

**File:** A062/21

**Applicant:** Ammar Kamala

**Address:** 21 Jackson St Maple

**Agent:** Epic Designs Inc

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning		
Development Engineering		
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala  
Hearing Date: Thursday, May 20, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance  
Application

Agenda Item: 6

A062/21

Ward: 1

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Thursday, May 20, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Ammar Kamala

**Agent:** Epic Designs Inc

**Property:** 21 Jackson St Maple

**Zoning:** The subject lands are zoned R1V and subject to the provisions of Exception under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Related Files:** None

**Purpose:** Relief from by-law 1-88, as amended, is being requested to permit the construction of a proposed single family dwelling and cabana to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum Lot Coverage of 20% is required.	1. To permit a maximum Lot Coverage of 24.51%. (19.02% dwelling; 1.95% cabana; 0.24% covered front porch; 3.30% covered rear patio)
2. A minimum Rear Yard Setback of 7.5 metres is required to an Accessory Building (Cabana).	2. To permit a minimum Rear Yard Setback of 3.24 metres to an Accessory Building (Cabana).
3. A minimum Front Yard Setback of 10.99 metres is required.	3. To permit a minimum Front Yard Setback of <b>10.32 metres</b> to a Dwelling.
4. A maximum driveway width of 6.0 metres is required.	4. To permit a maximum driveway width of 7.44 metres.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit [www.vaughan.ca](https://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**  
Public notice was mailed on May 7, 2021

Applicant confirmed posting of signage on April 29, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1980's (Purchased August 2016)

Applicant has advised that they cannot comply with By-law for the following reason(s): Does not comply with covered for the lot zoned as R1V

**Adjournment Request:** On May 5, 2021 The Development Planning Department requested that the application be adjourned to permit additional time to review Cultural Heritage comments.

The following Cultural Heritage comments were provided on May 7 (which will be incorporated into Development Planning review):

While this property is adjacent to the Maple HCD boundary, the proposed development will be buffered from view by the 1980's development that is on Keele Street. These properties are fenced from view, have mature trees and will otherwise screen the new construction from view in the Maple HCD.

However, due to when the current structure was built, there may still be some remaining archaeological potential. Therefore, we suggest that the Standard Archaeological Clauses be added, should archaeological resources be encountered during the construction process.

1. Should archaeological resources be found on the property during construction activities, all work must cease and both the Ontario Ministry of Heritage, Sport, Tourism and Cultural Industries, as well as the City of Vaughan's Development Planning Department, Urban Design and Cultural Heritage Division shall be notified immediately.
2. In the event that human remains are encountered during construction activities, the proponent must immediately cease all construction activities. The proponent shall contact the York Regional Police Department, the Regional Coroner and the Bereavement Authority of Ontario.

There are no further Cultural Heritage concerns for this application.

On May 7, Variance #3 was revised from 9.32m to 10.32m to address Development Planning comments.

**The applicant has been requested by Development Planning to make further revisions to the proposal which have not been received to date.**

**Building Standards (Zoning Review):**  
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

**Building Inspections (Septic):**  
No response

**Development Planning:**  
Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Application under review.

**Development Engineering:**

Application under review.

**Parks Development - Forestry:**

Prior to permit issuance, Forestry staff shall inspect and approve the tree protection (Hoarding). Tree protection shall be installed to the satisfaction of the Forestry division. (if applicable).

Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

Arborist recommendations are to be followed as outlined in the Arborist Report.

**By-Law and Compliance, Licensing and Permit Services:**

No comments or concerns

**Development Finance:**

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

**Fire Department:**

No comments or concerns

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

None

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	Application under review.
2	Parks, Forestry and Horticulture Operations Patrick Courchesne  905-832-8585 x 3617 <a href="mailto:Patrick.Courchesne@vaughan.ca">Patrick.Courchesne@vaughan.ca</a>	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to building permit approval.
3	Development Planning Michael Torres  905-832-8585 x 8933 <a href="mailto:Michael.Torres@vaughan.ca">Michael.Torres@vaughan.ca</a>	Application under review

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8002  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map  
Plans & Sketches

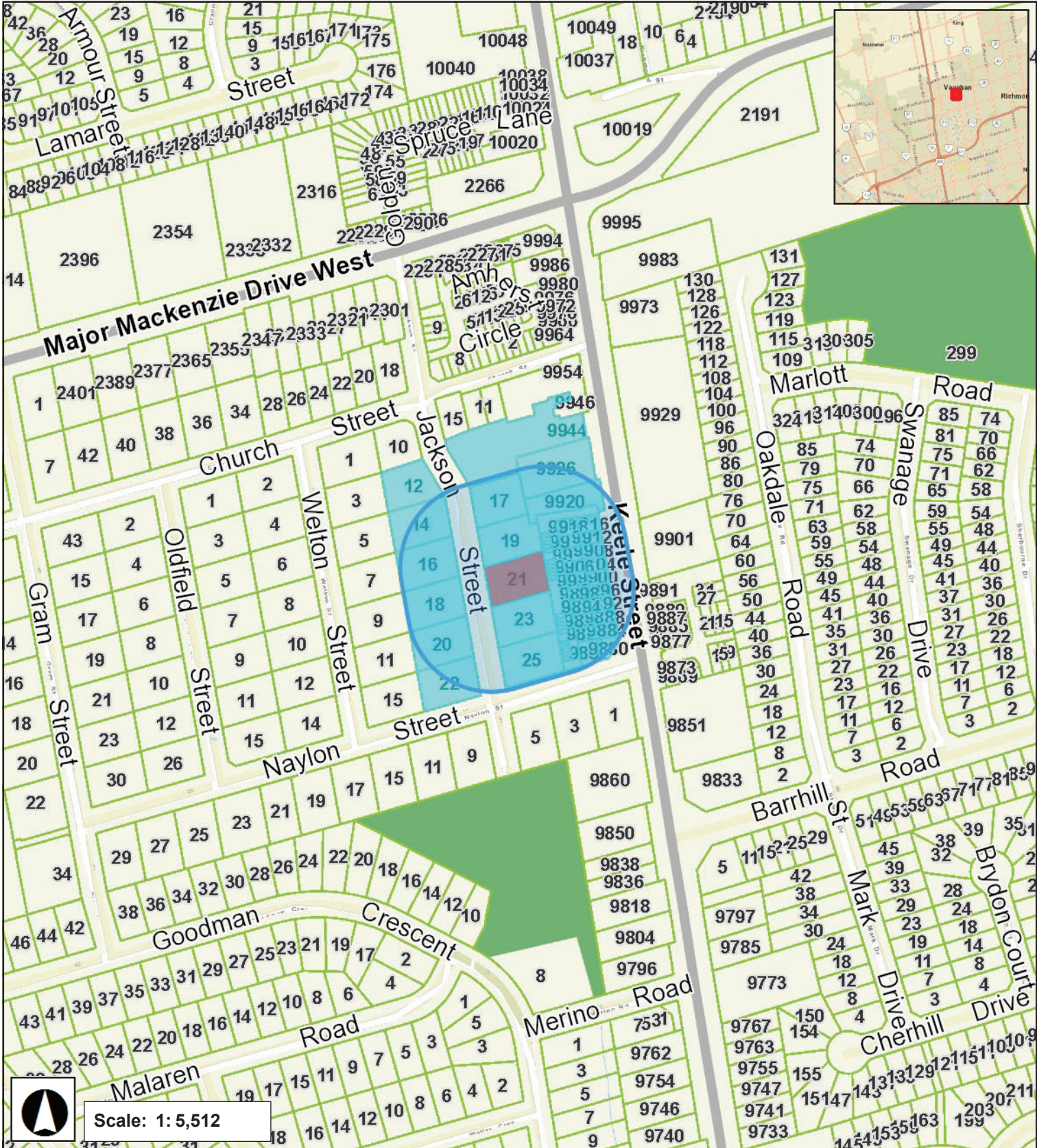




# LOCATION MAP - A062/21

21 JACKSON STREET, MAPLE

Major Mackenzie Drive



Rutherford Road



INFORMATION TAKEN FROM:  
SURVEYORS REAL PROPERTY REPORT  
PLAN OF LOT 66  
REGISTERED PLAN 4826  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK  
CREATED BY: DONALD ROBERTS SURVEYING LTD.  
OCTOBER, 14 2020

REVISIONS TO DRAWINGS:  
MAY 12TH, 2021

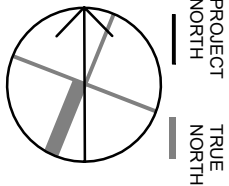
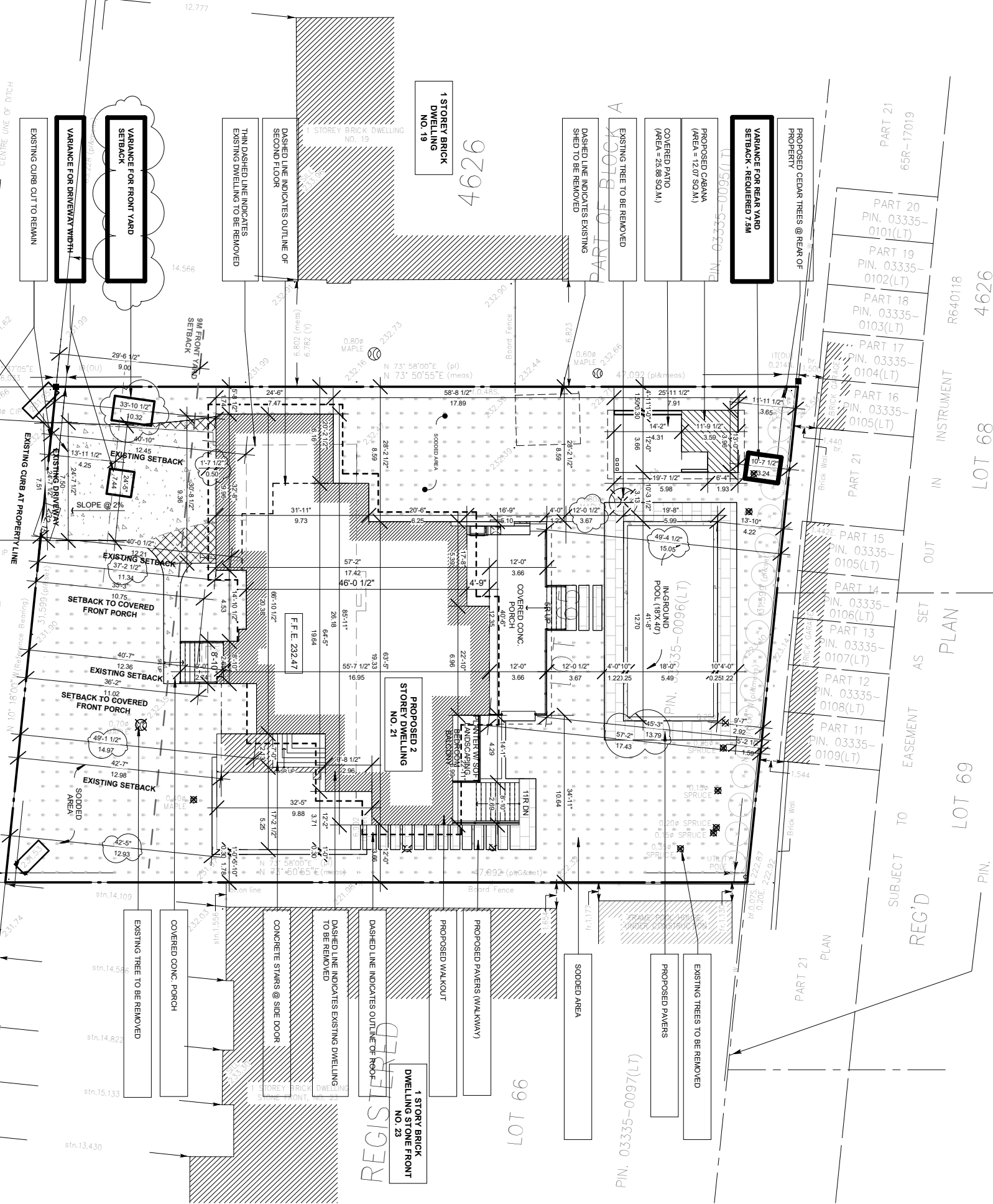
A062/21

RECEIVED

By RECEIVED at 10:39 am, May 13, 2021

1  
A1  
SITE PLAN  
SCALE: 1:300

PART 7,  
PLAN 65R-26264  
YORK REGION STANDARD CONDOMINIUM PLAN NO. 1054  
PART OF BLOCK A



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3(5) Division C of the building code

MARCO VIEIRA  
NAME

SIGNATURE

25562  
BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the building code

EPIC DESIGNS INC.  
FIRM NAME

30718  
BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION

PROJECT:

PROPOSED 2 STOREY FAMILY DWELLING

DRAWING  
SITE PLAN

SCALE:  
As indicated

DATE:  
MAY 2021

PROJECT No.  
2020-49

DRAWN BY:  
P. SANTOS

APPROVED BY  
M.V.

DRAWING No.  
A1

REVISIONS TO DRAWINGS:

MAY 6TH, 2021

SITE STATISTICS:

ZONED AS R1V

	m2	(SQ. FT.)
LOT AREA =	1605.81	17,284.78
LOT FRONTAGE =	31.59 m	103'-8"

MIN. LOT FORNTAGE =	30 m	98'-5"
MIN. FRONT YARD =	9 m	29'-6.5"
MIN. REAR YARD =	7.5 m	24'-7.5"
MIN. INTERIOR SIDE YARD =	7.5 m	24'-7.5"
MAX. BUILDING HEIGHT =	9.5 m	31'-2"

LOT COVERAGE:

	m2	(SQ. FT.)	
PROPOSED DWELLING =	305.44	3,287.73	19.02%
PROP. COVERED CONC. PORCH (FRONT) =	3.90	41.98	0.24%
PROP. COVERED CONC. PATIO (REAR) =	52.92	569.63	3.30%
PROP. CABANA + COVERED PATIO =	31.32	337.13	1.95%
PROPOSED COVERAGE =	393.58	3,899.33	24.51%
MAX. ALLOW COVERAGE =	321.16	3,456.96	20%

PROPOSED G.F.A.:

PROPOSED FIRST FLOOR =	236.03	2,540.60	
PROPOSED SECOND FLOOR =	198.13	2,132.65	
PROPOSED G.F.A. =	434.16	4,673.25	27.04%

FRONT YARD LANDSCAPE:

	m2	(SQ. FT.)	
FRONT YARD AREA =	416.49	4,483.06	
PROP. DRIVEWAY =	87.43	941.09	
PROP. COVERED CONC. PORCH (FRONT) =	3.90	41.98	
COURTYARD =	18.38	197.84	
PROP. WALKWAY =	9.47	101.93	
PROPOSED FRONT YARD LANDSPACE (SOFT) =	297.31	3,200.22	71.38%

REQUIERED FRONT YARD LANDSCAPING (SOFT) =	208.25	2,241.53	60%
---	--------	----------	-----

REAR YARD LANDSCAPE:

REAR YARD AREA =	614.88	6,618.51	
PROP. CABANA + COVERED PATIO =	31.32	337.13	
PROPOSED WALKOUT =	11.27	121.31	
PROP. COVERED CONC. PATIO (REAR) =	52.92	569.63	
PROPOSED PAVER WALKWAY =	62.04	667.79	
PROPOSED REAR YARD LANDSCAPE (SOFT) =	457.33	4,922.65	74.38%

REQUIERED REAR YARD LANDSCAPING (SOFT) =	307.44	3,309.25	60%
--	--------	----------	-----



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4.3(5) Division C of the building code

MARCO VIEIRA  
NAME SIGNATURE 25562 BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.7. Division C of the building code

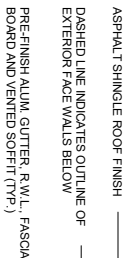
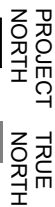
EPIC DESIGNS INC.  
FIRM NAME 30118 BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION

PROJECT:  
PROPOSED 2 STOREY FAMILY DWELLING

DRAWING SITE STATS	
SCALE:	DRAWN BY: P. SANTOS
DATE: MAY' 2021	APPROVED BY M.V.
PROJECT No. 2020-49	DRAWING No. A1.A



PRE-FINISH ALUM. GUTTER, R.W.L., FASCIA BOARD AND VENTED SOFFIT (TYP.)

DASHED LINE INDICATES OUTLINE OF EXTERIOR FACE WALLS BELOW

2'-3"x 4" SKYLIGHTS

2- 2"x 3" SKYLIGHTS

8'-6"	
2.59	

1	<b>ROOF PLAN</b>
A5	SCALE: 1" = 10' - 0"



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

### QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3(5) Division C  
of the building code.

MARCO VIEIRA 25562  
NAME SIGNATURE BCIN

### REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C  
of the building code

EPIC DESIGNS INC.	30718
FIRM NAME	BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL  
DIMENSIONS AND REPORT OMISSIONS OR  
DISCREPANCIES TO EPIC DESIGNS INC. BEFORE  
PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE  
PROPERTY OF EPIC INC. AND SHALL  
NOT BE COPIED, IN PART OR WHOLE  
PRIOR WRITTEN PERMISSION

PROJECT:

PROPOSED 2 STOREY FAMILY DWELLING

DRAWING  
ROOF PLAN

SCALE:  
1" = 10'-0"

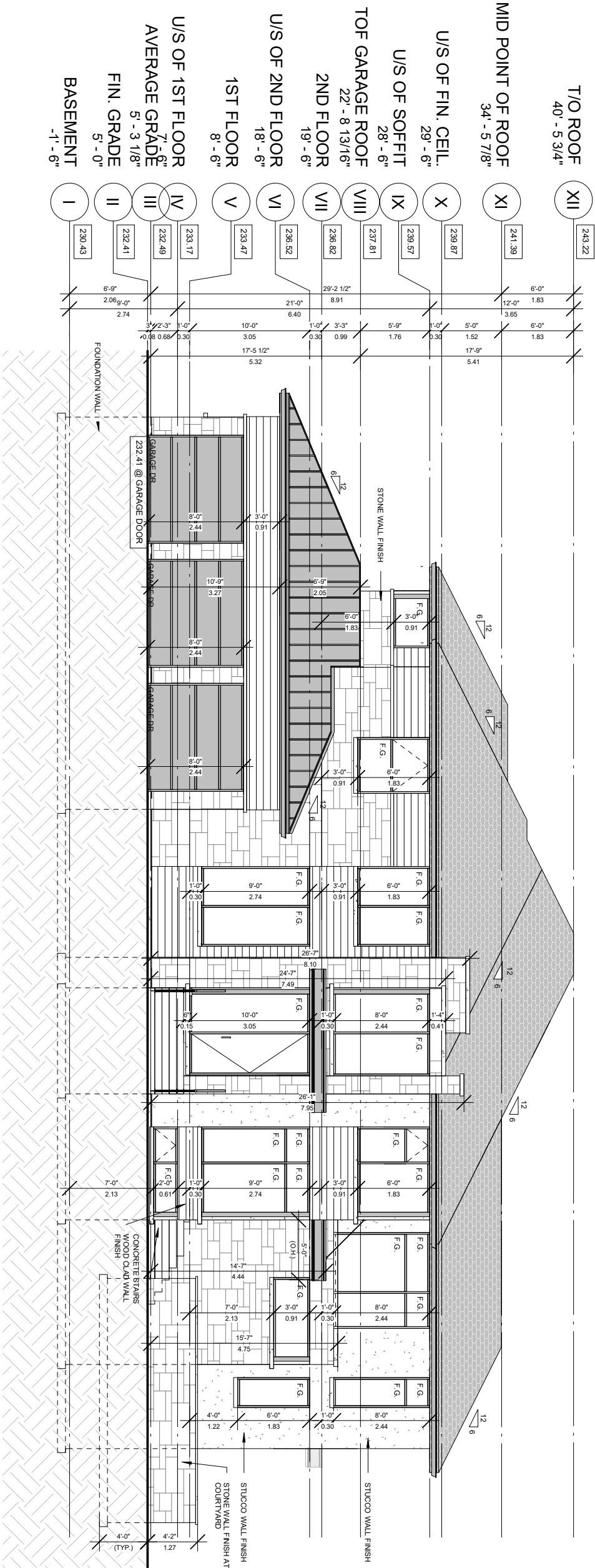
DRAWN BY:  
P. SANTOS

DATE:  
APRIL' 2021

APPROVED BY  
M.V.

PROJECT No.  
2020-49

DRAWING No.  
A5



1  
A6  
FRONT (WEST) ELEVATION  
SCALE: 1" = 10' - 0"



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3(5) Division C of the building code

MARCO VIEIRA  
NAME

SIGNATURE

25562  
BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the building code

EPIC DESIGNS INC.  
FIRM NAME

30718  
BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION

PROJECT:

PROPOSED 2 STOREY FAMILY DWELLING

DRAWING  
FRONT ELEVATION

SCALE:  
1" = 10'-0"

DATE:  
APRIL' 2021

PROJECT No.  
2020-49

DRAWN BY:  
P. SANTOS

APPROVED BY  
M.V.

DRAWING No.  
A6

AVERAGE GRADE CALCULATION:	
GRADES= 232.41+ 232.74+ 232.60+ 232.21	
(TAKEN ALONG FRONT WALL)	
SUM OF GRADES=	929.96
AVERAGE GRADE (METERS) =	232.49



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

### QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3.(5) Division C  
of the building code.

MARCO VIEIRA  
NAME                     

SIGNATURE

25562  
BCIN

### REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7, Division C  
of the building code

EPIC DESIGNS INC.  
FIRM NAME

30718  
BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL  
DIMENSIONS AND REPORT OMISSIONS OR  
DISCREPANCIES TO EPIC DESIGNS INC. BEFORE  
PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE  
PROPERTY OF EPIC INC. AND SHALL  
NOT BE COPIED, IN PART OR WHOLE  
PRIOR WRITTEN PERMISSION

PROJECT:

## PROPOSED 2 STOREY FAMILY DWELLING

DRAWING  
REAR ELEVATIONS

SCALE:  
1" = 10'-0"

DRAWN BY:  
P. SANOTS

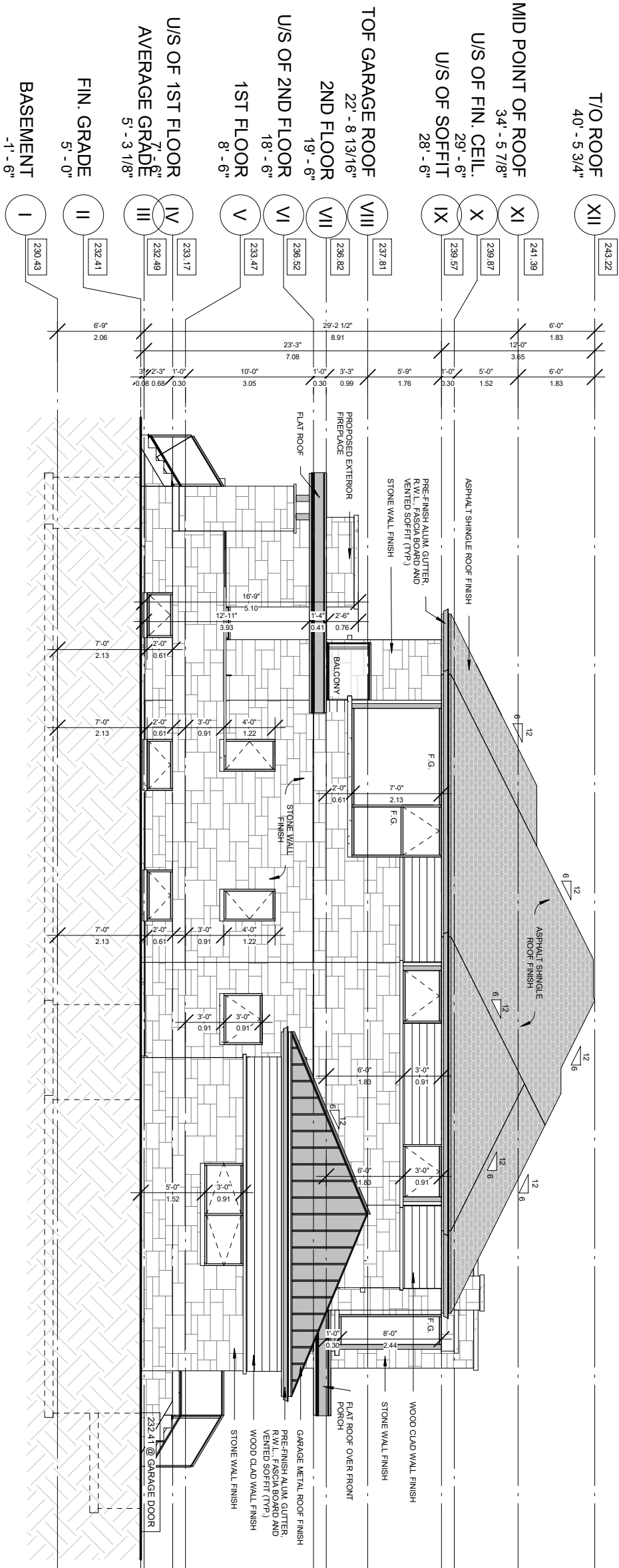
DATE:  
APRIL' 2021

APPROVED BY  
M.V.

PROJECT No.  
2020-49

DRAWING No.  
A7





1 NORTH ELEVATION  
A8 SCALE: 1" = 10' - 0"



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3(5) Division C of the building code

MARCO VIEIRA  
NAME

SIGNATURE

25562  
BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the building code

EPIC DESIGNS INC.  
FIRM NAME

30718  
BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION

PROJECT:

PROPOSED 2 STOREY FAMILY DWELLING

DRAWING  
NORTH ELEVATION

SCALE:  
1" = 10'-0"

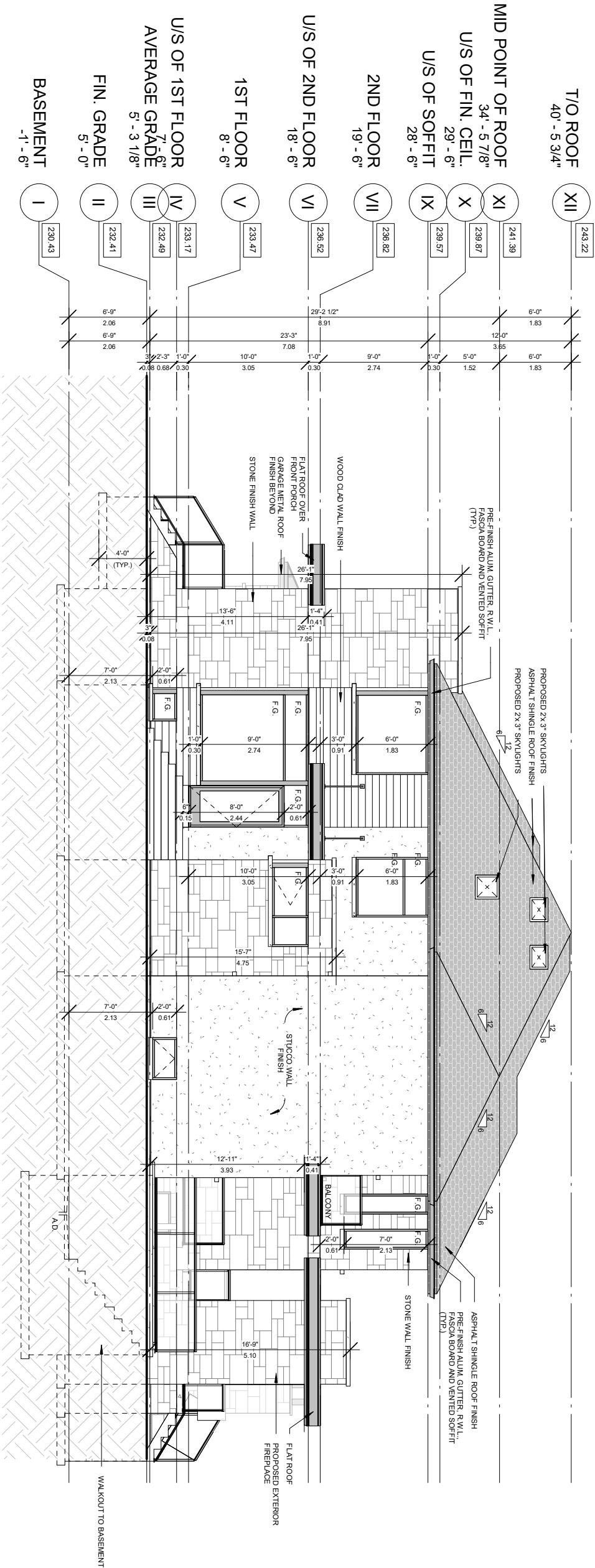
DATE:  
APRIL' 2021

PROJECT No.  
2020-49

DRAWN BY:  
P. SANTOS

APPROVED BY  
M.V.

DRAWING No.  
A8



1 SOUTH ELEVATION  
A9 SCALE: 1" = 10' - 0"



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3.(5) Division C of the building code

MARCO VIEIRA  
NAME

SIGNATURE

25562  
BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the building code

EPIC DESIGNS INC.  
FIRM NAME

30718  
BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION

PROJECT:

PROPOSED 2 STOREY FAMILY DWELLING

DRAWING  
SOUTH ELEVATION

SCALE:  
1" = 10'-0"

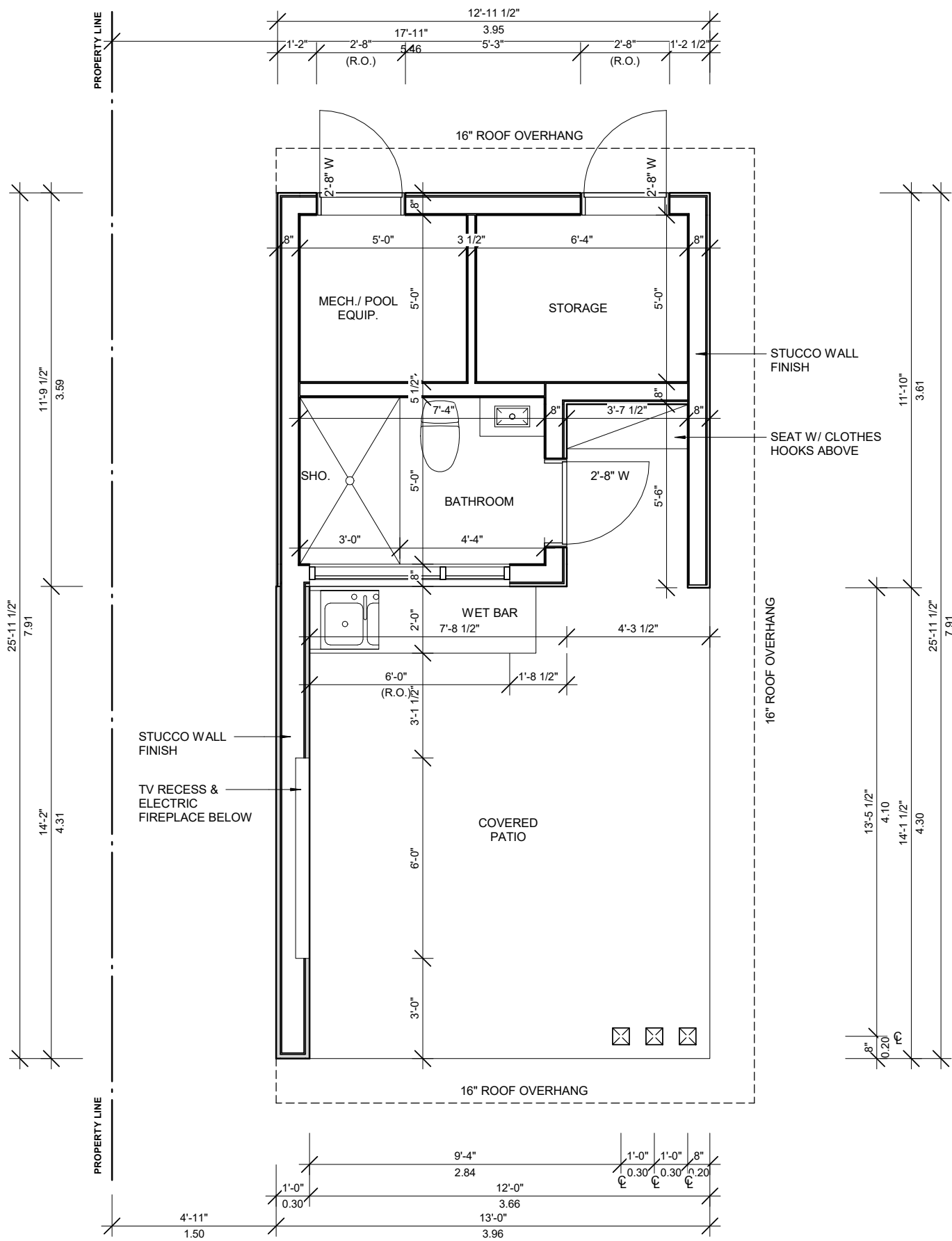
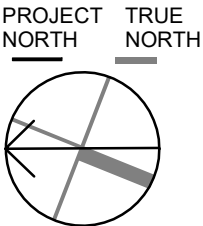
DATE:  
MAY' 2021

PROJECT No.  
2020-49

DRAWN BY:  
P. SANTOS

APPROVED BY  
M.V.

DRAWING No.  
A9



**1**  
**A10**

**CABANA FLOOR PLAN**  
**SCALE: 1/4" = 1' - 0"**



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3(5) Division C of the building code

MARCO VIEIRA  
NAME

SIGNATURE

25562  
BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the building code

EPIC DESIGNS INC.  
FIRM NAME

30718  
BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION

PROJECT:

PROPOSED 2 STOREY FAMILY DWELLING

DRAWING  
CABANA FLOOR PLAN

SCALE:  
As indicated

DRAWN BY:  
P. SANTOS

DATE:  
APRIL' 2021

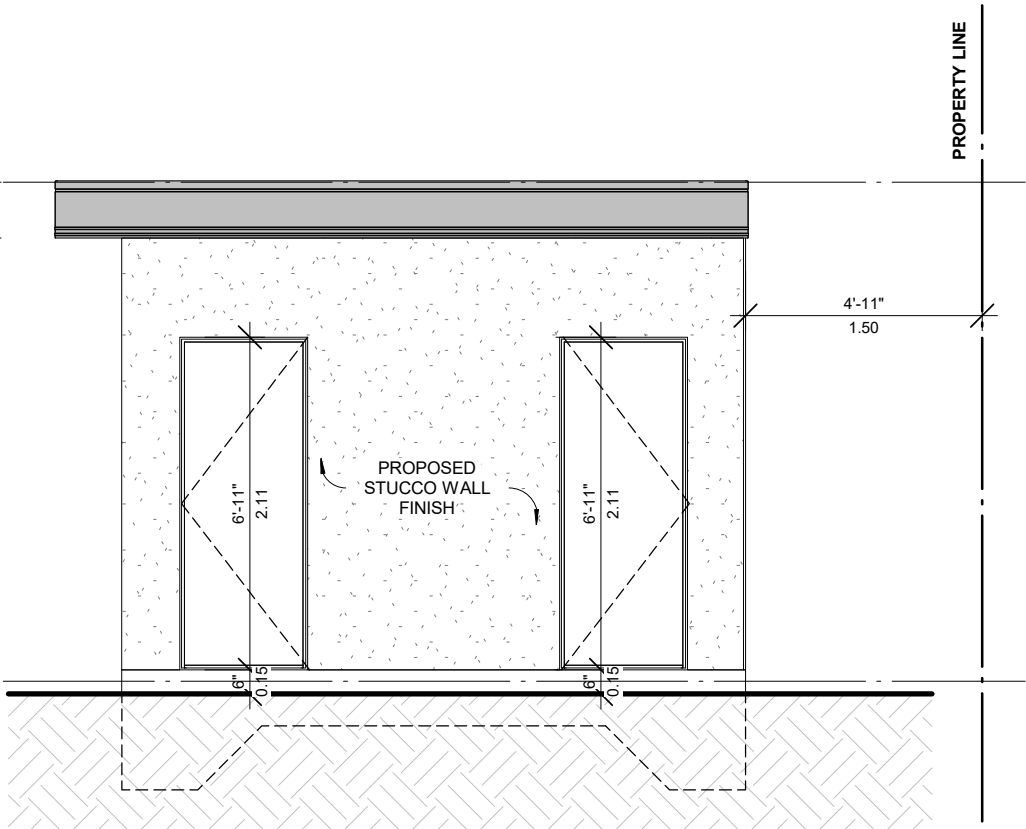
APPROVED BY  
M.V.

PROJECT No.  
2020-49

DRAWING No.  
A10

TOP OF CABANA ROOF  
15' - 8"

AVERAGE GRADE  
5' - 3 1/8"



1

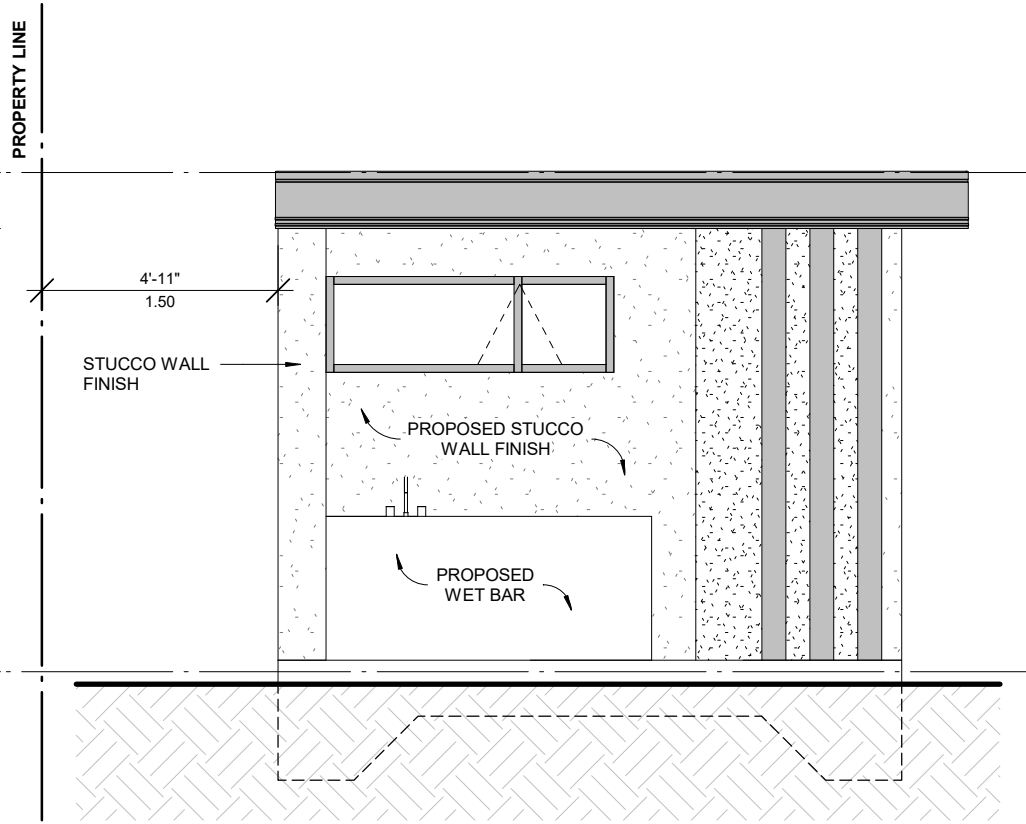
A11

EAST ELEVATION

SCALE: 1/4" = 1' - 0"

TOP OF CABANA ROOF  
15' - 8"

AVERAGE GRADE  
5' - 3 1/8"



2

A11

WEST ELEVATION

SCALE: 1/4" = 1' - 0"



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3(5) Division C of the building code

MARCO VIEIRA  
NAME

SIGNATURE

25562  
BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the building code

EPIC DESIGNS INC.  
FIRM NAME

30118  
BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION

PROJECT:

PROPOSED 2 STOREY FAMILY DWELLING

DRAWING  
EAST AND WEST ELEVATIONS (CABANA)

SCALE:  
1/4" = 1'-0"

DATE:  
APRIL' 2021

PROJECT No.  
2020-49

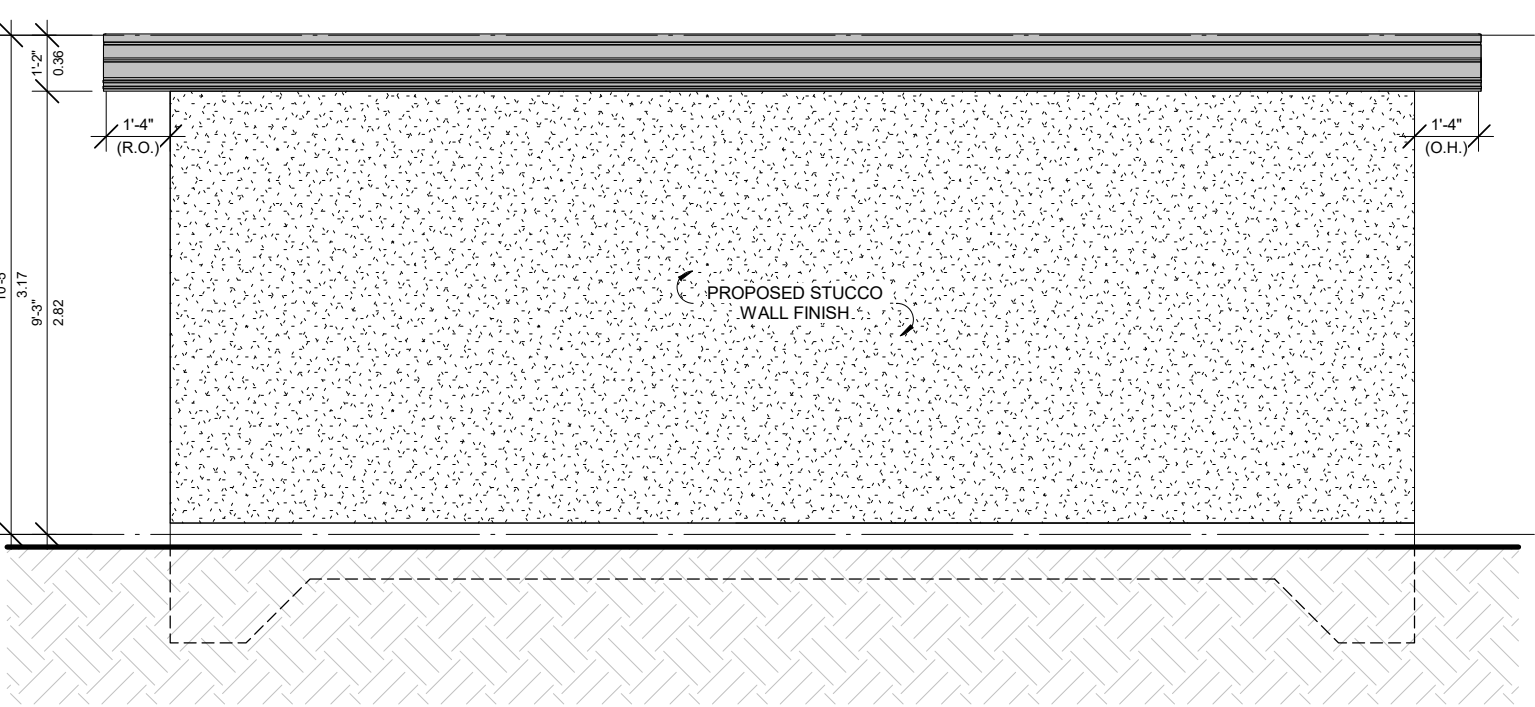
DRAWN BY:  
P. SANTOS

APPROVED BY  
M.V.

DRAWING No.  
A11

TOP OF CABANA ROOF  
15' - 8"

AVERAGE GRADE  
5' - 3 1/8"

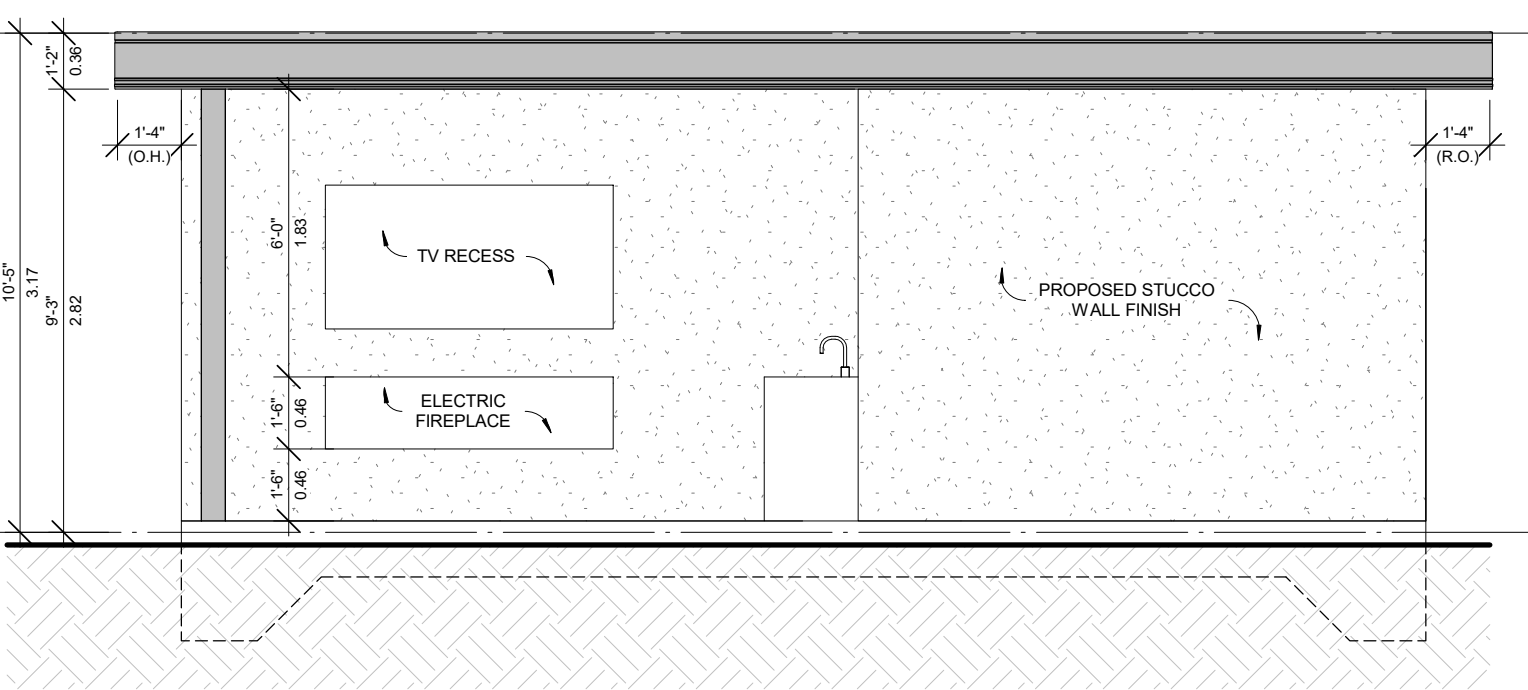


1  
A12

NORTH ELEVATION  
SCALE: 1/ 4" = 1' - 0"

TOP OF CABANA ROOF  
15' - 8"

AVERAGE GRADE  
5' - 3 1/8"



2  
A12

SOUTH ELEVATION  
SCALE: 1/ 4" = 1' - 0"



257 DUNRAVEN DRIVE  
TORONTO, ONTARIO. M6M - 1H8  
TEL: (416) 564 - 2435  
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3(5) Division C of the building code

MARCO VIEIRA  
NAME

SIGNATURE

25562  
BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the building code

EPIC DESIGNS INC.  
FIRM NAME

30118  
BCIN

DO NOT SCALE DRAWINGS  
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION

PROJECT:

PROPOSED 2 STOREY FAMILY DWELLING

DRAWING  
NORTH AND SOUTH ELEVATIONS

SCALE:  
1/4" = 1'-0"

DATE:  
APRIL' 2021

PROJECT No.  
2020-49

DRAWN BY:  
P. SANTOS

APPROVED BY  
M.V.

DRAWING No.  
A12



**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None**

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area

### COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Attwala, Pravina

---

**Subject:** FW: A062/21 - REQUEST FOR COMMENTS

---

**From:** Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>  
**Sent:** April-27-21 2:32 PM  
**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>  
**Cc:** Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>  
**Subject:** [External] RE: A062/21 - REQUEST FOR COMMENTS

Good afternoon,

As the property at 21 Jackson Street is outside of MTO permit control area, MTO has no comments.

**Colin Mulrenin (he/him) | Corridor Management Officer | York**  
Highway Corridor Management Section – Central Operations  
159 Sir William Hearst Avenue | Ministry of Transportation  
7<sup>th</sup> Floor, Building D | Downsview, Ontario | M3M 0B7  
[Colin.Mulrenin@ontario.ca](mailto:Colin.Mulrenin@ontario.ca)

**Attwala, Pravina**

---

**Subject:** FW: A062/21 - REQUEST FOR COMMENTS

---

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>  
**Sent:** April-27-21 11:33 AM  
**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A062/21 - REQUEST FOR COMMENTS

Good morning Pravina,  
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)