



File: A101/21

Applicant: Amanda and Michael Cornacchia

Address: 92 Secret Garden Court, Kleinburg

Agent: Angelo Perna

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson  
Hearing Date: Thursday, June 10, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance  
Application

Agenda Item: 18

A101/21

Ward: 1

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Thursday, June 10, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Amanda And Michael Cornacchia

**Agent:** Angelo Perna

**Property:** 92 Secret Garden Court, Kleinburg

**Zoning:** The subject lands are zoned R1 9(1378) and subject to the provisions of Exception under By-law 1-88 as amended

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", subject to Site Specific Policy 13.21: North Humber Extension Area 1.

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana with enclosed pool equipment to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum height of 3.0m is permitted to the nearest part of the roof for the accessory structure (cabana). (4.1.1.b)	1. To permit a maximum height of 3.05m to the nearest part of the roof for the accessory structure (cabana).
2. A minimum rear yard setback of 7.5m is required for the accessory structure (cabana). (schedule 'A')	2. To permit a minimum rear yard setback of 1.2m for the accessory structure (cabana).
3. A maximum encroachment of 1.5m into the rear yard is permitted for the pool equipment. (3.14.H)	3. To permit a maximum rear yard encroachment of 6.30m for the proposed pool equipment.
4. A minimum rear yard soft landscaping of 60% is required for the portion of the rear yard in excess of 135m2. (4.1.2.b)	4. To permit a minimum rear yard soft landscaping of 41.12% (77.73m2) for the portion of the rear yard in excess of 135m2.

**Background (previous applications approved by the Committee on the subject land):** None

For information on the previous approvals listed above please visit [www.vaughan.ca](https://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

**Adjournment History:** None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**  
Public notice was mailed on May 26, 2021

Applicant confirmed posting of signage on May 18, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2018
Cabana	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): To provide additional outdoor space within the rear yard. The proposed cabana design and concept in conjunction with the placement of the pool will not allow compliance with the subject land zoning requirements.

**Adjournment Request:** None

**Building Standards (Zoning Review):**  
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Building Inspections (Septic):**  
No comments or concerns

**Development Planning:**  
Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential", subject to Site Specific Policy 13.21: North Humber Extension Area 1.

The Owner is requesting permission to construct a cabana and enclosed pool equipment with the above-noted variances. The variances requested for the height of 3.05 m and rear yard setback of 1.2 m of the proposed cabana are considered to be minor in nature and are appropriate for the lot. The Development Planning Department does not object to the requested variance for the enclosed pool equipment (Variance 3). The distance measured from the pool equipment to the rear yard line is 1.2 m. The proposed rear yard encroachment and location of the enclosed pool equipment in the rear yard instead of the typical location in the interior side yard further minimizes any drainage or noise impacts on neighbouring dwellings.

The proposed rear yard soft landscaping of 41.12% maintains an appropriate balance of soft and hard landscaping at the rear yard, with soft landscaped areas proposed along the edges of the lot to reduce drainage impacts on adjacent properties. The requested variance also remains consistent with previous approvals in the immediate area. The Committee of Adjustment has previously approved a rear yard soft landscaping of 40% (Minor Variance File A144/19- 106 Endless Circle) and 42% (Minor Variance File A115/19 – 98 Endless Circle).

The Development Engineering Department has no concerns with the reduction of the rear yard landscaping, subject to the Owner demonstrating appropriate LID (Low-Impact Development) measures to the satisfaction of Development Engineering to address the reduced soft landscaping coverage in the rear yard in order to mitigate potential impacts on the municipal storm water system. Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

**Development Engineering:**  
The Development Engineering (DE) Department does not object to variance application A101/21 subject to the following condition(s):

1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for lot grading and/or servicing approval.

- 2. The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage in the rear yard from 60% to 41.12% in order to mitigate potential impacts on the municipal storm water system.
- 3. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.

**Parks Development - Forestry:**

No comments, no conditions.

**By-Law and Compliance, Licensing and Permit Services:**

No comments received to date

**Development Finance:**

No comment no concerns

**Fire Department:**

No comments received to date

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

None

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	<div>1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.</div> <div>2. The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage in the rear yard from 60% to 41.12% in order to mitigate potential impacts on the municipal storm water system.</div> <div>3. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and</div>

	Department/Agency	Condition
		provide a copy of the notification and approval to the City's Development Engineering Department.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**  
**Adriana MacPherson**  
T 905 832 8585 Extension 8360  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

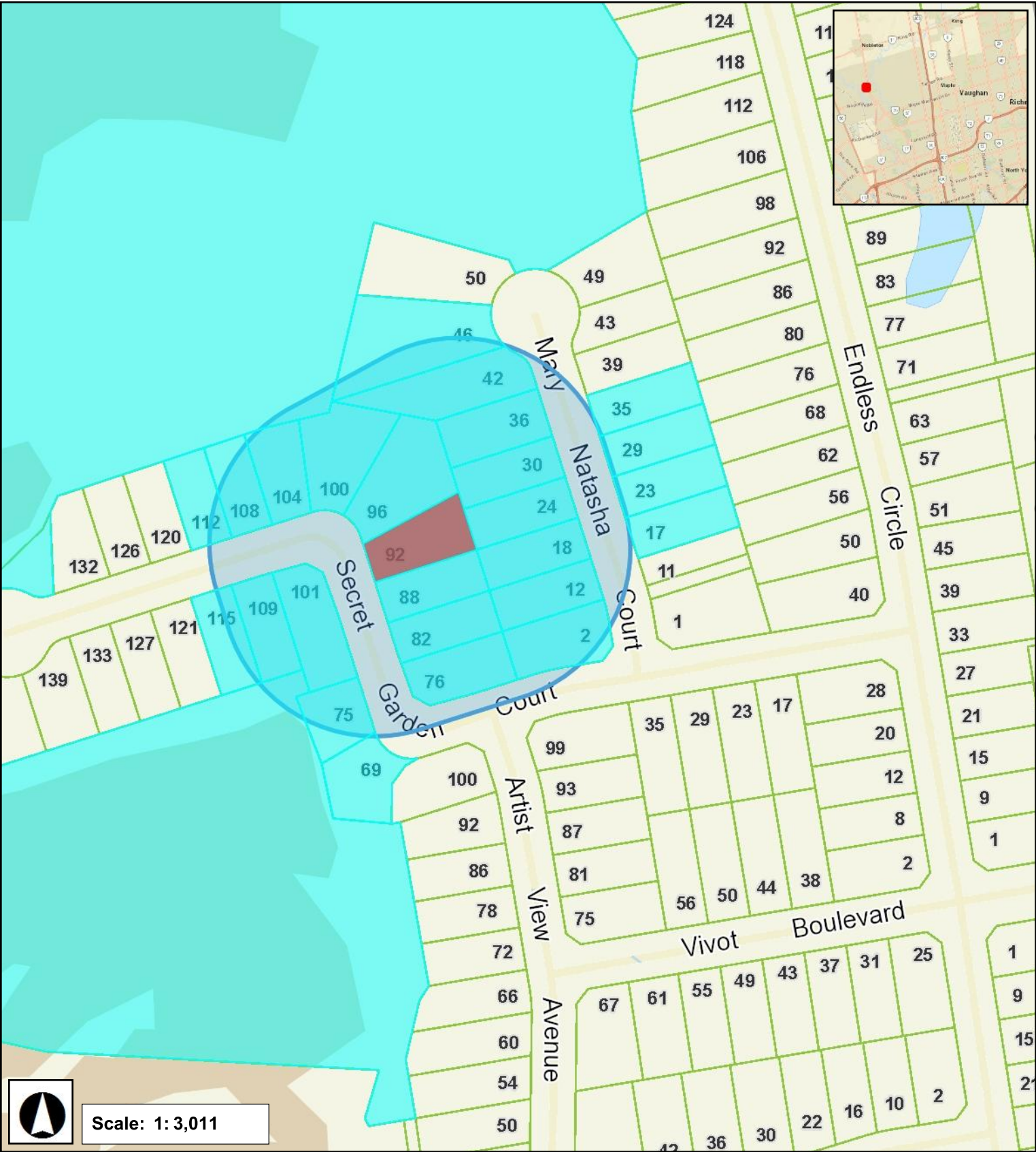
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map  
Plans & Sketches



92 Secret Garden Court, Kleinburg

**Kirby Road**





1. To permit a maximum height of 3.05m to the nearest part of the roof for the accessory structure (cabana).
2. To permit a minimum rear yard setback of 1.2m for the accessory structure (cabana).
3. To permit a maximum rear yard encroachment of 6.30m for the proposed pool equipment.
4. To permit a minimum rear yard soft landscaping of 41.12% (77.73m<sup>2</sup>) for the portion of the rear yard in excess of 135m<sup>2</sup>.

92 SECRET GARDEN COURT KENILWORTH, ON	OWNER TITLE		SITE PLAN		21023 (OPTION 7)	FOLD	21023 (ENC. NO.)	A100
	DRAWING TITLE		DRAWING NO.					
	CHECKED		AP					
	DATE		2021-02-17					
SCALE		AS NOTED		A3		LAST UPDATED:		DRAWINGS REVIEWED: CAD FILE:

SECRET GARDEN CRT.	KEY PL	

## LEGEND

[TF] 100.00	PROPOSED P.N. GRADE
[E] 100.00	EXISTING GRADE
TO 179.00	TOP OF CATCH BASIN
▲	MAN DOOR LOCATIONS
▽	DRIVE-IN GARAGE
C.B.	CATCH BASIN
● S.H.	SANITARY MANHOLE
● S.H.	STORM SEWER MANHOLE
◊ F.H.	FIRE HYDRANT
O R.D.	ROOF DRAIN
[Hatched Box]	REQUIRED BUILDING SETBACK
[Dotted Box]	EXISTING STRUCTURE
[Diagonal Lines Box]	SOFT LANDSCAPE
[Stippled Box]	ASPHALT PAVING

### LEGAL DESCRIPTION

SURVEY INFORMATION: BORN ON THE PLAN  
 PLAT SHOWING TOPOGRAHY, SURVEY OF  
 THE LANDS OF THE COUNTY OF  
 REGISTERED PLAN 100-437  
 REGIONAL MUNICIPALITY OF YORK

RADY-INDEX      W. FARRANT SURVEYING O.L.S.  
 TEL: 416-630-3000

## SITE PLANS

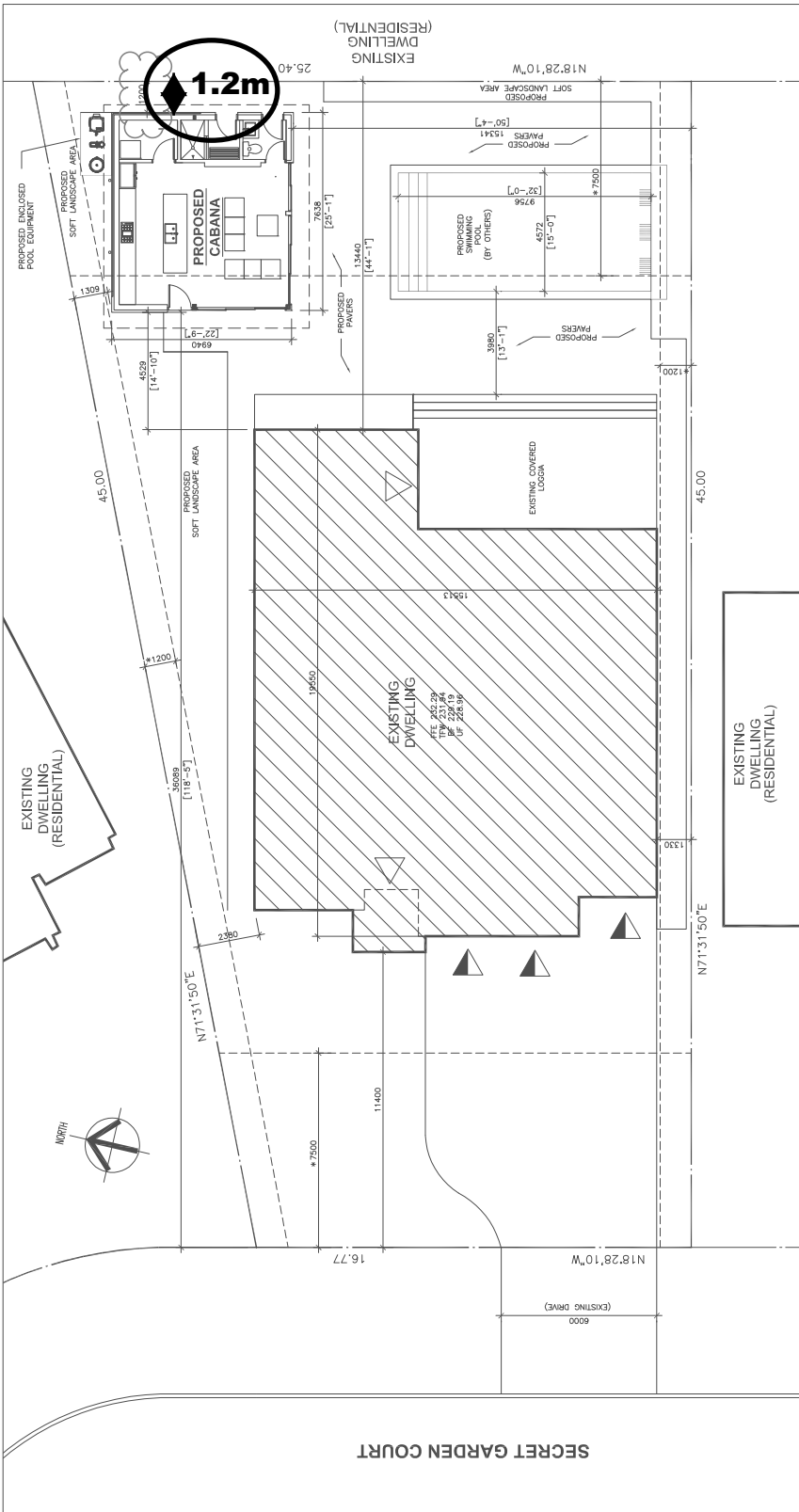
ZONED	R1 (RESIDENTIAL)	948.89 sm	201.43 sm	54.00 sm	315.43 sm	REQUIRED	PROVIDED
LOT AREA						15%	27.55%
EXISTING BUILDING AREA						30% OR 67sm	56.9%
PROPOSED CABANA AREA							
TOTAL							
EXISTING COVERAGE							
PROPOSED COVERAGE							
SETBACKS							
FRONT		7.5m	11.4m				
REAR		7.5m	13.4m				
INTERIOR SIDE YARD		1.2m	1.33m				
INTERIOR SIDE YARD		1.2m	2.38m				
REAR (PROPOSED CABANA)		7.5m	1.20m				
INTERIOR SIDE (PROPOSED CABANA)		1.2m	1.30m				
LANDSCAPE AREA							
REAR YARD AREA							324.00 sm
SOFT LANDSCAPE AREA		113.4 sm				REQUIRED	PROVIDED
		60% (NOTE 1)					

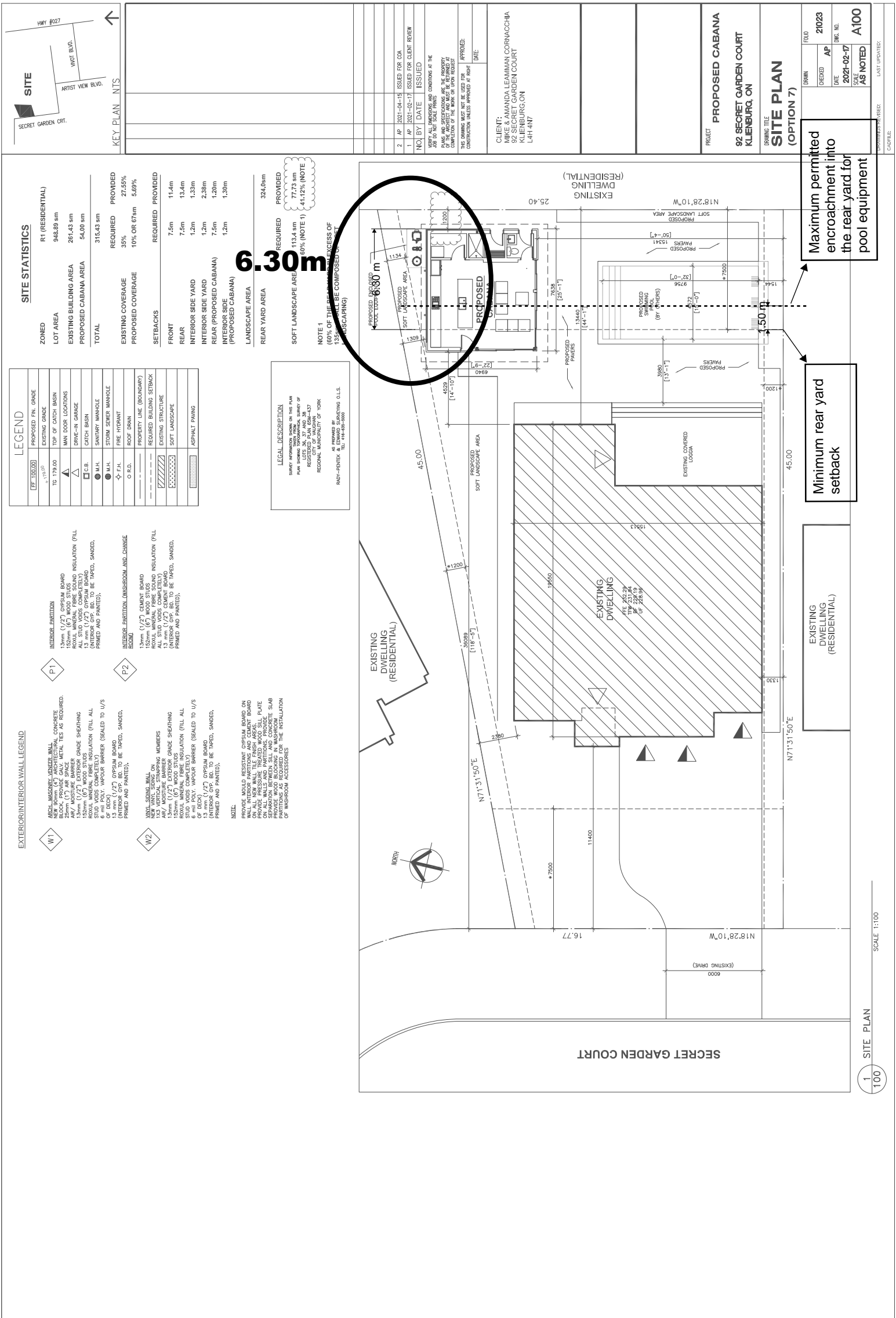
NOTE 1

(60% OF THE REAR YARD IN EXCESS OF 135sm SHALL BE COMPOSED OF SOFT LANDSCAPING)

77.73 sm (NO)

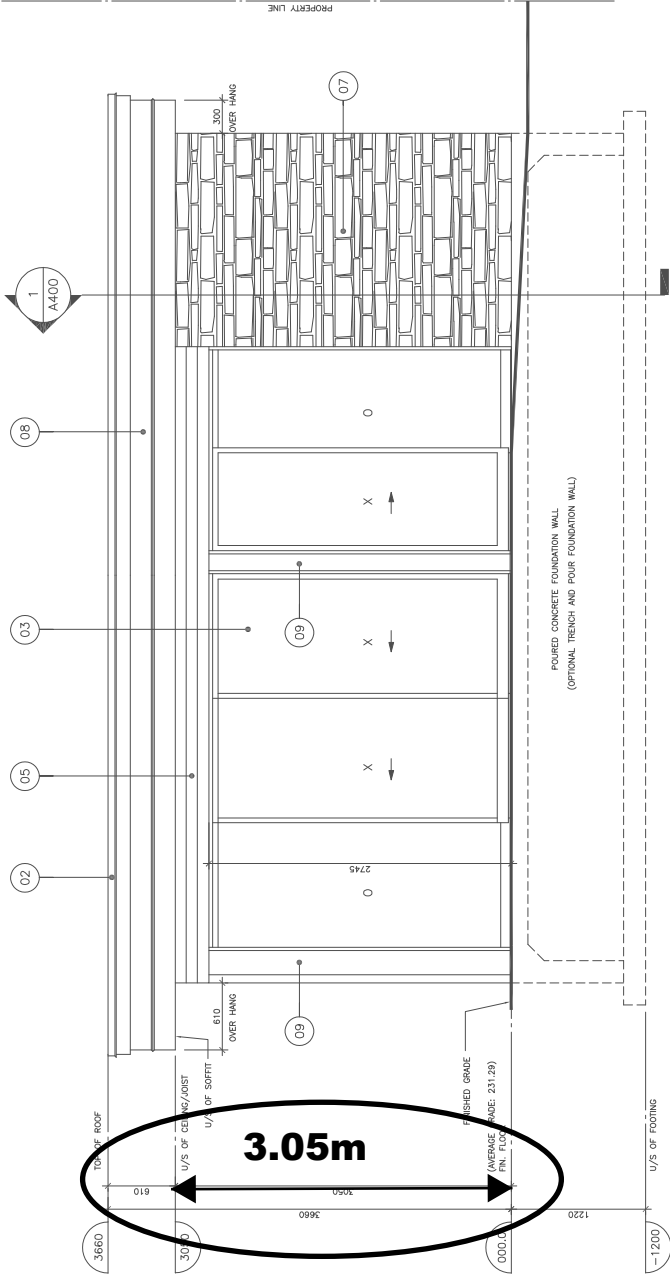
41.12 sm (NO)

[illegible]

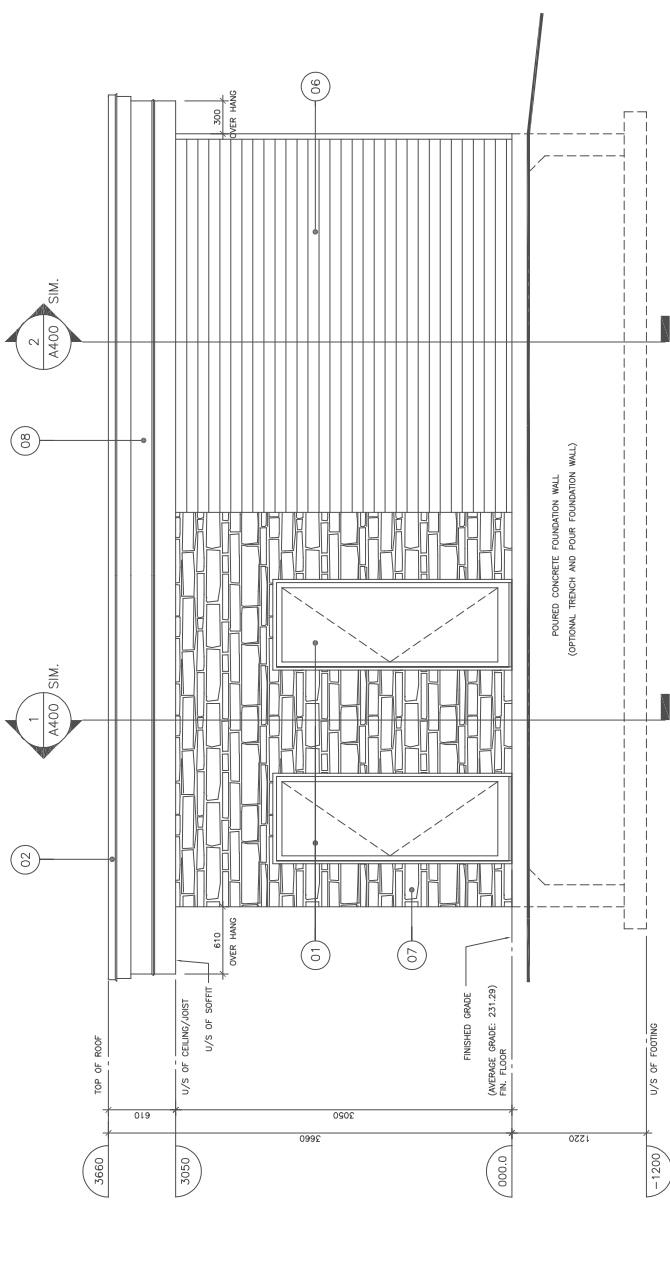


EXTERIOR MATERIALS AND FINISHES LEGEND

- 01 INSULATED FIBERGLASS DOOR AND FRAME
- 02 PREFINISHED METAL CAP FLASHING  
(COLOUR: BLACK)
- 03 PREFINISHED METAL SLIDING DOOR AND FRAME  
DOUBLE GLAZED SEALED UNITS WITH THERMALLY  
BROKEN FRAME (COLOUR: BLACK)
- 04 PREFINISHED METAL DOOR AND FRAME  
DOUBLE GLAZED SEALED UNITS WITH THERMALLY  
BROKEN FRAME (COLOUR: BLACK)
- 05 EXTERIOR PREFINISHED METAL SIDING WITH WOOD  
GRAIN OAK FINISH
- 06 EXTERIOR PREFINISHED VINYL SIDING (COLOUR:  
BLACK)
- 07 ARCHITECTURAL CONCRETE BLOCK VENEER  
(ANTISPLATTER MUDGOWN COLLECTION SLIGHT COMB)
- 08 PREFINISHED METAL FASCH AND TRIM  
(COLOUR: BLACK)
- 09 PREFINISHED METAL COLUMN COVER  
(COLOUR: BLACK)
- 10 ROOF DRAIN SCUPPER AND RAIL  
(COLOUR: BLACK)



1 SOUTH ELEVATION SCALE 1:25



2 EAST ELEVATION SCALE 1:25

KEY PLAN NTS



2	AP	2021-04-15	ISSUED FOR COA
1	AP	2021-02-17	ISSUED FOR CLIENT REVIEW
NO. BY DATE ISSUED			
VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT RIGHT.			
APPROVED:			DATE:

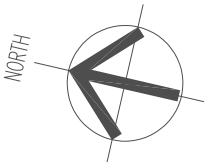
CLIENT:  
MIKE & AMANDA LEAMMAN CORNACCHIA  
92 SECRET GARDEN COURT  
KLEINBURG, ON  
L4H 4N7

PROJECT  
PROPOSED CABANA  
92 SECRET GARDEN COURT  
KLEINBURG, ON

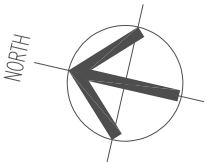
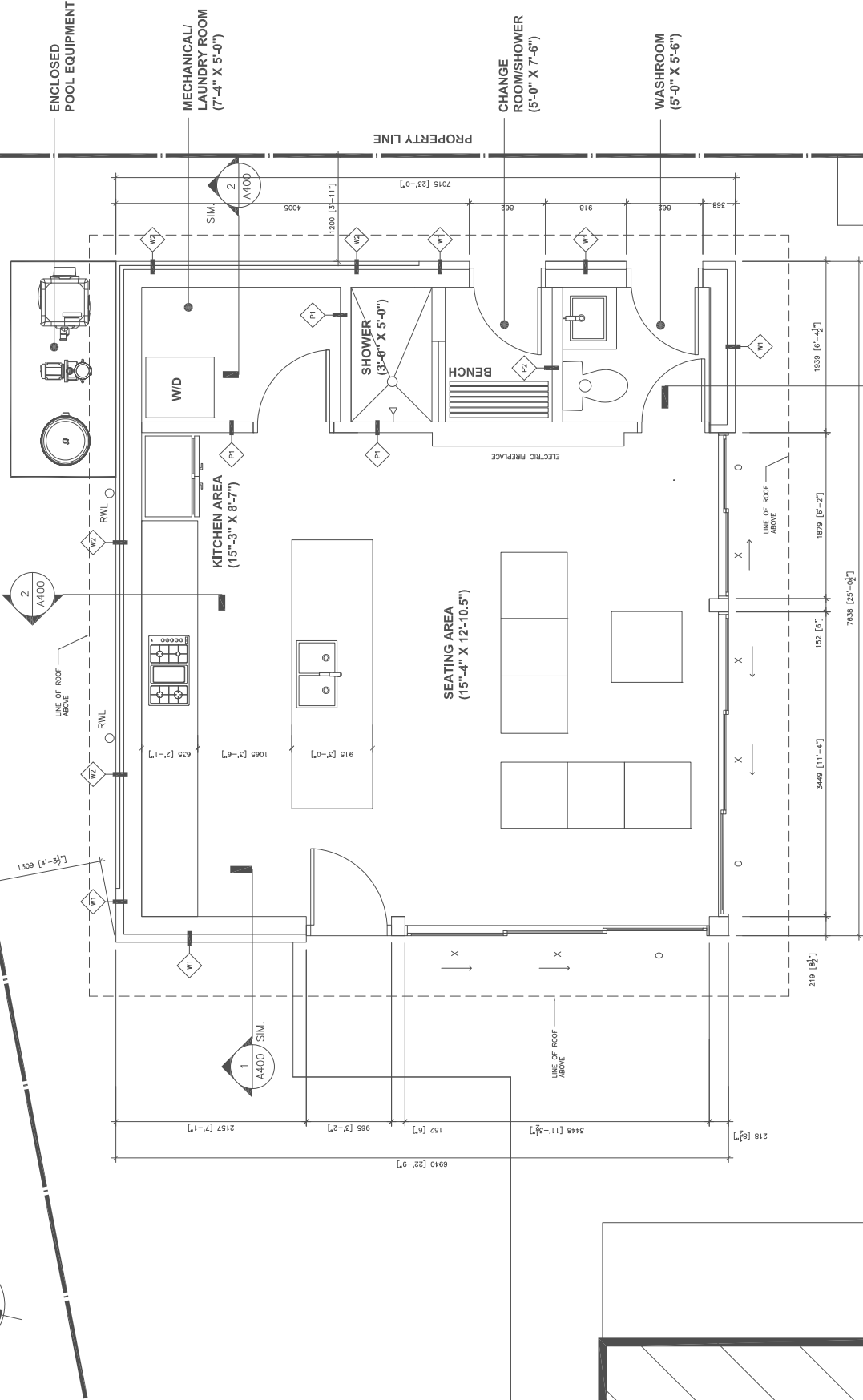
DRAWING TITLE  
ELEVATIONS  
(OPTION 7)

DRAWN	FIELD	
	CHECKED	AP
	DATE	2021-02-17
	SCALE	AS NOTED
DATE		2023
DWG. NO.		A300

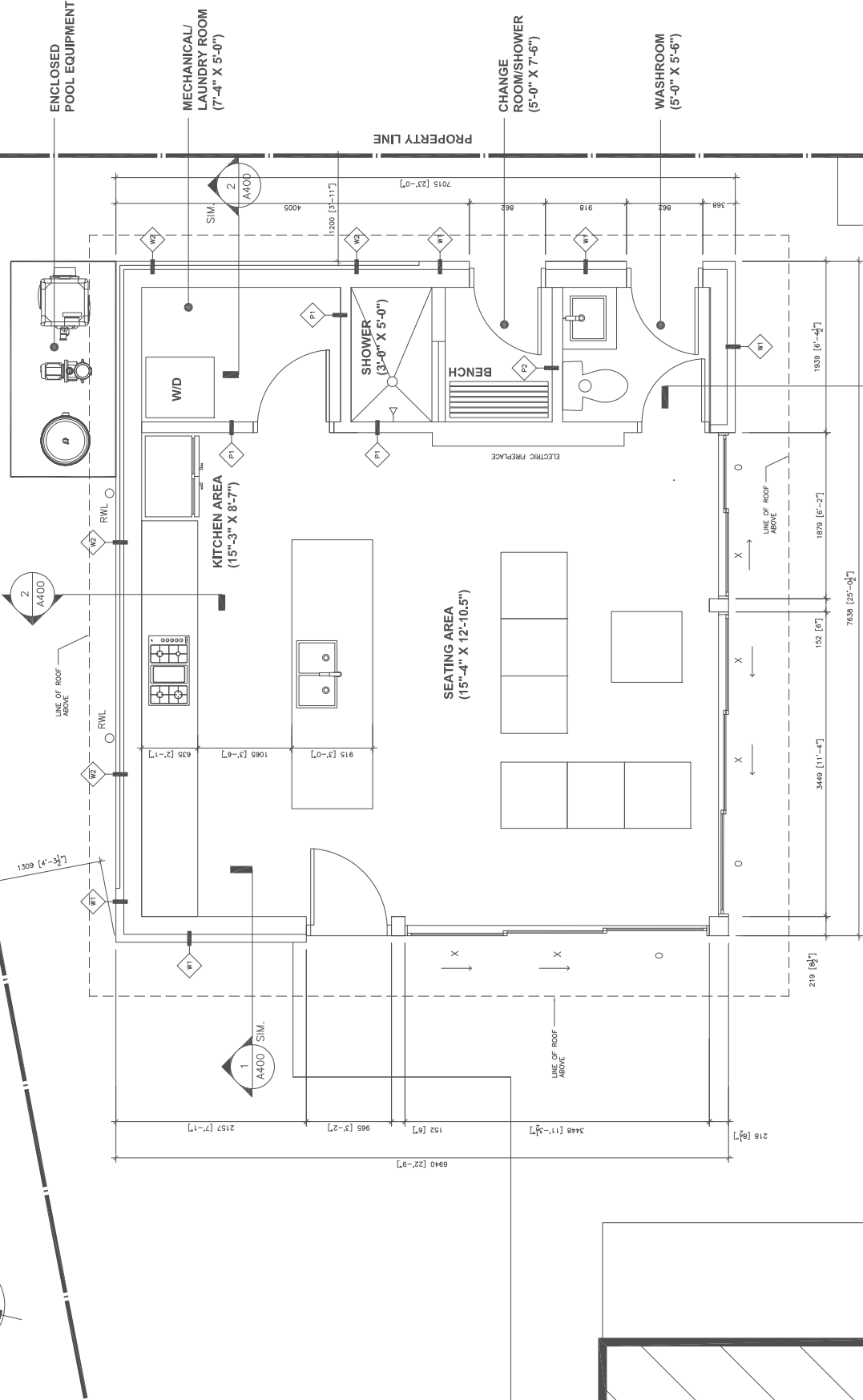
DRAWING REVISION:  
CAPTITLE:  
LAST UPDATED:



PROPERTY LINE



PROPERTY LINE



KEY PLAN NTS

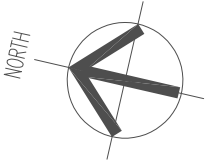
PROJECT		PROPOSED CABANA	
92 SECRET GARDEN COURT		KLEINBURG, ON	
DRAWING TITLE		FLOOR PLAN	
(OPTION 7)			
DRAWN	CHECKED	DATE	SCALE
AP	AP	2021-02-17	AS NOTED
2023			
DRAWING REVISIONS		LAST UPDATED:	
CAPTITLE:			

1	AP	2021-02-17	ISSUED FOR CLIENT REVIEW
2	AP	2021-04-15	ISSUED FOR COA
NOTES:			
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.			
2. THIS DRAWING MUST BE USED FOR CONSTRUCTION UNLESS APPROVED AT RIGHT.			
DATE:			
APPROVED:			
CLIENT:			
MIKE & AMANDA LEAMMAN CORNACCHIA			
92 SECRET GARDEN COURT			
KLEINBURG, ON			
L4H 4M7			

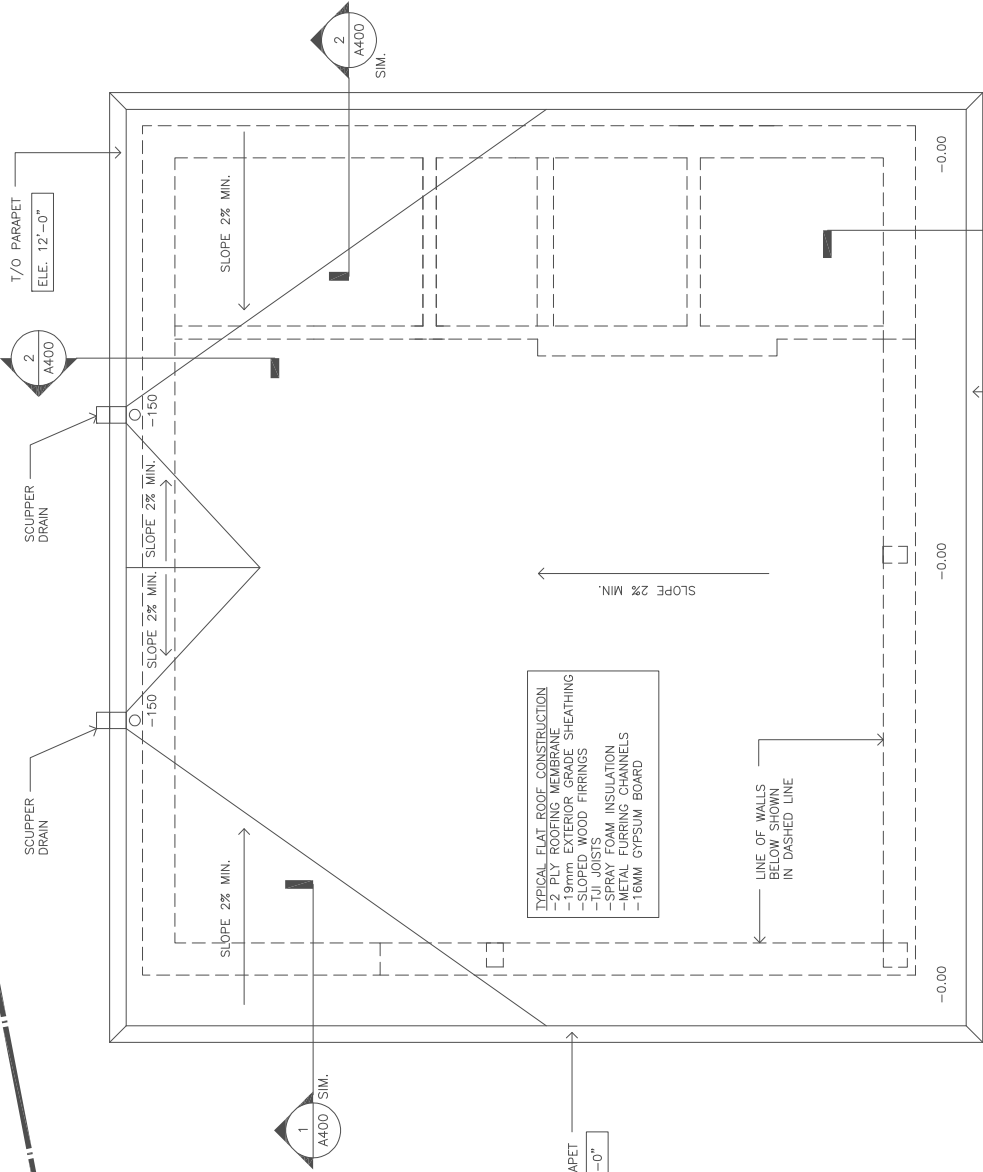
1 FLOOR PLAN

SCALE 1:25

200



PROPERTY LINE



TYPICAL FLAT ROOF CONSTRUCTION  
-2 PLY ROOFING MEMBRANE  
-19mm EXTERIOR GRADE SHEATHING  
-SLOPED WOOD FIRTINGS  
-TJI JOISTS  
-SPRAY FOAM INSULATION  
-METAL FURRING CHANNELS  
-16MM GIPSUN BOARD

SLOPE 2% MIN.

SLOPE 2% MIN.

SLOPE 2% MIN.

SLOPE 2% MIN.

SLOPE 2% MIN.

T/O PARAPET  
ELE. 12'-0"

1  
A400  
SIM.

SCUPPER  
DRAIN

2  
A400

T/O PARAPET  
ELE. 12'-0"

T/O PARAPET  
ELE. 12'-0"

1  
A400

KEY PLAN NTS



2	AP	2021-04-15	ISSUED FOR COA
1	AP	2021-02-17	ISSUED FOR CLIENT REVIEW
NO.	BY	DATE	ISSUED
VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE CLIENT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT RIGHT DATE:			

CLIENT:  
MIKE & AMANDA LEAMMAN CORNACCHIA  
92 SECRET GARDEN COURT  
KLEINBURG, ON  
L4H 4M7

PROJECT  
**PROPOSED CABANA**  
**92 SECRET GARDEN COURT**  
**KLEINBURG, ON**

DRAWING TITLE  
**ROOF PLAN**  
**(OPTION 7)**

DRAWN	CHECKED	DATE	SCALE	FIELD
21023	AP	2021-02-17	AS NOTED	A202

DRAWINGS REVIEWED:  
CADDITILE

1 ROOF PLAN

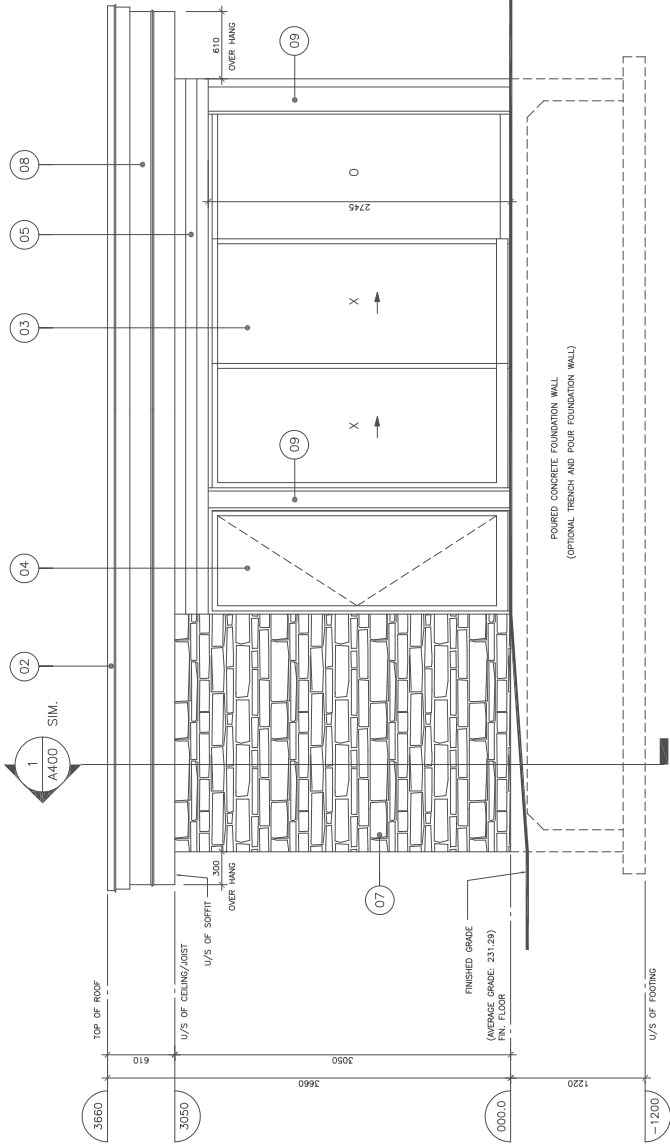
SCALE 1:25

202



EXTERIOR MATERIALS AND FINISHES LEGEND

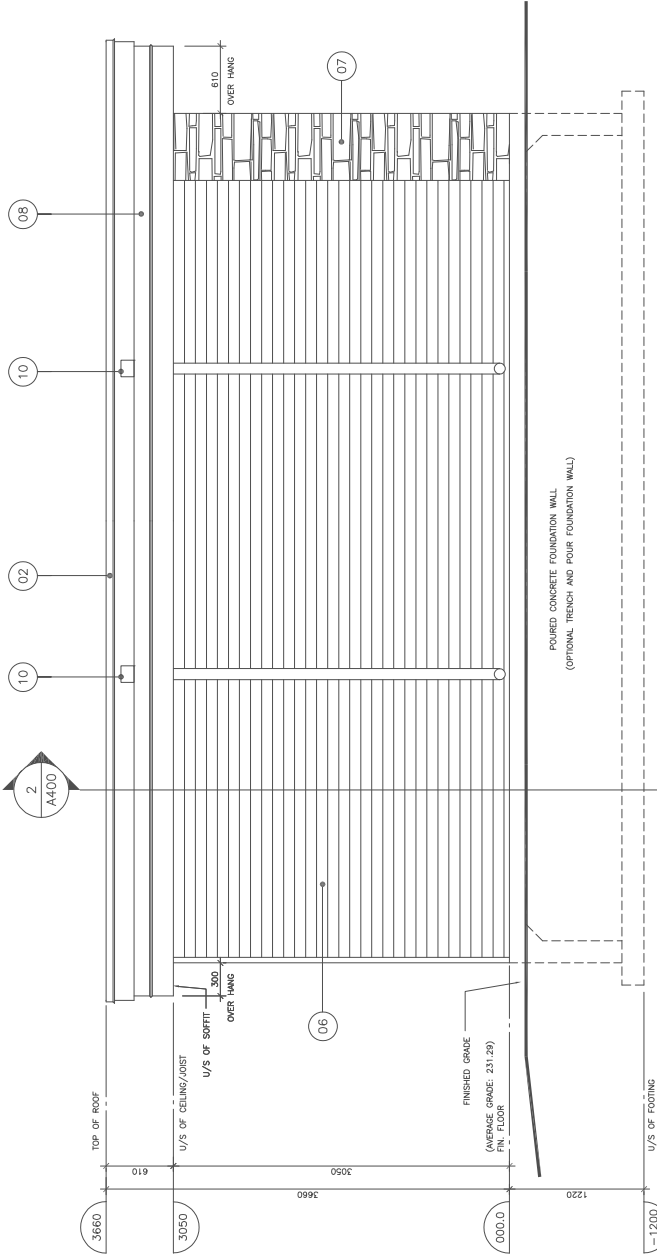
- 01 INSULATED FIBERGLASS DOOR AND FRAME (COLOUR: BLACK)
- 02 PREFINISHED METAL CAP FLASHING (COLOUR: BLACK)
- 03 PREFINISHED METAL SLIDING DOOR AND FRAME DOUBLE GLAZED SEALED UNITS WITH THERMALLY BROKEN FRAME (COLOUR: BLACK)
- 04 PREFINISHED METAL DOOR AND FRAME DOUBLE GLAZED SEALED UNITS WITH THERMALLY BROKEN FRAME (COLOUR: BLACK)
- 05 EXTERIOR PREFINISHED METAL SIDING WITH WOOD GRAIN OAK FINISH
- 06 EXTERIOR PREFINISHED VINYL SIDING (COLOUR: BLACK)
- 07 ARCHITECTURAL CONCRETE BLOCK VENEER (FINISHSOFT 1100/20N COLLECTION-BLACK CM6)
- 08 PREFINISHED METAL FASCIA AND TRIM (COLOUR: BLACK)
- 09 PREFINISHED METAL COLUMN COVER (COLOUR: BLACK)
- 10 ROOF DRAIN SCUPPER AND RAIL (COLOUR: BLACK)



1 WEST ELEVATION

SCALE 1:25

301



2 NORTH ELEVATION

SCALE 1:25

301

KEY PLAN NTS



2 AP 2021-04-15 ISSUED FOR COA

1 AP 2021-02-17 ISSUED FOR CLIENT REVIEW

NQ BY DATE ISSUED

VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE ARCHITECT. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT RIGHT.

APPROVED:

DATE:

CLIENT:  
MIKE & AMANDA LEAMMAN CORNACCHIA  
92 SECRET GARDEN COURT  
KLEINBURG, ON  
L4H 4M7

PROJECT

PROPOSED CABANA

92 SECRET GARDEN COURT  
KLEINBURG, ON

DRAWING TITLE  
ELEVATIONS  
(OPTION 7)

DRAWN	FILED
CHECKED	2023
AP	AP
DATE	2021-02-17
SCALE	AS NOTED
A301	

DRAWINGS REVIEWED:

CADFILE:

SCALE 1:25



AS NOTED	
DRAWINGS REVISED:	LAST UPDATED:
CADFILE:	

CEILING FINISH LEGEND

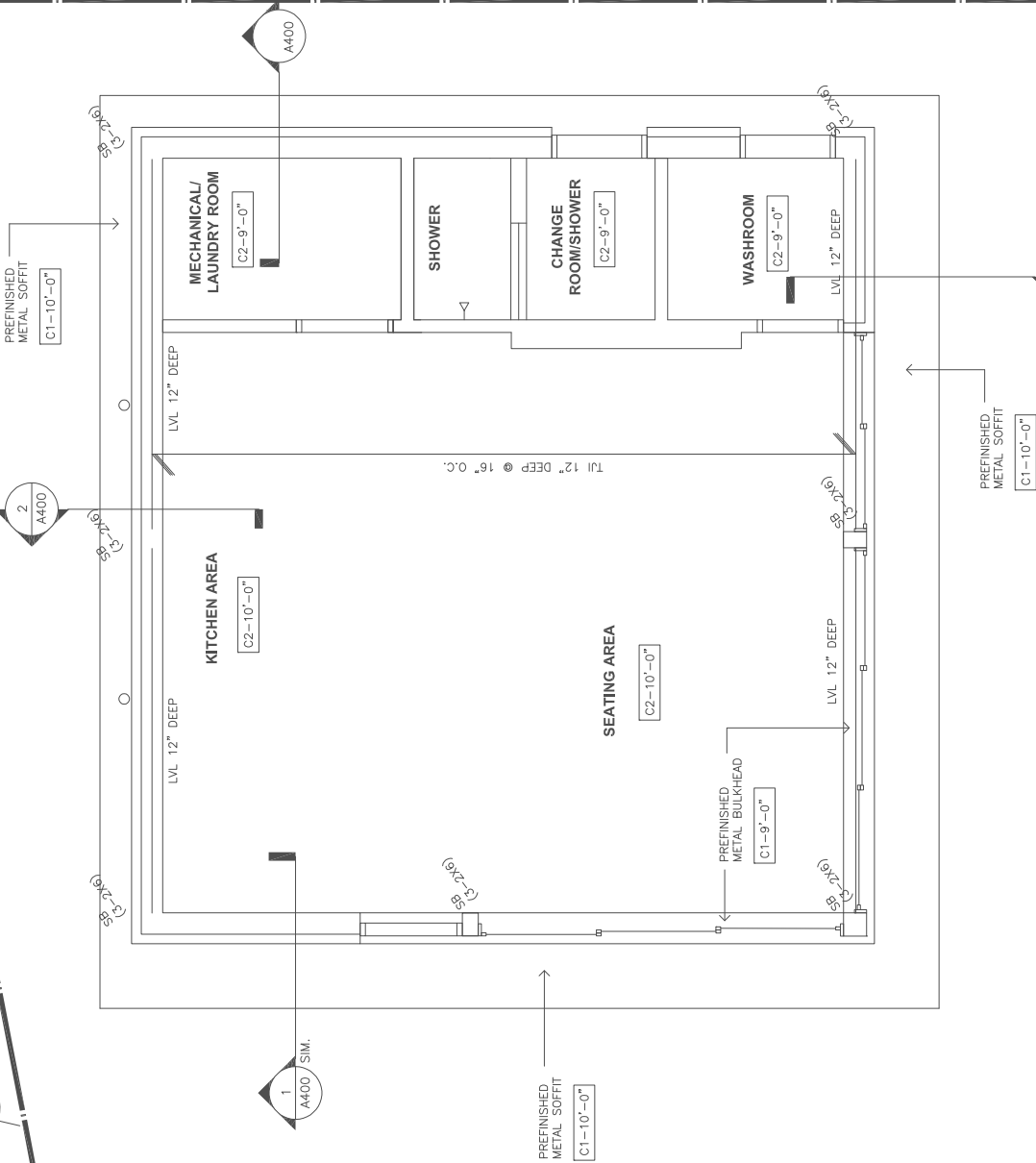
**C1** PREFINISHED METAL GRING WITH GRY GRANN FINISH ON METAL FLUORING AS REQUIRED (REFER TO MANUFACTURES SPECIFICATION FOR INSTALLATION)

**C2** 18 mm (5/8") OPSUM BOARD ON METAL FLUORING AS REQUIRED (REFER TO MANUFACTURES SPECIFICATION FOR PRIME AND PAINTED)

NOTE:  
PROVIDE MOULD RESISTANT OPSUM BOARD ON CEILING INTERIORS.

NORTH

PROPERTY LINE



KEY PLAN NTS



2	AP	2021-04-15	ISSUED FOR COA
1	AP	2021-02-17	ISSUED FOR CLIENT REVIEW
NO. BY DATE ISSUED			
VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO COMMENCEMENT OF THE WORK. ANY CHANGES TO THE WORK OR UPON REQUEST, THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT RIGHT.			
DATE:			

CLIENT:  
MIKE & AMANDA LEAMMAN CORNACCHIA  
92 SECRET GARDEN COURT  
KLEINBURG, ON  
L4H 4M7

PROJECT  
**PROPOSED CABANA**  
**92 SECRET GARDEN COURT**  
**KLEINBURG, ON**

DRAWING TITLE  
**CEILING PLAN**  
**(OPTION 7)**

DRAWN	FIELD	
	CHECKED	21023
	DATE	AP
	DATE	2021-02-17
SCALE		AS NOTED
DRAWING NUMBER		A201

DRAWING NUMBER: LAST UPDATED: CADFILE:

**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None**

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections  
Region of York – No concerns or objections



**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## MacPherson, Adriana

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**Subject:** FW: Request for Comments: A101/21 (92 Secret Garden, Kleinburg)

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** May-26-21 2:42 PM

**To:** MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: Request for Comments: A101/21 (92 Secret Garden, Kleinburg)

Good afternoon Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877  
464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)