are required.

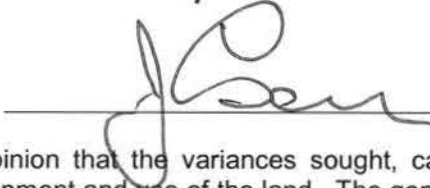
**BACKGROUND INFORMATION:** Other Planning Act Applications  
The land which is the subject in this application was also the subject of another application under the Planning Act:  
Consent Applications  
Files B65/02, B66/02 APPROVED – Oct. 24/02, creation of new lot and easement for sanitary, storm and water services.  
Minor Variance  
File A170/14 APPROVED July 10/14 - church located in multi-unit building; 259 parking spaces  
File A129/14 - APPROVED MAY 29/14 - 259 Parking spaces.  
File A078/13 APPROVED - Apr 11/13 - accessory retail to an eating establishment (Unit 14)  
File A116/12 - APPROVED - May 3/12 - 259 parking spaces  
File A239/04 APPROVED – Aug. 5/04 – 259 not 280 min parking spaces  
File A039//06 APPROVED - Mar. 22/06 – 259 not 291 min parking spaces (Unit 36)  
File A059//06 APPROVED - Mar. 22/06 – 259 not 299 min parking spaces (Unit 19)  
File A062//06 APPROVED - Mar. 22/06 – 259 not 307 min parking spaces (Unit 13)  
File A075//06 APPROVED - Mar. 22/06 – 259 not 315 min parking spaces (Unit 7)  
File A160//06 APPROVED – Apr 10/06 – 259 not 331 min parking spaces (Unit 10)  
File A295/06 APPROVED – Jul 20/06 – 259 not 339 min parking spaces (Unit 9)  
File A424/06 APPROVED – Oct. 26/06 – 259 not 346 min parking spaces (Unit 31)  
File A433/06 APPROVED – Oct. 26/06 – 259 not 354 min parking spaces (Unit 17)  
File A360//05 APPROVED. – Dec. 8/05 – 259 not 284 min parking spaces (Unit 12)  
Zoning Application File Z.03.007  
Site Plan Amendment File DA.03.001.

Sketches are attached illustrating the request.

**MOVED BY:**



**SECONDED BY:**



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.


THAT Application No. **A104/15, AURORA MONTEMARANO**, be **APPROVED**, in accordance with the sketches attached

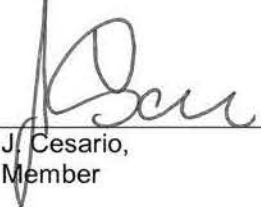
**THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.**


**CARRIED.**


CHAIR: 


Signed by all members present who concur in this decision:

  
A. Perrella,  
Chair

  
J. Cesario,  
Member

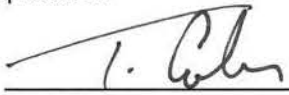
  
H. Zheng,  
Vice Chair

  
R. Buckler,  
Member

  
M. Mauti,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

  
Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

<b>Date of Hearing:</b>	<b>APRIL 16, 2015</b>
<b>Last Date of Appeal:</b>	<b>MAY 6, 2015</b>

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at [www.omb.gov.on.ca](http://www.omb.gov.on.ca). If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$690.00 processing fee, paid by certified cheque or money order, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by certified cheque or money order, made payable to the "ONTARIO MINISTER OF FINANCE".

**NOTE:** The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**CONDITIONS**

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:  
**MAY 6, 2016**



**THIS IS SCHEDULE 'A' TO AGREEMENT.  
FOR SPECIFIC DETAILS REFER TO LARGE SCALE  
DRAWINGS DEPOSITED WITH THE CITY OF VAUGHAN BUILDING DEPARTMENT.**

**Parking Spaces**  
**= 259**

[illegible]

**1 CONCRETE CLASS**  
 1000 SCALE

**2 CONCRETE CLASS**  
 1000 SCALE

**3 DEPRESSED CONCRETE CLASS DETAIL**  
 1000 SCALE

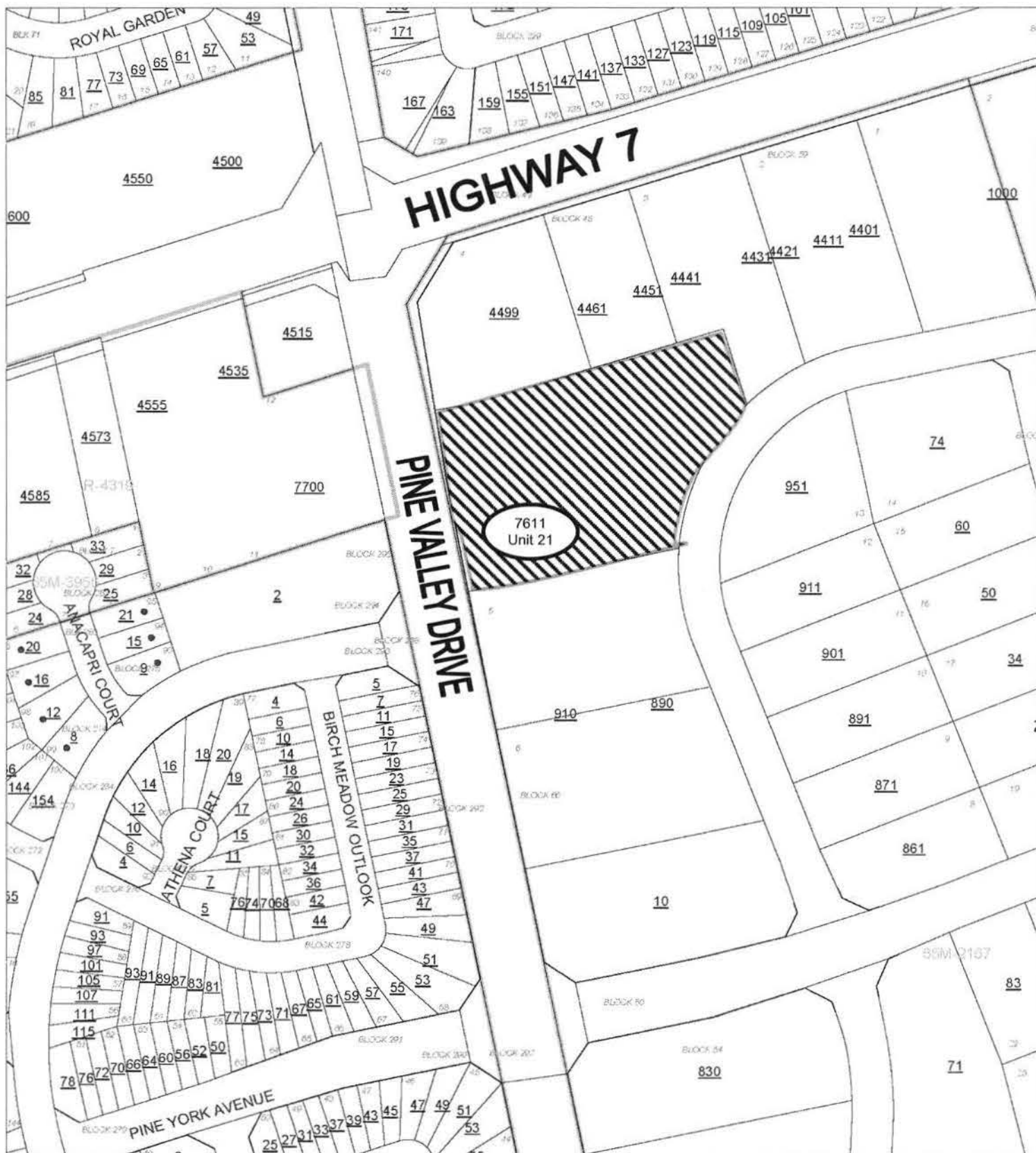
**4 BOULEARD DETAIL**  
 1000 SCALE



**SITE PLAN AND  
SITE DATA**

Make worldwide business connections, share best practices, connect with the people you need to succeed.

IV.	DATE	REMARKS
	19	



COMMITTEE OF ADJUSTMENT  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	<b>A104/15</b>
	APPLICANT:	<b>AURORA MONTEMARANO</b>
		<b>Subject Area</b> Municipally known as <b>7611 Pine Valley Drive, Unit 21, Woodbridge</b>

# **NOTICE OF DECISION**

## **MINOR VARIANCES**

**FILE NUMBER:** A170/14

**APPLICANT:** IGLESIA HISPANA de WOODBRIDGE

**PROPERTY:** Part of Lot 4, Concession 6 (Lots 3 & 4, Registered Plan 65M-2167) municipally known as 7611 Pine Valley Drive, Units 15 & 16, Woodbridge.

**ZONING:** The subject lands are zoned C7, Service Commercial Zone and subject to the provisions of Exception 9(864) under By-law 1-88 as amended.

**PURPOSE:** To permit the maintenance of a community centre/ place of worship, as follows:

**PROPOSAL:**

1. To maintain a church located in a multi-unit building.
2. To permit a minimum of 259 parking spaces

**BY-LAW REQUIREMENT:**

1. A church shall only be located in a standalone building.
2. 422 parking spaces are required.

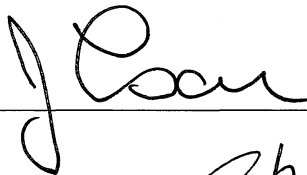
**BACKGROUND INFORMATION:** Other Planning Act Applications  
The land which is the subject in this application was also the subject of another application under the Planning Act:

Consent Applications  
Files B65/02, B66/02 APPROVED – Oct. 24/02, creation of new lot and easement for sanitary, storm and water services.

Minor Variance  
File A129/14 - APPROVED - May 29/14 - 259 parking spaces  
File A078/13 APPROVED - Apr 11/13 - accessory retail to an eating establishment (Unit 14)  
File A116/12 - APPROVED - May 3/12 - 259 parking spaces  
File A239/04 APPROVED – Aug. 5/04 – 259 not 280 min parking spaces  
File A039/06 APPROVED - Mar. 22/06 – 259 not 291 min parking spaces (Unit 36)  
File A059/06 APPROVED - Mar. 22/06 – 259 not 299 min parking spaces (Unit 19)  
File A062/06 APPROVED - Mar. 22/06 – 259 not 307 min parking spaces (Unit 13)  
File A075/06 APPROVED - Mar. 22/06 – 259 not 315 min parking spaces (Unit 7)  
File A160/06 APPROVED – Apr 10/06 – 259 not 331 min parking spaces (Unit 10)  
File A295/06 APPROVED – Jul 20/06 – 259 not 339 min parking spaces (Unit 9)  
File A424/06 APPROVED – Oct. 26/06 – 259 not 346 min parking spaces (Unit 31)  
File A433/06 APPROVED – Oct. 26/06 – 259 not 354 min parking spaces (Unit 17)  
File A360/05 APPROVED. – Dec. 8/05 – 259 not 284 min parking spaces (Unit 12)  
Zoning Application File Z.03.007  
Site Plan Amendment File DA.03.001.

Sketches are attached illustrating the request.

**MOVED BY:**



**SECONDED BY:**



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A170/14, IGLESIA HISPANA de WOODBRIDGE**, be **APPROVED**, in accordance with the sketches attached

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR:                     *Perrella*                    

Signed by all members present who concur in this decision:

                    *Perrella*                      
A. Perrella,  
Chair

                    *[Signature]*                      
L. Fluxgold,  
Member

                    *[Signature]*                      
H. Zheng,  
Vice Chair

                    *[Signature]*                      
J. Cesario,  
Member

                    *May Mauti*                      
M. Mauti,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

                    *[Signature]*                      
Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

<b>Date of Hearing:</b>	<b>JULY 10, 2014</b>
<b>Last Date of Appeal:</b>	<b>JULY 30, 2014</b>

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at [www.omb.gov.on.ca](http://www.omb.gov.on.ca). If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

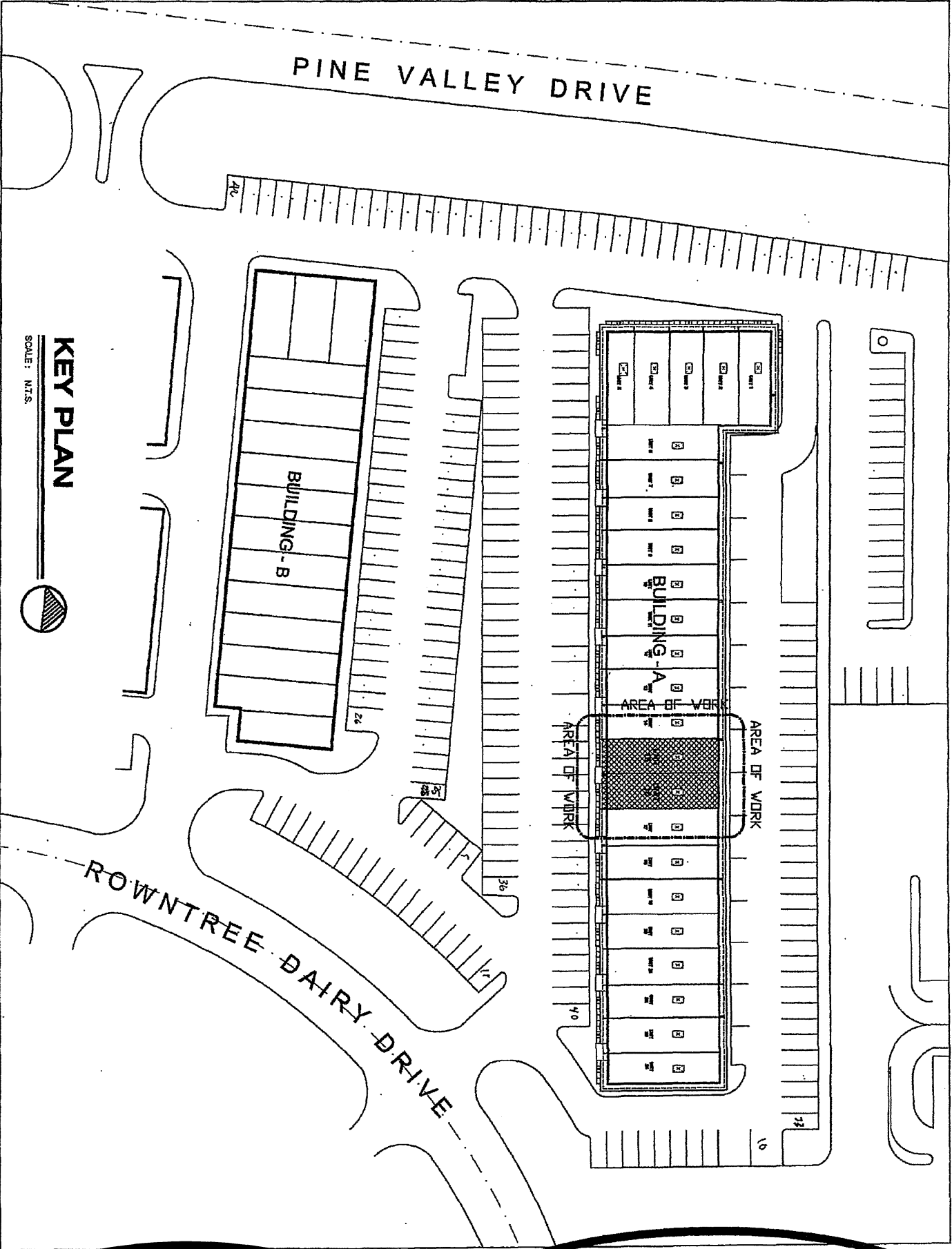
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**CONDITIONS**

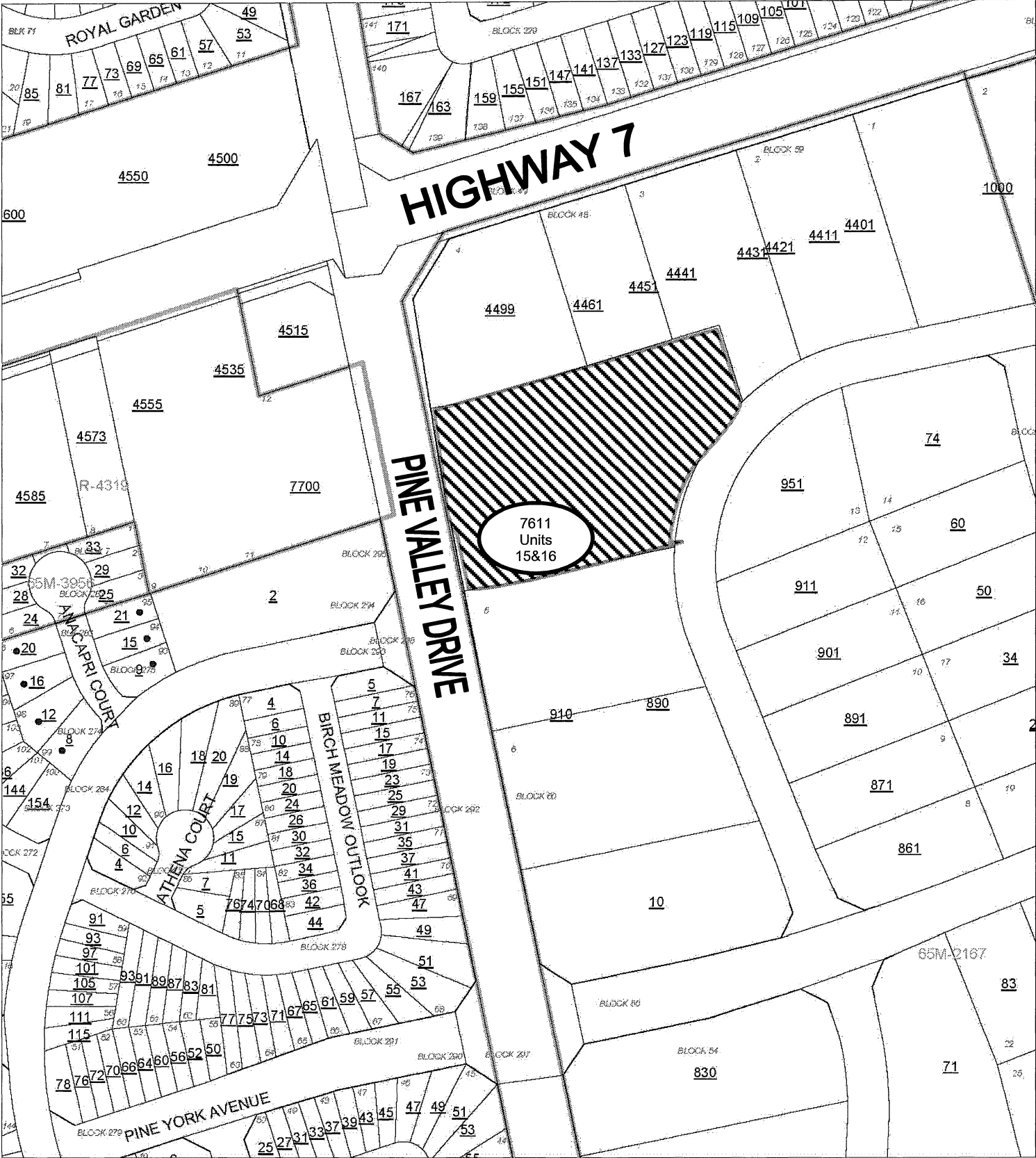
IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:  
**JULY 30, 2015**





To permit a minimum of 259  
parking spaces

To maintain a Place of Worship  
in a multi-unit building



COMMITTEE OF ADJUSTMENT  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A170/14
	APPLICANT:	IGLESIA HISPANA de WOODBRIDGE
		<b>Subject Area</b> Municipally known as 7611 Pine Valley Drive, Units 15 & 16, Woodbridge

# **NOTICE OF DECISION**

## **MINOR VARIANCES**

**FILE NUMBER:** A129/14

**APPLICANT:** SWIFT TURTLE PROPERTIES INC.

**PROPERTY:** Part of Lot 5, Concession 6 (Lots 3 & 4, Registered Plan 65M-2167) municipally known as 7611 Pine Valley Drive, Unit 32, Woodbridge.

**ZONING:** The subject lands are zoned C7, Service Commercial Zone and subject to the provisions of Exception 9(864) under By-law 1-88 as amended.

**PURPOSE:** To permit the construction of a second floor within the unit, as follows:

**PROPOSAL:** 1. To permit minimum 259 parking spaces.

**BY-LAW REQUIREMENT:** 1. Minimum 417 parking spaces are required.

**BACKGROUND INFORMATION:** Other Planning Act Applications  
The land which is the subject in this application was also the subject of another application under the Planning Act:

Consent Applications  
Files B65/02, B66/02 APPROVED – Oct. 24/02, creation of new lot and easement for sanitary, storm and water services.

Minor Variance  
File A078/13 APPROVED - Apr 11/13 - accessory retail to an eating establishment (Unit 14  
File A116/12 - APPROVED - May 3/12 - 259 parking spaces  
File A239/04 APPROVED – Aug. 5/04 – 259 not 280 min parking spaces  
File A039//06 APPROVED - Mar. 22/06 – 259 not 291 min parking spaces (Unit 36)  
File A059//06 APPROVED - Mar. 22/06 – 259 not 299 min parking spaces (Unit 19)  
File A062//06 APPROVED - Mar. 22/06 – 259 not 307 min parking spaces (Unit 13)  
File A075//06 APPROVED - Mar. 22/06 – 259 not 315 min parking spaces (Unit 7)  
File A160//06 APPROVED – Apr 10/06 – 259 not 331 min parking spaces (Unit 10)  
File A295/06 APPROVED – Jul 20/06 – 259 not 339 min parking spaces (Unit 9)  
File A424/06 APPROVED – Oct. 26/06 – 259 not 346 min parking spaces (Unit 31)  
File A433/06 APPROVED – Oct. 26/06 – 259 not 354 min parking spaces (Unit 17)  
File A360//05 APPROVED. – Dec. 8/05 – 259 not 284 min parking spaces (Unit 12)  
Zoning Application File Z.03.007  
Site Plan Amendment File DA.03.001.

Sketches are attached illustrating the request.

**MOVED BY:**

**SECONDED BY:**

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A129/14, SWIFT TURTLE PROPERTIES INC.,** be **APPROVED**, in accordance with the sketches attached

**COMMITTEE OF ADJUSTMENT VARIANCE**

**A129/14**

**THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.**

**CARRIED.**

**CHAIR:** \_\_\_\_\_

Signed by all members present who concur in this decision:

~~ABSENT~~  
\_\_\_\_\_  
A. Perrella,  
Chair

\_\_\_\_\_  
H. Zheng,  
Vice Chair

\_\_\_\_\_  
J. Cesario,  
Member

\_\_\_\_\_  
L. Fluxgold,  
Member

~~ABSENT~~  
\_\_\_\_\_  
M. Mauti,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

\_\_\_\_\_  
Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

**Date of Hearing:**

**MAY 29, 2014**

**Last Date of Appeal:**

**JUNE 18, 2014**

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

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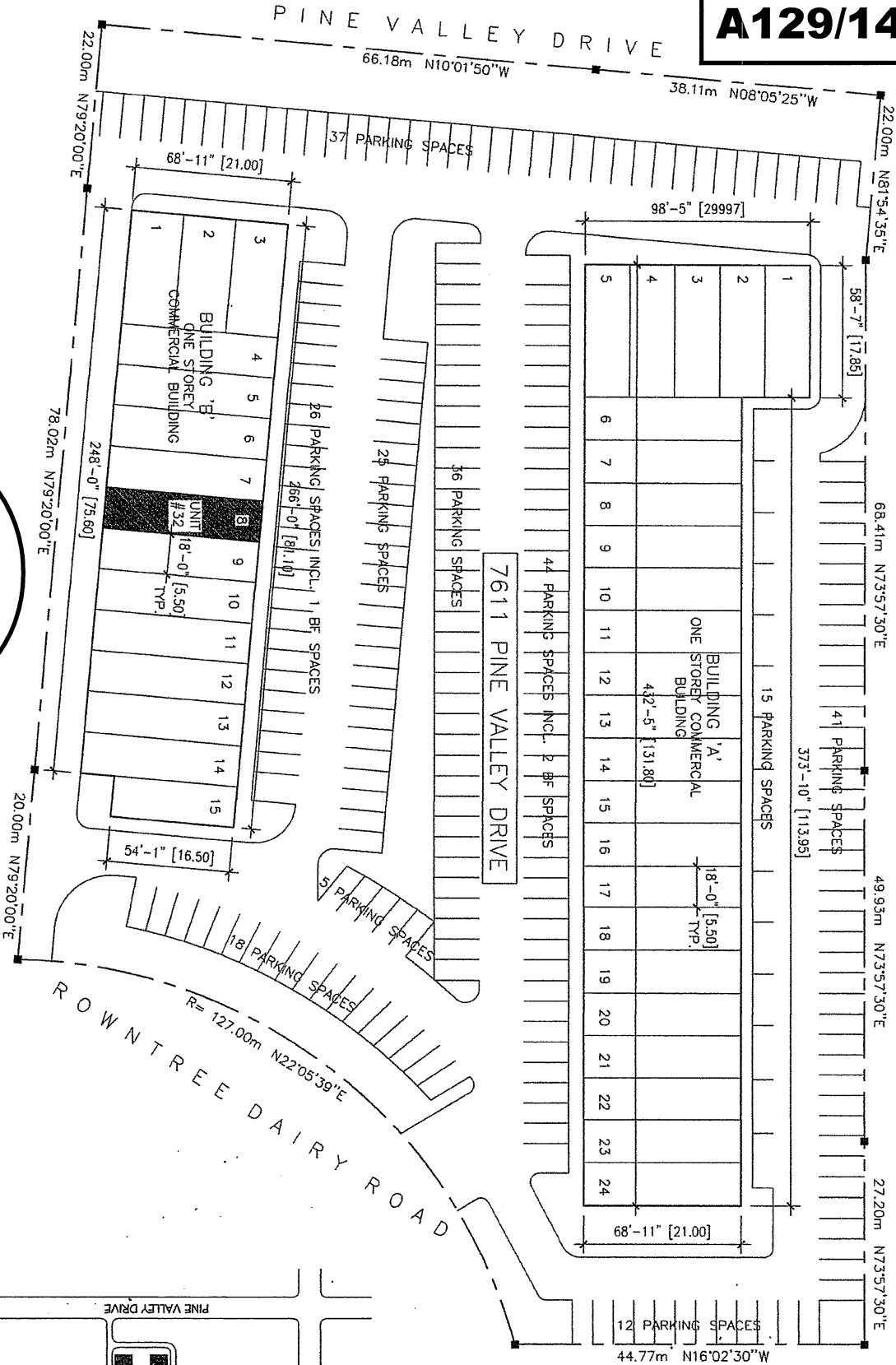
**CONDITIONS**

**IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:**  
**JUNE 18, 2015**

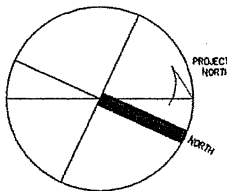


A129/14

HIGHWAY # 7



EXISTING  
PARKING  
SPACES  
= 259



Site Plan

Key Plan

As Shown

N.T.S

Scale: Drawing Sheet A0.3 to 1/2" = 1'

2	14-05-08	For Building Permit	-
1	14-01-23	For review	-
Rev.	Date	Description	Issued By

ORANGEINK DESIGN INC.

44 Agate Crescent  
Toronto, ON  
M9B 5A6

Contact: Tony Diodatti  
416-838-0096  
diodattitony@gmail.com

Minor Variance

Issued By

14-04-28

Issued By

14-003

Issued By

Issued By

Falcone Law

7611 Pine Valley Drive

Unit 32

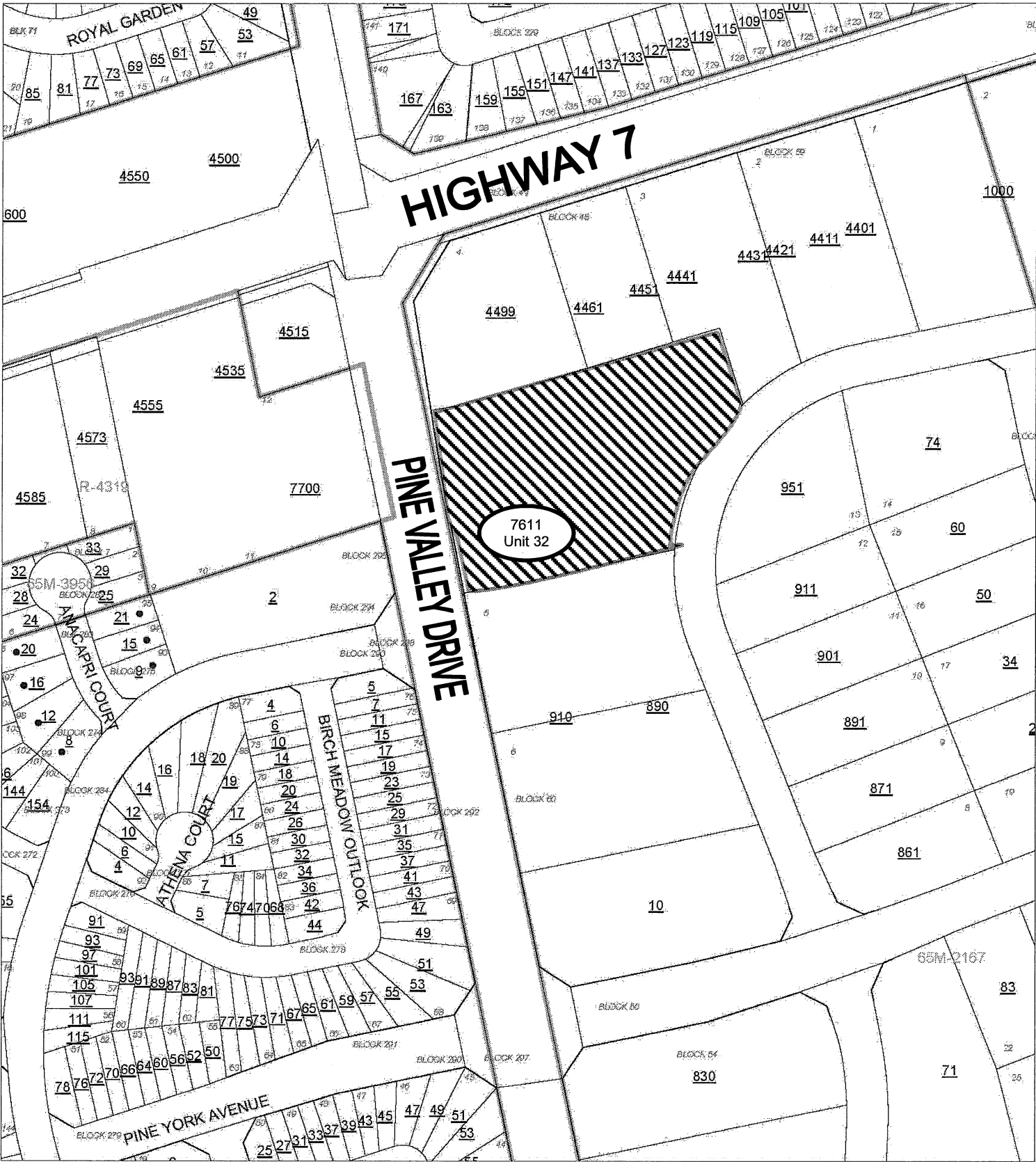
Vaughan, Ont.

Site Plan & Key Plan

Drawing No.

A0.3

Sheet No.



COMMITTEE OF ADJUSTMENT  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A129/14
	APPLICANT:	SWIFT TURTLE PROPERTIES INC.
		<b>Subject Area</b> Municipally known as 7611 Pine Valley Drive, Unit 32, Woodbridge