



File: A092/21

Applicant: Ziad Salmo and Noor Nadhim

Address: 29 Naylor Street, Maple

Agent: Epic Designs Inc

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Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

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Background History: None

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Staff Report Prepared By: Adriana MacPherson  
Hearing Date: Thursday, June 10, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



**Minor Variance  
Application**

Agenda Item: 14

**A092/21**

Ward: 1

**Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer**

**Date & Time of Live Stream Hearing:** Thursday, June 10, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Ziad Salmo and Noor Nadhim

**Agent:** Epic Designs Inc

**Property:** **29 Naylor Street, Maple**

**Zoning:** The subject lands are zoned R1V under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed single family dwelling, covered patio and cabana. The existing single family dwelling and metal shed are to be demolished.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum front yard setback of 13.7 metres is required (Schedule A, By-law 1-88a.a.)	1. To permit a minimum front yard setback of 9.13 metres.
2. A maximum lot coverage of 20.0% is permitted (Schedule A, By-law 1-88a.a.)	2. To permit a maximum lot coverage of 24.2% [Dwelling 21.9% (312.6 sq.m), Cabana and Covered Patio 2.3% (33.4 sq.m)].
3. A minimum rear yard setback of 7.5 metres to the proposed Cabana is required (Schedule A, By-law 1-88a.a.)	3. To permit a minimum rear yard setback of 4.07 metres to the proposed Cabana.
4. A maximum encroachment of 0.5 metres for the proposed roof overhang is permitted (Section 3.14, By-law 188a.a.)	4. To permit a maximum encroachment of 0.60 metres for the proposed roof overhang (Section 3.14, By-law 188a.a.)

**Background (previous applications approved by the Committee on the subject land):** None

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

**Adjournment History:** None

## Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

### Committee of Adjustment:

Public notice was mailed on May 26, 2021

Applicant confirmed posting of signage on May 20, 2021

Existing Structures	Property Information	Year Constructed
Dwelling	1956 (to be demolished and new dwelling TBC)	
Cabana/ Covered Patio	TBC	
Shed	To be demolished	

Applicant has advised that they cannot comply with By-law for the following reason(s): Does not comply with covered for the lot zones as R1V

**Adjournment Request:** None

### Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

### Building Inspections (Septic):

No comments or concerns

### Development Planning:

Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"

The Owner is requesting permission to construct a two-storey single-family dwelling with an attached garage and cabana in the rear. The dwelling occupies 21.19%, while the remaining 2.3% is split between the cabana and covered patio, which is a slight increase and works towards upholding the general intent and purpose of Zoning By-law 1-88. The variances are minor in nature and will not impact the surrounding lots. In support of the application, the Owner submitted an Arborist Report, prepared by Davey Resource Group dated March 22, 2021 and reviewed by Urban Design staff who are satisfied. Additionally, Forestry and Horticulture Operations staff confirmed that a total of 12 replacements trees are required for this project.

The Development Planning Department is of the opinion the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

### Development Engineering:

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for the pool permit.

The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert.

The Development Engineering (DE) Department does not object to variance application A092/21 subject to the following condition(s):

The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for lot grading and/or servicing approval.

**Parks Development - Forestry:**

Recommended conditions of approval:

1. Owner/Applicant must obtain a private property tree removal/protection permit from the Forestry Division of Parks, Forestry & Horticulture Department.
2. Owner/Applicant must install approved hoarding prior to the start of any construction on the property, hoarding must be inspected and approved by the Forestry Division.

**By-Law and Compliance, Licensing and Permit Services:**

No comments received to date

**Development Finance:**

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

**Fire Department:**

No comments received to date

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

None

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No objection, no conditions

York Region – No objection, no conditions

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	<b>Department/Agency</b>	<b>Condition</b>
1	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pa">https://www.vaughan.ca/services/residential/dev_eng/permits/Pa</a>

	Department/Agency	Condition
		<a href="#">ges/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations Patrick Courchesne  905-832-8585 x 3617 <a href="mailto:Patrick.Courchesne@vaughan.ca">Patrick.Courchesne@vaughan.ca</a>	1. Owner/Applicant must obtain a private property tree removal/protection permit from the Forestry Division of Parks, Forestry & Horticulture Department. 2. Owner/Applicant must installed approved hoarding prior to the start of any construction on the property, hoarding must be inspected and approved by the Forestry Division.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Notice to the Applicant – Development Charges**

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**  
**Adriana MacPherson**  
T 905 832 8585 Extension 8360  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

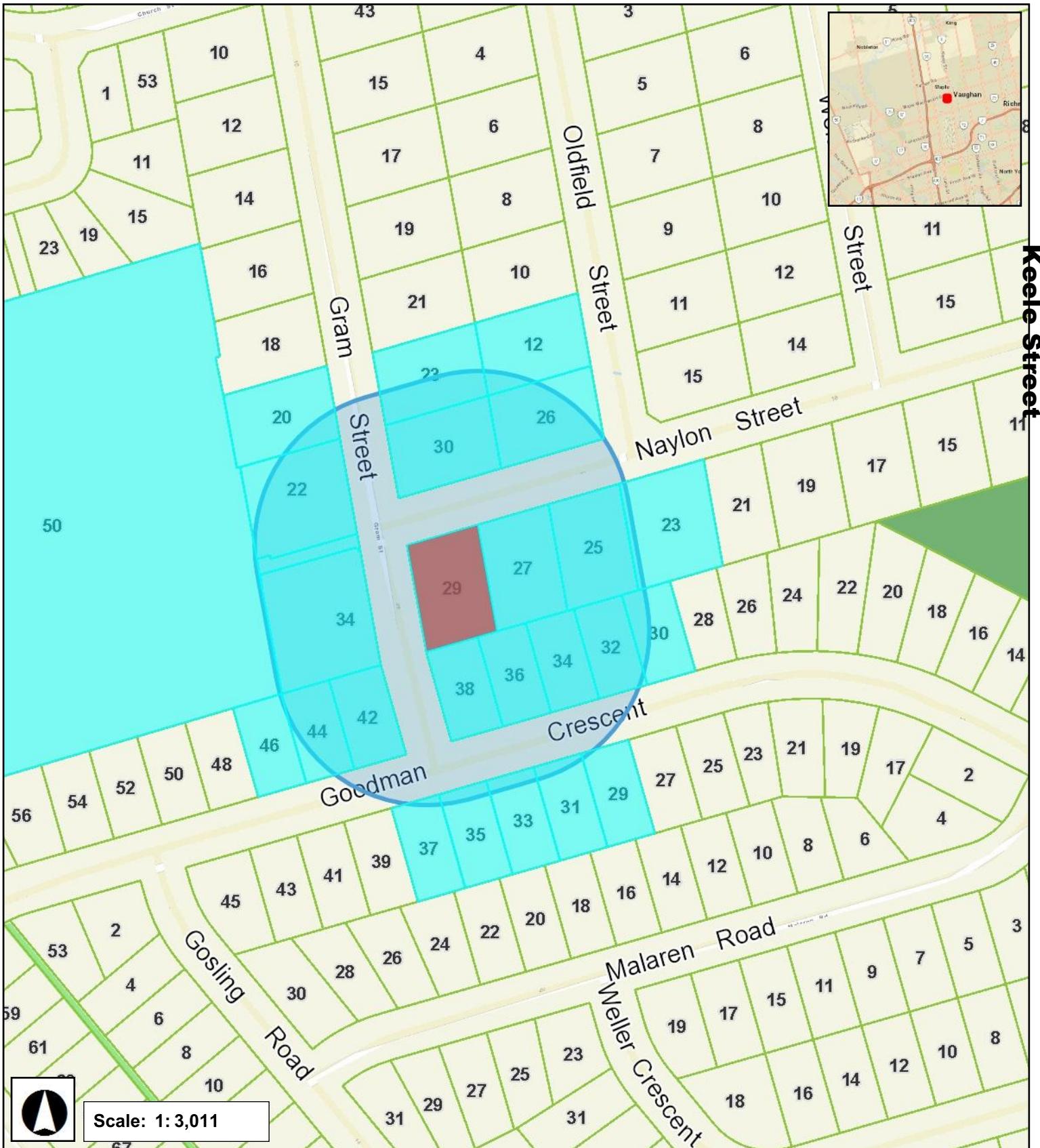
## **Schedule A: Plans & Sketches**

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

**Location Map  
Plans & Sketches**

29 Naylor Street, Maple

**Major Mackenzie Drive**



Scale: 1:3,011

**Proposal:**

1. To permit a minimum front yard setback of 9.13 metres.
2. To permit a maximum lot coverage of 24.2% [Dwelling 21.9% (312.6sq.m), Cabana and Covered Patio 2.3% (33.4sq.m)].
3. To permit a minimum rear yard setback of 4.07 metres to the proposed Cabana.
4. To permit a maximum encroachment of 0.6 metres for the proposed roof overhang (Section 3.14, By-law 188a.a.).

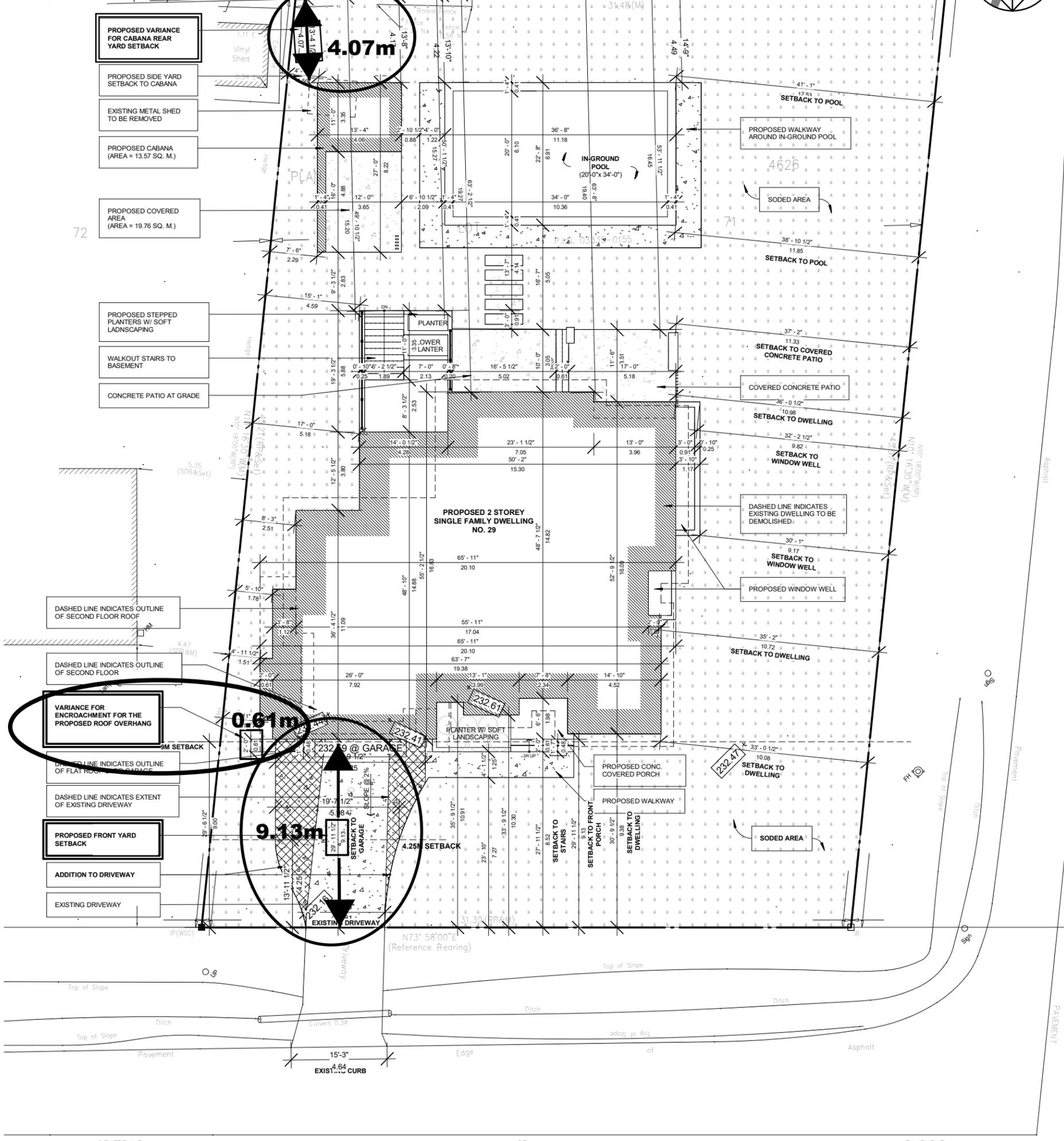
PROJECT NORTH TRUE NORTH



REGISTERED PLAN 4626  
CITY OF TORONTO  
(FORMERLY MUNICIPALITY OF YORK)

CREATED BY: GREATER TORONTO ACRES SURVEYING INC.

FEBRUARY, 10 2021



N A Y L O N S T R E E T

**1**  
**A1.1** **SITE PLAN - PROPOSED**  
SCALE: 1:200

(by Registered Plan 4626)

P.I.N. 03335-0141

257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4.3.(5) Division C of the building code

MARCO VIEIRA  
NAME SIGNATURE 25562 BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.7. Division C of the building code

EPIC DESIGNS INC.  
FIRM NAME 30118 BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION

PROJECT:  
PROPOSED 2 STOREY SINGLE FAMILY DWELLING

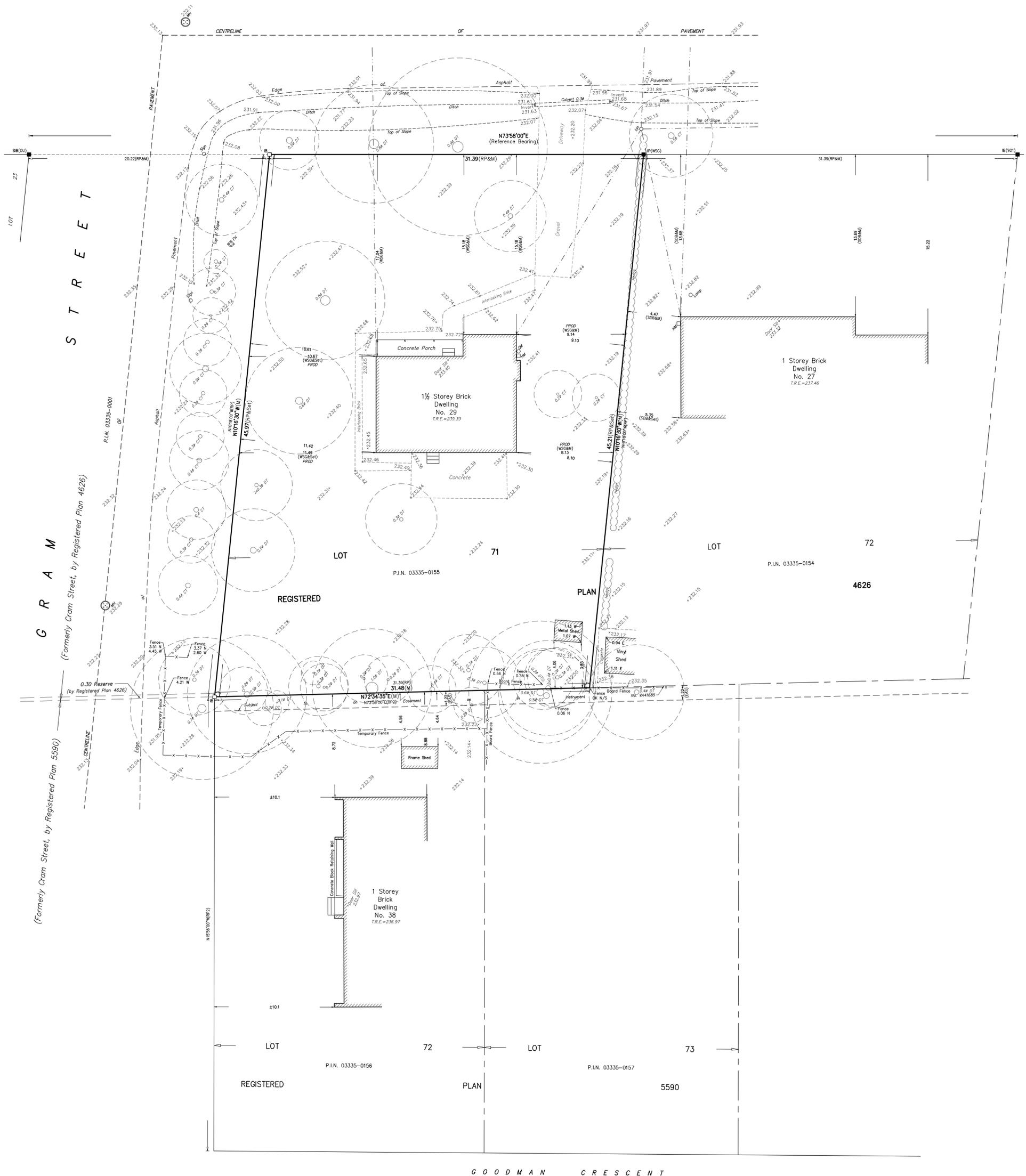
DRAWING SITE PLAN- PROPOSED	
SCALE: As indicated	DRAWN BY: P. SANTOS
DATE: APRIL' 2021	APPROVED BY: M.V.
PROJECT No. 2021-03	DRAWING No. A1.1



# NAYLON STREET

(by Registered Plan 4626)

P.I.N. 03335-0141



**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 8th DAY OF FEBRUARY, 2021.

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
**V-10534**

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29(3).

**LEGEND**

- DENOTES SURVEY MONUMENT SET
- RP SURVEY MONUMENT FOUND
- RP2 REGISTERED PLAN 5590
- N.S.E.W. NORTH-SOUTH-EAST, WEST
- M MEASURED
- IB IRON BAR
- IP IRON PIPE
- SIB STANDARD IRON BAR
- OU ORIGIN UNKNOWN
- PROD ON PRODUCTION
- EAS EASEMENT
- SDB PLAN BY SCHAEFFER DZALDOV BENNETT LTD., O.L.S., DATED JULY 8, 2015
- WSG PLAN BY W.S. GIBSON & SONS, O.L.S., DATED JULY 4, 1956

**LEGEND Continued**

- 921 DENOTES P. SALNA, O.L.S.
- P.I.N. PROPERTY IDENTIFIER NUMBER
- CT OVERHEAD WIRES & UTILITY POLE
- CT CONIFEROUS TREE
- DT DECIDUOUS TREE
- FH FIRE HYDRANT
- GM GAS METER
- HM HYDRO METER
- MH MANHOLE
- UP UTILITY POLE
- T.R.E. TOP OF ROOF ELEVATION

**METRIC**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**ELEVATION NOTE**

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE YORK REGION BENCHMARK NO. DCXXIX, HAVING A PUBLISHED ELEVATION OF 216.92 METRES

**BEARING NOTE**

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH LIMIT OF NAYLON STREET, HAVING A BEARING OF N73°58'00"E ACCORDING TO REGISTERED PLAN 4626

THIS PLAN WAS PREPARED FOR EPIC DESIGNS INC.

**PART 2 - SURVEY REPORT**

- 1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES
- 2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: NONE
- 3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

**GTA**  
 Greater Toronto Acres  
 SURVEYING Inc.  
 7003 Steeles Ave. West, Unit 12, Toronto ON M9W 0A2  
 Tel: (416) 679-0572  
 E-MAIL: jw@gtasurveying.ca

FEBRUARY 10, 2021  
 DATE

*[Signature]*  
 ANDRZEJ WALCZAK  
 ONTARIO LAND SURVEYOR

DRAWN: M.C. CHECKED: P.W. PROJECT 21010

**SITE STATISTICS:**

ZONED AS R1V

	m2	(SQ. FT.)
LOT AREA =	1424.30	15,331.02
LOT FRONTAGE =	31.39 m	103'-8"

MIN. LOT FRONTAGE =	30 m	98'-5"
MIN. FRONT YARD =	9 m	29'-6.5"
MIN. REAR YARD =	7.5 m	24'-7.5"
MIN. INTERIOR SIDE YARD =	1.5 m	4'-11"
MAX. BUILDING HEIGHT =	9.5 m	31'-2"

**LOT COVERAGE:**

	m2	(SQ. FT.)	
PROPOSED DWELLING =	272.81	2,936.50	
PROP. COVERED CONC. PORCH (FRONT) =	5.18	55.76	
PROP. COVERED CONC. PATIO (REAR) =	34.59	372.32	
PROPOSED CABANA + COVERED PATIO =	33.38	359.30	
<b>PROPOSED COVERAGE =</b>	<b>345.96</b>	<b>3,364.58</b>	<b>24.29%</b>

<b>MAX. ALLOW COVERAGE =</b>	<b>284.86</b>	<b>3,066.20</b>	<b>20%</b>
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**PROPOSED G.F.A.:**

PROPOSED FIRST FLOOR =	213.27	2,295.62	
PROPOSED SECOND FLOOR =	227.22	2,445.77	
<b>PROPOSED G.F.A. =</b>	<b>440.49</b>	<b>4,741.39</b>	<b>30.93%</b>

**ACCESSORY STRUCTURE LOT COVERAGE:**

PROPOSED CABANA =	13.57	359.30	
PROPOSED COVERED AREA =	19.76	3,364.58	
<b>PROPOSED ACCESSORY STRUCTURE =</b>	<b>33.33</b>	<b>3,723.88</b>	<b>2.34%</b>

**FRONT YARD LANDSCAPE:**

	m2	(SQ. FT.)	
FRONT YARD AREA =	302.43	3,255.33	
PROP. DRIVEWAY =	54.13	582.65	
PROP. COVERED CONC. PORCH (FRONT) =	5.18	55.76	
PROP. WALKWAY =	9.21	99.14	
<b>PROPOSED FRONT YARD LANDSPACE (SOFT) =</b>	<b>233.91</b>	<b>2,517.78</b>	<b>77.34%</b>

<b>REQUIERED FRONT YARD LANDSCAPING (SOFT) =</b>	<b>181.46</b>	<b>1,953.20</b>	<b>60%</b>
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**REAR YARD LANDSCAPE:**

REAR YARD AREA =	635.62	6,841.75	
PROPOSED CABANA + COVERED PATIO =	33.38	359.30	
PROPOSED WALKOUT =	20.01	215.39	
PROP. COVERED CONC. PATIO (REAR) =	34.59	372.32	
PROP. WALKWAY AROUND POOL =	31.67	340.89	
PROPOSED PAVER WALKWAY =	50.00	538.20	
<b>PROPOSED REAR YARD LANDSCAPE (SOFT) =</b>	<b>465.97</b>	<b>5,015.65</b>	<b>73.31%</b>

<b>REQUIERED REAR YARD LANDSCAPING (SOFT) =</b>	<b>1,059.37</b>	<b>11,402.92</b>	<b>60%</b>
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**SIDE YARD LANDSCAPE:**

SIDE YARD AREA =	171.53	6,841.75	
WINDOW WELLS =	10.56	113.67	
<b>PROPOSED SIDE YARD LANDSCAPE (SOFT) =</b>	<b>160.97</b>	<b>6,728.08</b>	<b>93.84%</b>



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

**QUALIFICATION INFORMATION**

Required unless design is exempt under 3.2.4.3.(5) Division C of the building code

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NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**

Required unless design is exempt under 3.2.4.7. Division C of the building code

EPIC DESIGNS INC. 30118  
FIRM NAME BCIN

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**PROJECT:**

PROPOSED 2 STOREY SINGLE FAMILY DWELLING

DRAWING  
SITE STATS

SCALE:

DRAWN BY:  
P. SANTOS

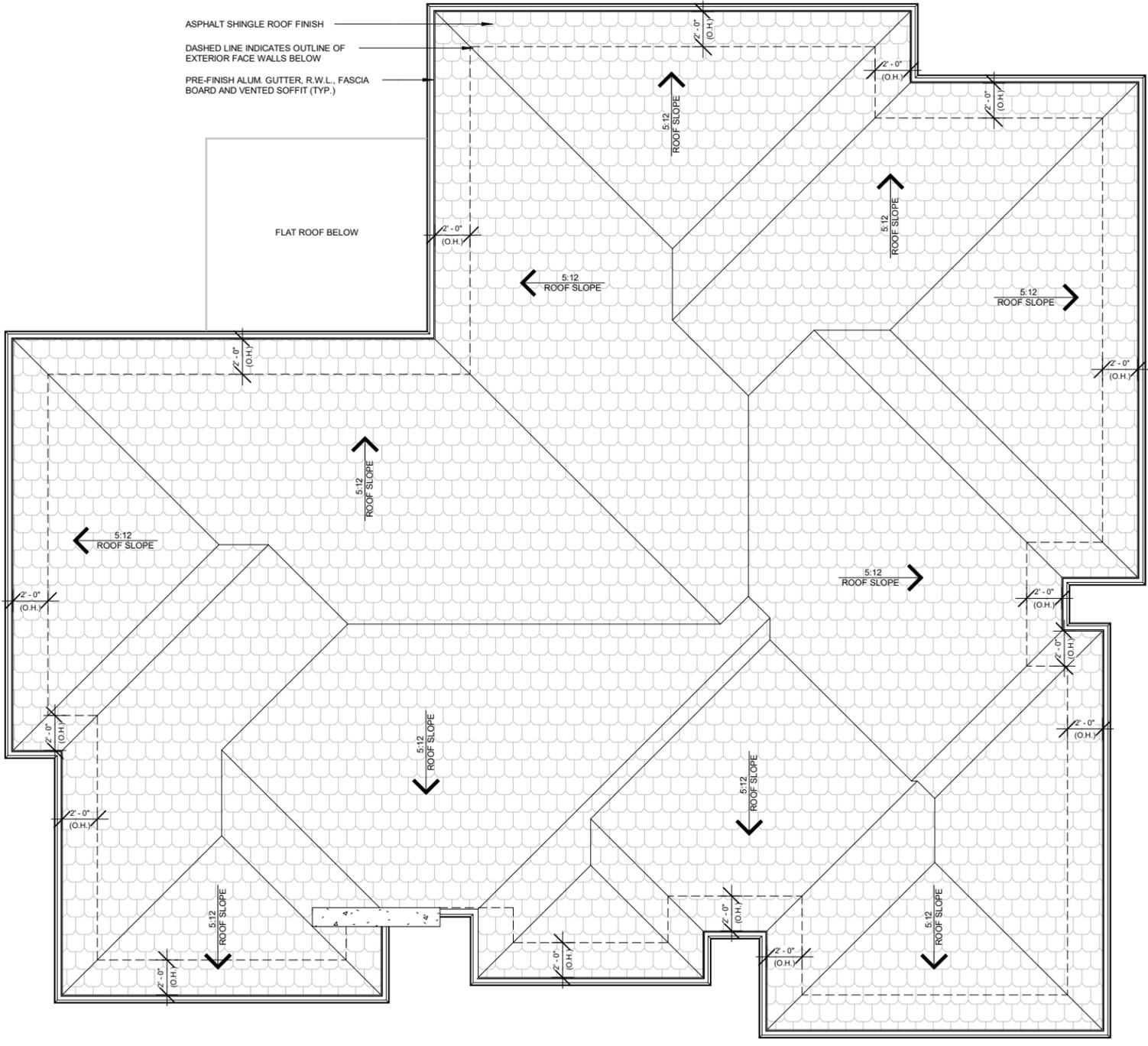
DATE:  
APRIL' 2021

APPROVED BY  
M.V.

PROJECT No.  
2021-03

DRAWING No.  
A1.A

PROJECT NORTH TRUE NORTH



ASPHALT SHINGLE ROOF FINISH  
 DASHED LINE INDICATES OUTLINE OF EXTERIOR FACE WALLS BELOW  
 PRE-FINISH ALUM. GUTTER, R.W.L., FASCIA BOARD AND VENTED SOFFIT (TYP.)

FLAT ROOF BELOW

**1**  
**A5** **ROOF PLAN**  
 SCALE: 1/8" = 1' - 0"



257 DUNRAVEN DRIVE  
 TORONTO, ONTARIO. M6M - 1H8  
 TEL: (416) 564 - 2435  
 WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION  
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MARCO VIEIRA 25562  
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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 FIRM NAME BCIN

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PROJECT:  
 PROPOSED 2 STOREY SINGLE FAMILY DWELLING

DRAWING ROOF PLAN	
SCALE: As indicated	DRAWN BY: P. SANTOS
DATE: MARCH 2021	APPROVED BY M.V.
PROJECT No. 2021-03	DRAWING No. A5



**1**  
**A6** **FRONT (NORTH) ELEVATION**  
SCALE: 1/8" = 1' - 0"

DRAWING NORTH (FRONT) ELEVATION	DRAWN BY: P. SANTOS	APPROVED BY: M.V.
	SCALE: 1/8" = 1'-0"	DATE: MARCH 2021
	PROJECT No. 2021-03	DRAWING No. A6

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PROPOSED 2 STOREY SINGLE FAMILY DWELLING

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MARCO VIEIRA 25562 BCIN  
NAME SIGNATURE FIRM NAME

REGISTRATION INFORMATION  
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FIRM NAME

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1  
A7
**REAR (SOUTH) ELEVATION**  
 SCALE: 1/8" = 1' - 0"

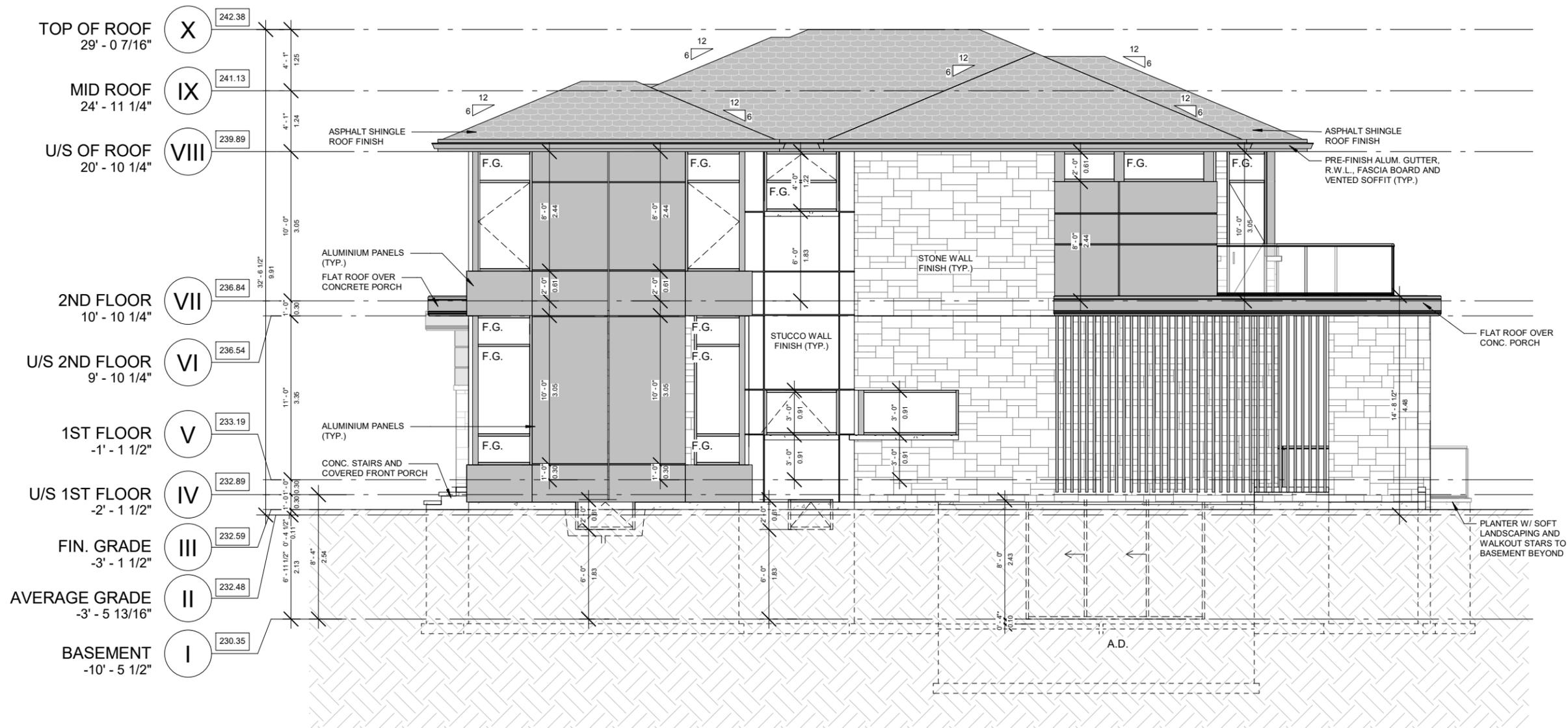
**AVERAGE GRADE CALCULATION:**  
 GRADES= 232.44+ 232.41+ 232.61+ 232.47  
 (TAKEN ALONG FRONT WALL)  
 SUM OF GRADES= 929.93  
 AVERAGE GRADE (METERS)= 232.48

DRAWING SOUTH (REAR) ELEVATION	DRAWN BY: P. SANTOS
SCALE: 1/8" = 1'-0"	APPROVED BY: M.V.
DATE: APRIL 2021	PROJECT No. 2021-03

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 PROJECT:  
 PROPOSED 2 STOREY SINGLE FAMILY DWELLING

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 MARCO VIEIRA 25562 BCIN  
 NAME SIGNATURE  
 REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.1. Division C of the building code  
 EPIC DESIGNS INC. 30118 BCIN  
 FIRM NAME

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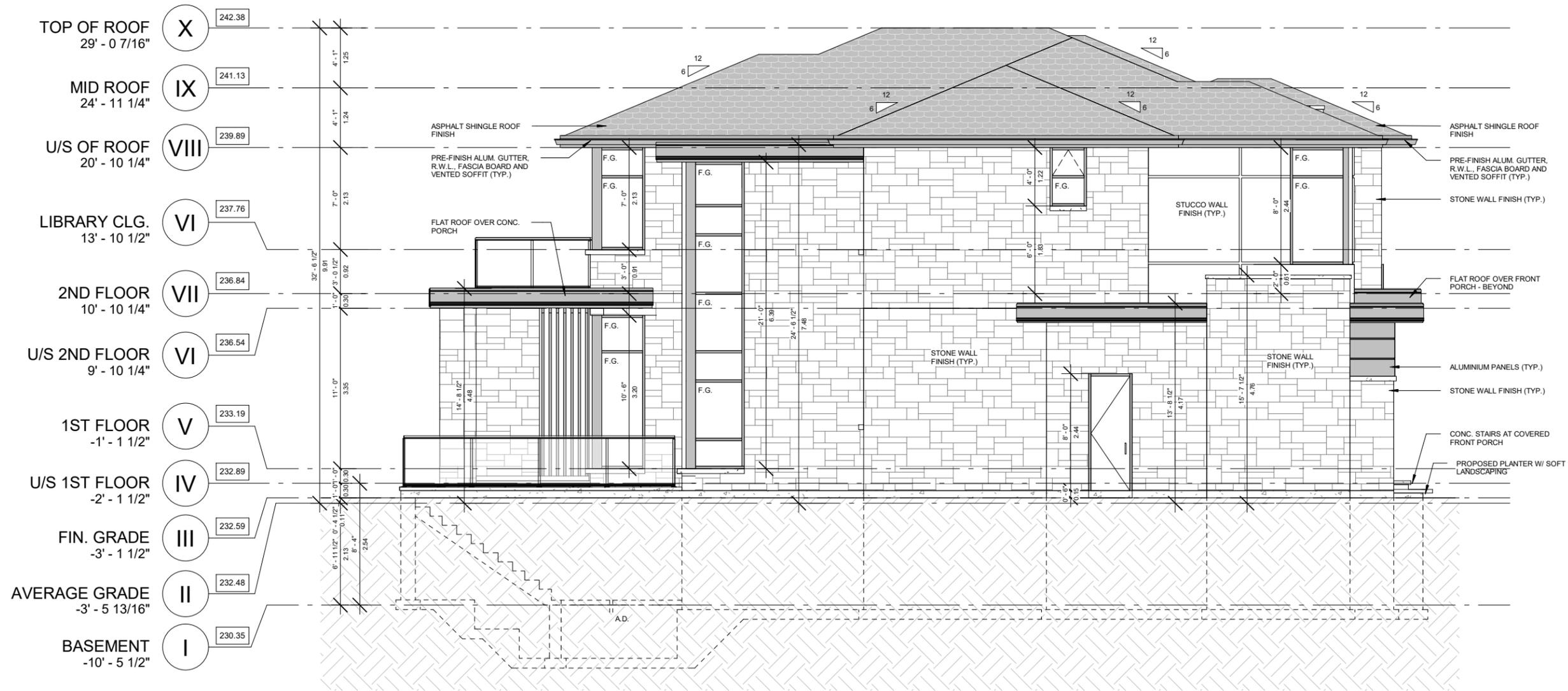


**1**  
**A8** **WEST (SIDE) ELEVATION**  
SCALE: 3 / 16" = 1' - 0"

DRAWING WEST ELEVATION	SCALE: 1/8" = 1'-0"	DRAWN BY: P. SANTOS
	DATE: APRIL 2021	APPROVED BY: M.V.
DO NOT SCALE DRAWINGS CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.		PROJECT: PROPOSED 2 STOREY SINGLE FAMILY DWELLING
ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION		PROJECT No. 2021-03
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QUALIFICATION INFORMATION Required unless design is exempt under 3.2.4.3(5) Division C of the building code		
MARCO VIEIRA 25562 BCIN NAME SIGNATURE		
REGISTRATION INFORMATION Required unless design is exempt under 3.2.4.7.1. Division C of the building code		
EPIC DESIGNS INC. 30118 BCIN FIRM NAME		

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1  
A9
**EAST (SIDE) ELEVATION**  
 SCALE: 1/8" = 1' - 0"

DRAWING EAST ELEVATION	DRAWN BY: P. SANTOS
SCALE: 1/8" = 1'-0"	APPROVED BY: M.V.
DATE: MARCH 2021	PROJECT No. 2021-03
	DRAWING No. A9

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PROJECT:  
PROPOSED 2 STOREY SINGLE  
FAMILY DWELLING

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QUALIFICATION INFORMATION

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MARCO VIEIRA 25562 BCIN  
NAME SIGNATURE FIRM NAME

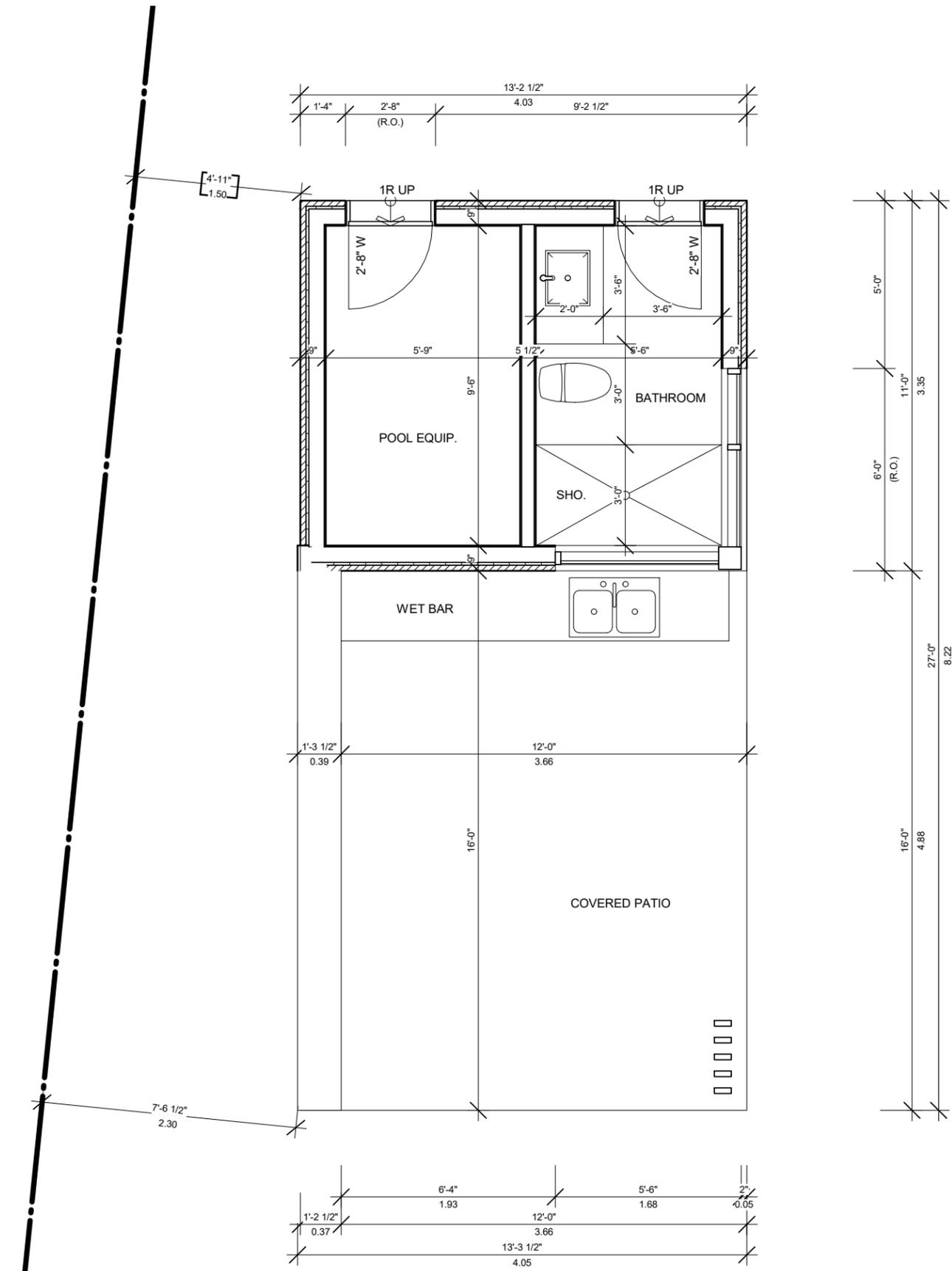
Required unless design is exempt under 3.2.4.1. Division C of the building code

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FIRM NAME

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**1**  
**A10** **CABANA PLANS**  
SCALE: 1/4" = 1' - 0"



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NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**

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FIRM NAME BCIN

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**PROJECT:**

PROPOSED 2 STOREY SINGLE FAMILY DWELLING

**DRAWING**  
CABANA FLOOR PLAN

SCALE:  
1/4" = 1'-0"

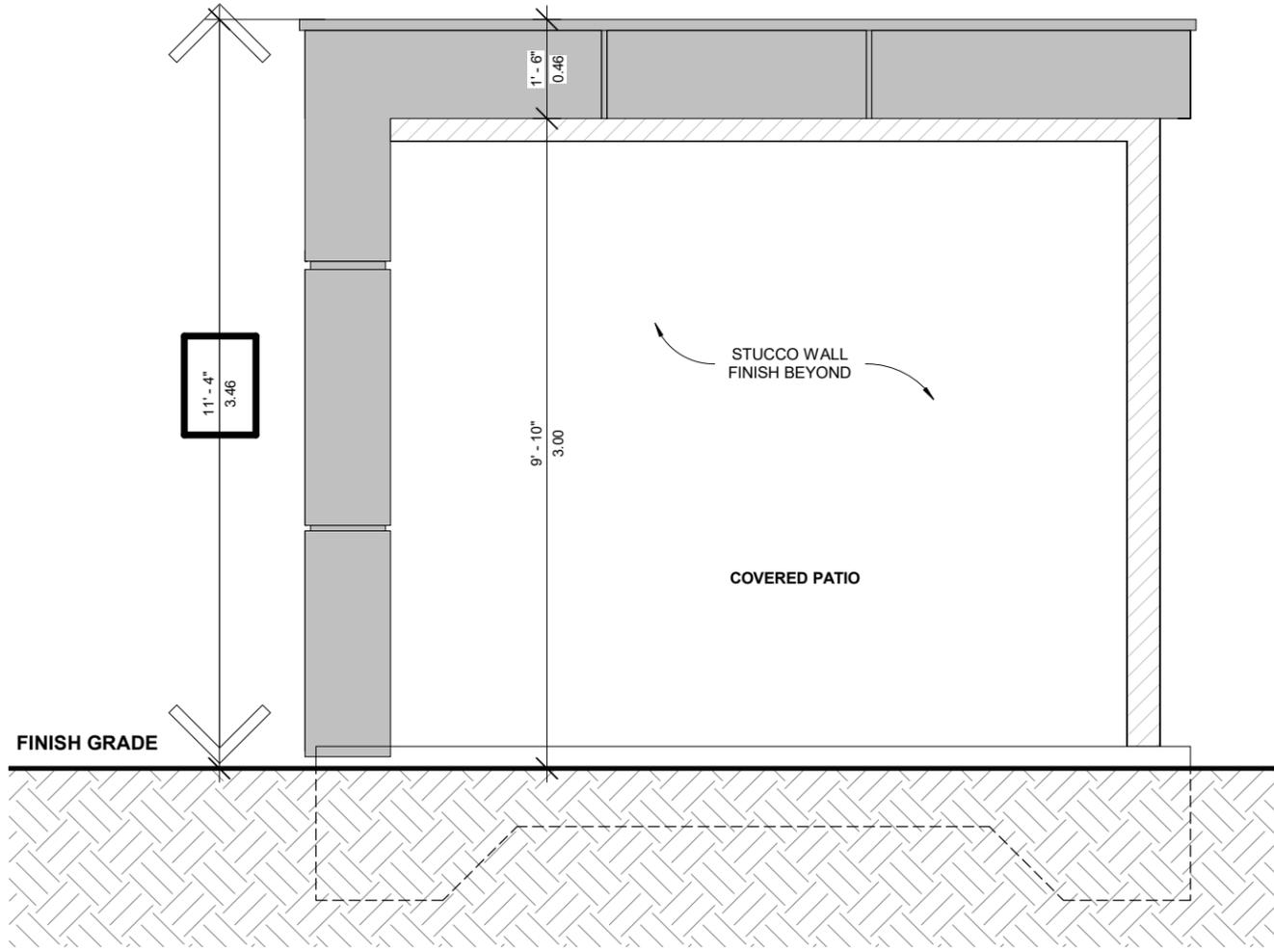
DRAWN BY:  
P. SANTOS

DATE:  
APRIL' 2021

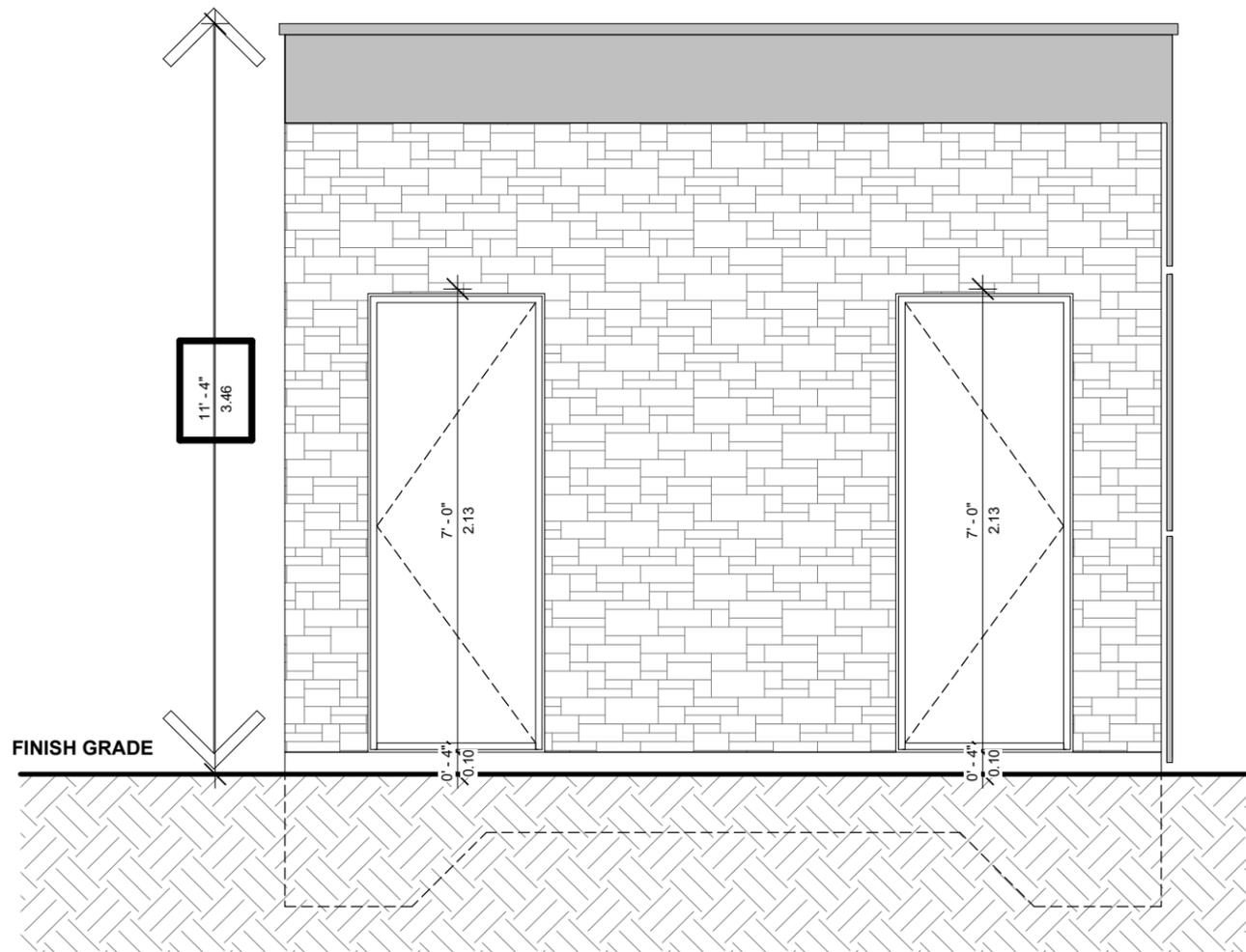
APPROVED BY  
M.V.

PROJECT No.  
2021-03

DRAWING No.  
A10



**1**  
**A11** **NORTH ELEVATION**  
SCALE: 3 / 8" = 1' - 0"



**2**  
**A11** **SOUTH ELEVATION**  
SCALE: 3 / 8" = 1' - 0"



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NAME SIGNATURE BCIN

REGISTRATION INFORMATION

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FIRM NAME BCIN

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PROJECT:

PROPOSED 2 STOREY SINGLE FAMILY DWELLING

DRAWING

CABANA NORTH AND SOUTH ELEVATIONS

SCALE:  
3/8" = 1'-0"

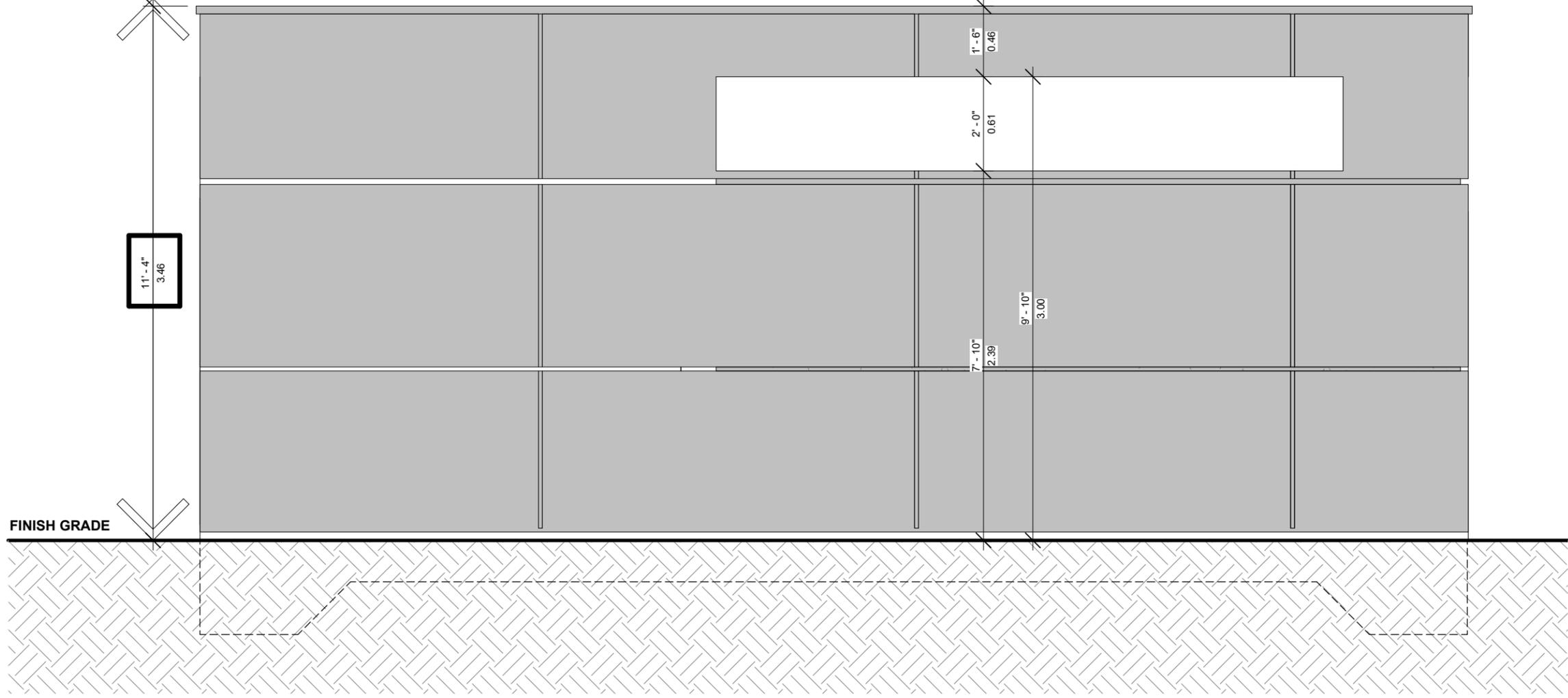
DRAWN BY:  
P. SANTOS

DATE:  
APRIL' 2021

APPROVED BY  
M.V.

PROJECT No.  
2021-03

DRAWING No.  
A11



1 EAST ELEVATION  
 A12 SCALE: 3 / 8" = 1' - 0"

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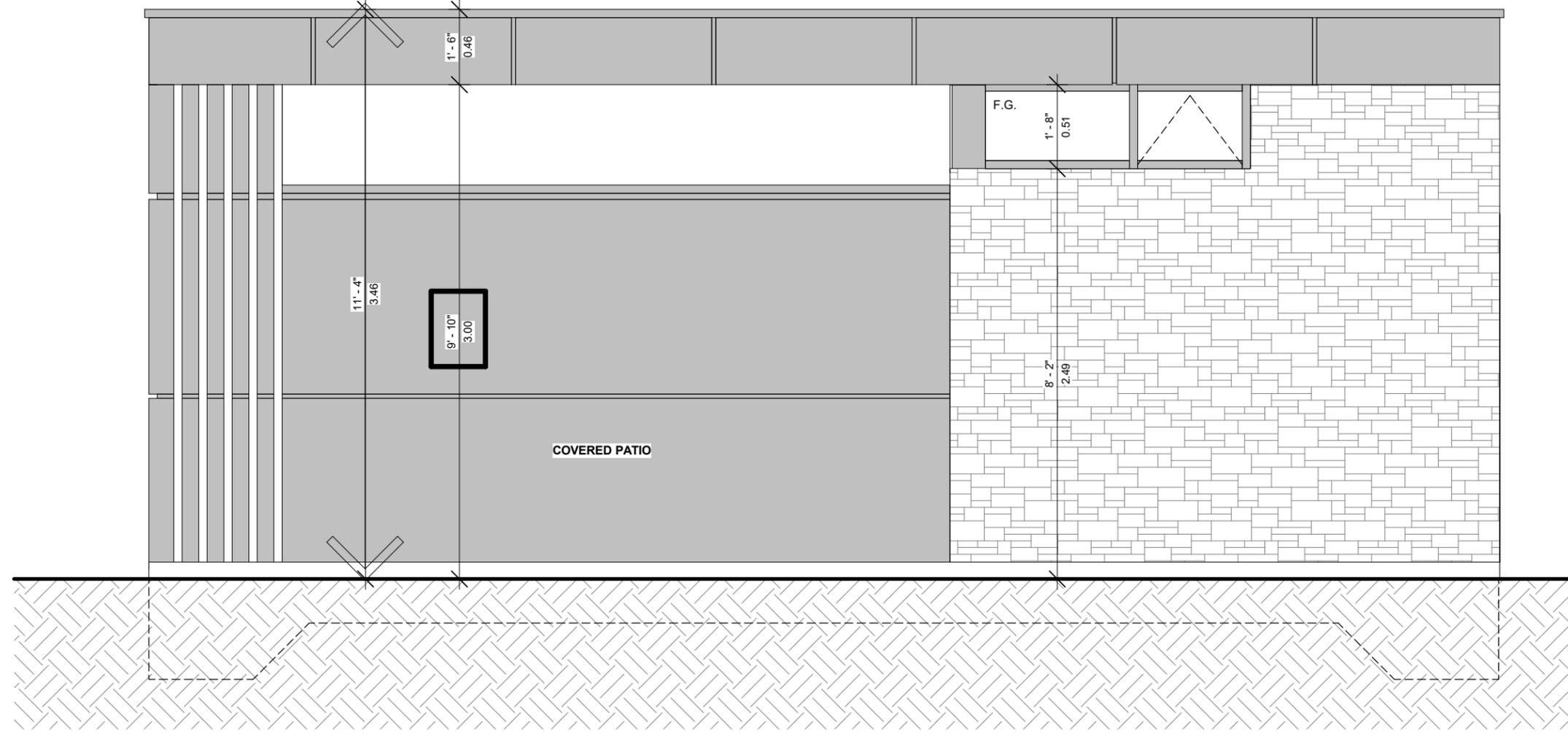
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 FIRM NAME

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PROJECT:  
 PROPOSED 2 STOREY SINGLE FAMILY DWELLING

DRAWING CABANA EAST ELEVATION	
SCALE: 3/8" = 1'-0"	DRAWN BY: P. SANTOS
DATE: APRIL 2021	APPROVED BY M.V.
PROJECT No. 2021-03	DRAWING No. A12



1  
A13
**WEST ELEVATION**  
 SCALE: 3 / 8" = 1' - 0"



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**PROJECT:**  
 PROPOSED 2 STOREY SINGLE FAMILY DWELLING

**DRAWING**  
 CABANA WEST ELEVATION

**SCALE:**  
 3/8" = 1'-0"

**DATE:**  
 APRIL 2021

**PROJECT No.**  
 2021-03

**DRAWN BY:**  
 P. SANTOS

**APPROVED BY**  
 M.V.

**DRAWING No.**  
 A13

## **Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None**

## **Schedule C: Agency Comments**

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

**Alectra (Formerly PowerStream) – No objection, no conditions**  
**York Region – No objection, no conditions**



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## MacPherson, Adriana

---

**Subject:** FW: A092/21 - Request for Comments

---

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>  
**Sent:** June-01-21 2:34 PM  
**To:** MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A092/21 - Request for Comments

Good afternoon Adriana,  
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877  
464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)