



File: A058/21

Applicant: Ingrid and Phil Harris

Address: 234 Wycliffe Avenue, Woodbridge

Agent: None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Thursday, May 20, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance
Application

Agenda Item: 4

A058/21

Ward: 2

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, May 20, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Ingrid and Phil Harris

Agent: None

Property: 234 Wycliffe Avenue, Woodbridge

Zoning: The subject lands are zoned R1 9(263) and subject to the provisions of Exception under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 7.5 metres is required to an Accessory Building (Cabana).	1. To permit a minimum rear yard setback of 0.97 metres to an Accessory Building (Cabana)
2. A minimum interior side yard setback of 1.5 metres is required to an Accessory Building (Cabana).	2. To permit a minimum interior side yard setback of 0.97 metres to an Accessory Building (Cabana).
3. A minimum rear yard setback of 7.0 metres is required to an eaves or gutter of an Accessory Building (Cabana).	3. To permit a minimum rear yard setback of 0.36 metres to an eaves or gutter of an Accessory Building (Cabana).
4. A minimum interior side yard setback of 1.0 metre is required to an eaves or gutter of an Accessory Building (Cabana).	4. To permit a minimum interior side yard setback of 0.36 metres to an eaves or gutter of an Accessory Building (Cabana).

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 5, 2021

Applicant confirmed posting of signage on May 4, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1983
Cabana	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): The size of the rear lot does not allow the construction of an accessory structure while adhering to the By-law 1-88 which requires a rear setback of 7.5m and an interior side setback of 1.5m.

Adjournment Request: None

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Building Inspections (Septic):
No comments or concerns

Development Planning:
City of Vaughan Official Plan ('VOP 2010'): "Low-Rise Residential"

The Owner is requesting permission to construct a cabana with the above-noted variances. At the request of the Development Engineering Department, the Owner had revised the initial location of the cabana, increasing the minimum rear and interior side yard setbacks from 0.67 m to 0.97 m, and the minimum rear and interior side yard setbacks of 0.06 m to the eaves or gutter of the cabana to 0.36 m, to provide an appropriate space for drainage in the rear yard. Given that the height of the cabana complies with the requirements of the Zoning By-law, the Development Planning Department has no objections with the proposed location.

The Owner has submitted an Arborist Report prepared by Davey Resource Group, dated September 8, 2020, in support of the application. The Urban Design Division has reviewed the report and concurs with its recommendations.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A058/21 subject to the following condition(s):

The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

Parks Development - Forestry:
Hoarding was installed and inspected by Forestry Staff on May 6, 2021.

By-Law and Compliance, Licensing and Permit Services:
No comments received to date

Development Finance:
No comment no concerns

Fire Department:
No comments received to date

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections
MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)
None

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://www.vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment
Adriana MacPherson
T 905 832 8585 Extension 8360
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

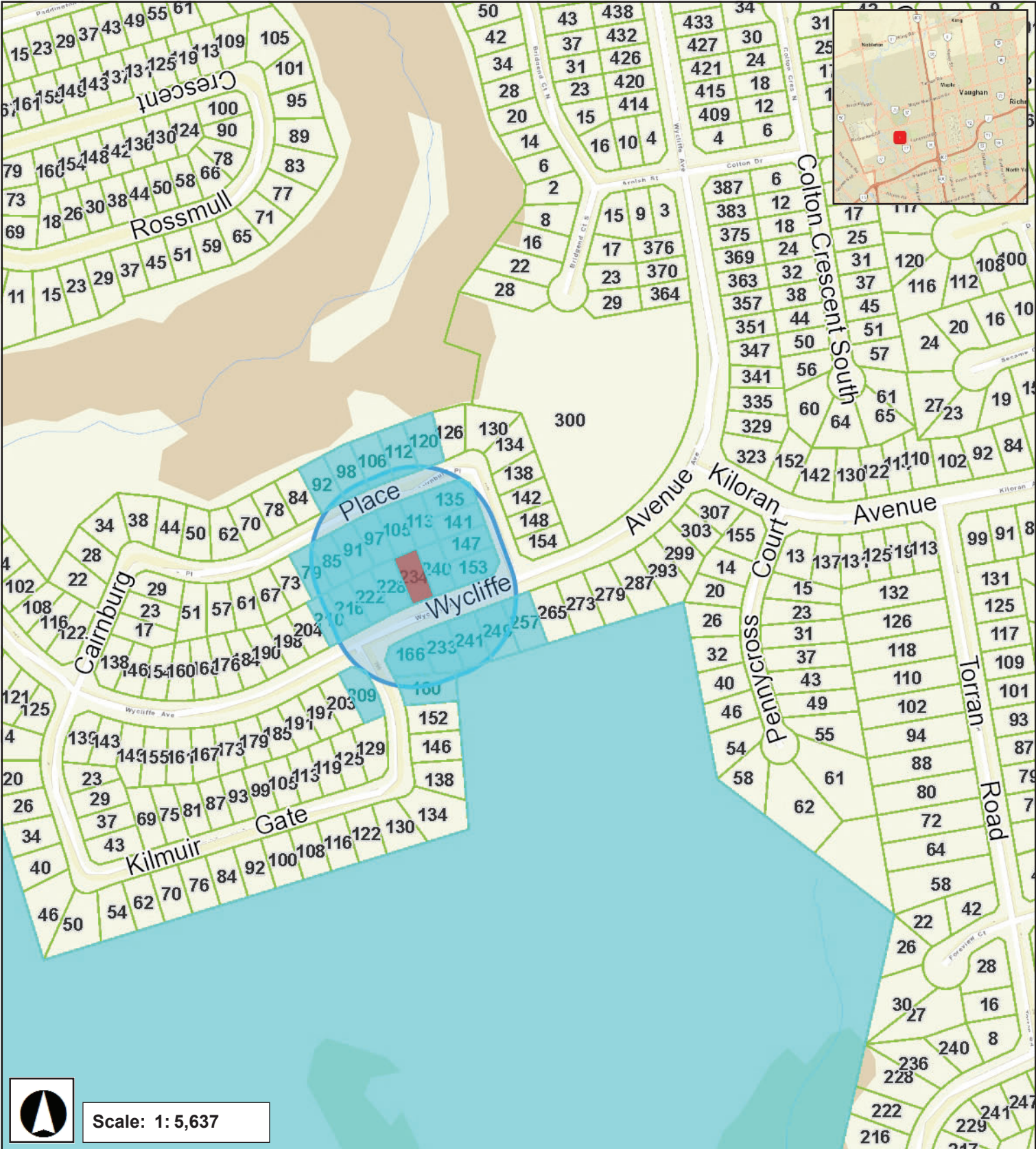
Location Map
Plans & Sketches



A058/21 - Notification Map

234 Wycliffe Avenue, Woodbridge

Rutherford Road



Proposal:

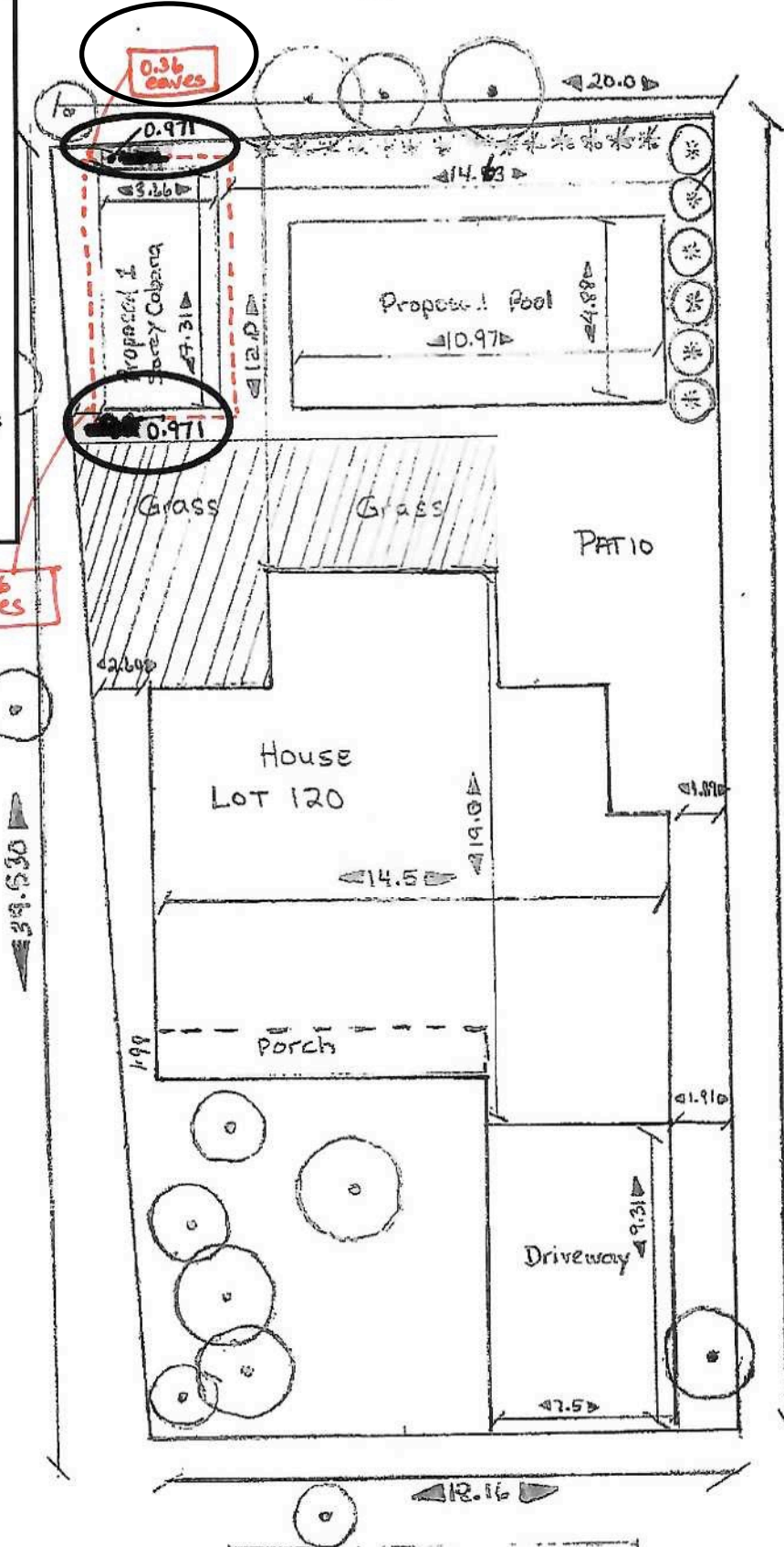
1. To permit a minimum rear yard setback of 0.97 metres to an Accessory Building (Cabana).
2. To permit a minimum interior side yard setback of 0.97 metres to an Accessory Building (Cabana).
3. To permit a minimum rear yard setback of 0.36 metres to an eaves or gutter of an Accessory Building (Cabana).
4. To permit a minimum interior side yard setback of 0.36 metres to an eaves or gutter of an Accessory Building (Cabana).

Drawing (minor Variance)



228
WYCLIFFE
AVE.
LOT 119

0.36
eaves



240
WYCLIFFE
AVE.
LOT 121

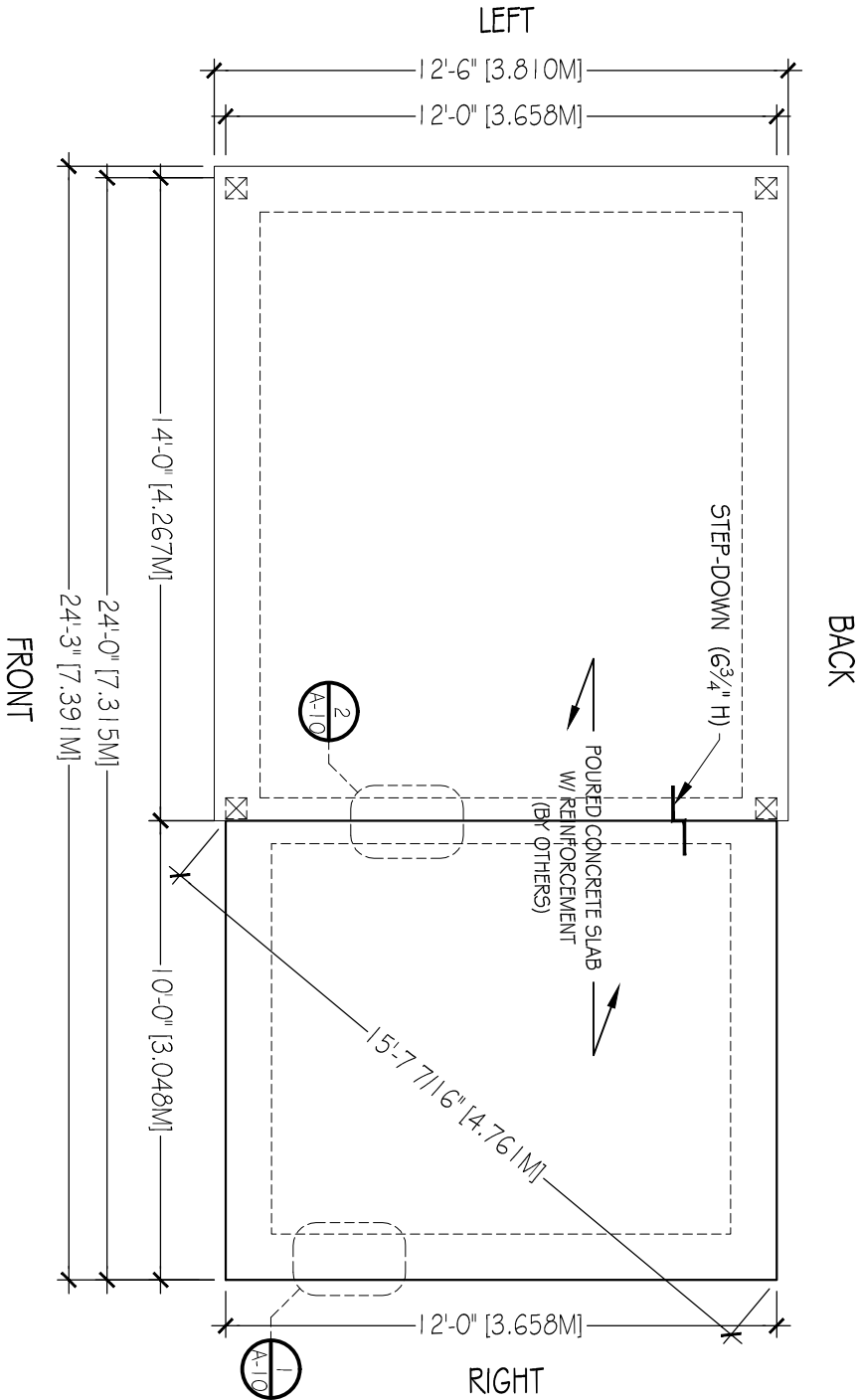
Legend

- Existing trees
- * } Proposed plantings
- ◀ ▶ in metres(m)
- Minor Variance
- not to scale

234 WYCLIFFE AVE

GENERAL NOTES:

1. ALL LUMBER TO BE NO. 1 # 2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED, AND ALL LUMBER FOR EXTERIOR USE SHALL BE A SPECIES RESISTANT TO DECAY, PRESERVATIVE TREATED TO PREVENT DECAY, OR PRESURE-TREATED.
2. ALL PLYWOOD SHALL BE STAMPED EXTERIOR GRADE.
3. ALL FOOTINGS TO BE IN UNDISTURBED SOIL.
4. FOUNDATION TO BE PROVIDED BY OWNER / CONTRACTOR, AND SHOULD MEET OBC / LOCAL CODE.
5. FINISHED GRADE TO BE CONFIRMED BY OWNER / CONTRACTOR.
6. ALL TIES AND MECHANICAL CONNECTORS TO BE RESISTANT TO CORROSION, INDICATED BY A QUALIFIED PERSON, AND TO BE PROVIDED AND INSTALLED BY OWNER / CONTRACTOR TO MEET OBC / LOCAL CODE.
7. LINTELS AND BEAMS TO BE DESIGNED BY A QUALIFIED PERSON FOR SPANS GREATER THAN 16' (4.90M).
8. ALL BEAMS MUST HAVE FULL WIDTH BEARING ON POSTS, AND ALL POSTS TO HAVE SOLID BLOCKING DOWN TO FOUNDATION.
9. WALL LATERAL LOAD ANALYSIS TO BE DONE BY A PROFESSIONAL ENGINEER.
10. ALL ENGINEERED LUMBER (LVL) TO BE 3100 Fb - 2.0 E MICROLAM, 1 3/4" EACH PLY, WETTERHAEUSER LVL.
11. WHEN ROOFING SYSTEM REQUIRES, USE PLY CLIPS OR SOLID BLOCKING AT ALL ROOF SHEATHING EDGES NOT SUPPORTED BY FRAMING MEMBERS.
12. NAILS, SCREWS AND BOLTS SIZES AND PATTERNS AS PER OBC / LOCAL BUILDING CODE, AND SHALL NOT CAUSE SPLITTING OF WOOD ELEMENTS.
13. ALL WORK TO COMPLY WITH THE LATEST VERSION OF THE OBC, AND ALL WORKMANSHIP TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE. IF THERE ARE ANY DISCREPANCIES BETWEEN THE GENERAL NOTES ON THESE PLANS AND THE OBC, THE OBC TAKES PRECEDENT (TYP.).
14. ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY; AND ALL WORK TO BE DONE IN ACCORDANCE WITH OBC / LOCAL BUILDING CODE.
15. IT IS THE RESPONSIBILITY OF CONTRACTOR TO VERIFY THAT ALL OTHER CODE REQUIREMENTS ARE MET AND THAT THE ENGINEERING RECOMMENDATIONS ARE CORRECTLY INCORPORATED IN THE CONSTRUCTION.
16. FOUNDATION TO BE PLACED ACCORDING TO THIS LAYOUT. THE CONCRETE SLAB SHALL SLOPE AWAY.



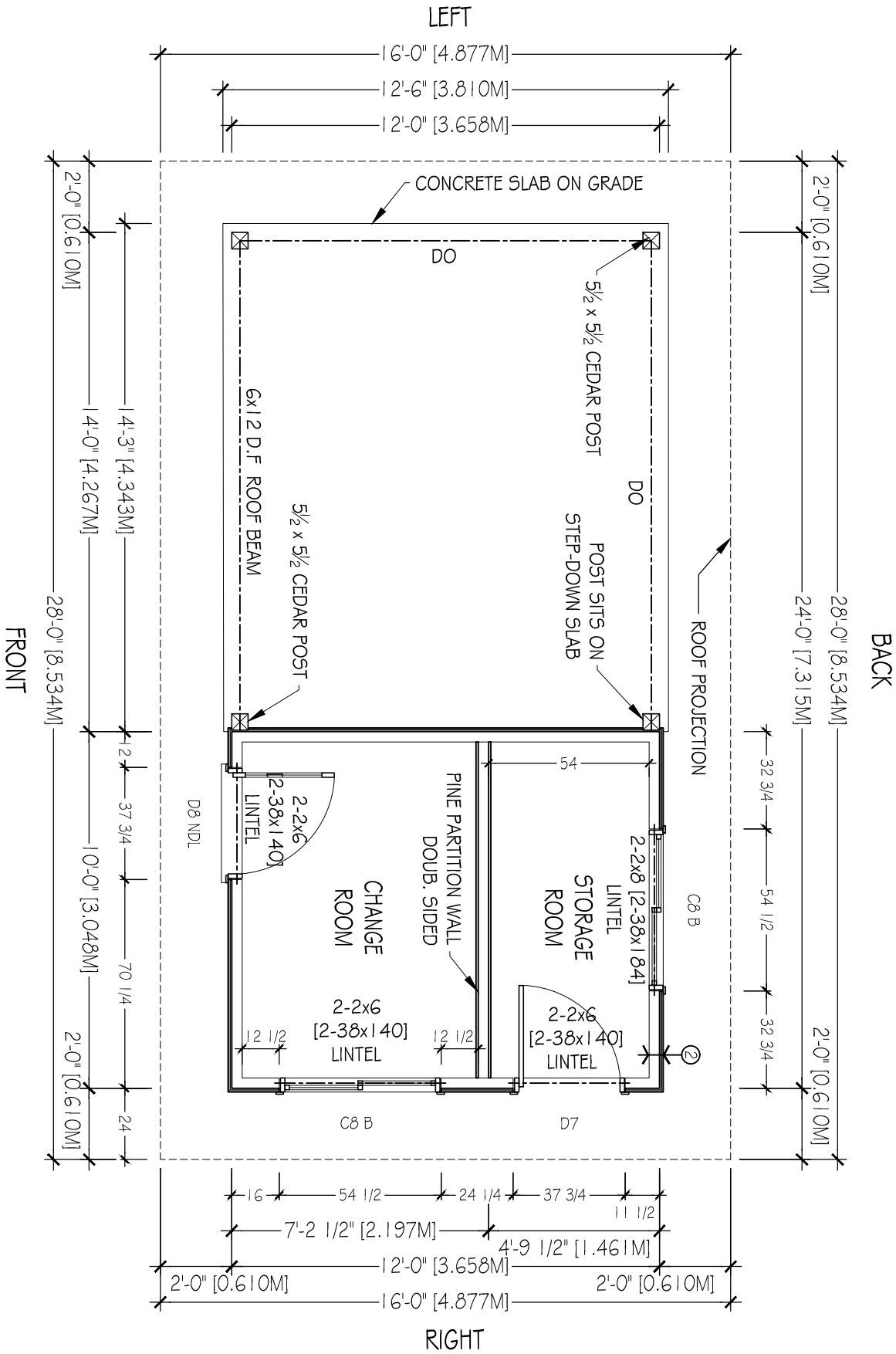
A-09

FOUNDATION LAYOUT

SCALE: 1/4" = 1'-0"

NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.

- DO : DITTO (REPEATS, SAME AS).
- NAIL SIZES AND PATTERNS AS PER BUILDING CODE.
- BU POSTS IF ANY, NAILED AS PER BUILDING CODE / OBC (MIN. TWO ROWS OF 3" NAILS @ 8" O/C)
- DRIP FLASHING SHALL BE INSTALLED OVER EXTERIOR WALL OPENINGS WHERE THE ROOF OVERHANG IS LESS THAN 4 TIMES THE DISTANCE ABOVE THE OPENINGS.



1 FLOOR PLAN

A-02 SCALE: 1/4" = 1'-0"



Tel: 416 498 93 79 / 1-800 663 50 42
www.summerwood.com
design@summerwood.com

PROJECT NAME:
12' x 24' SANARA

CUSTOMER:
HARRIS

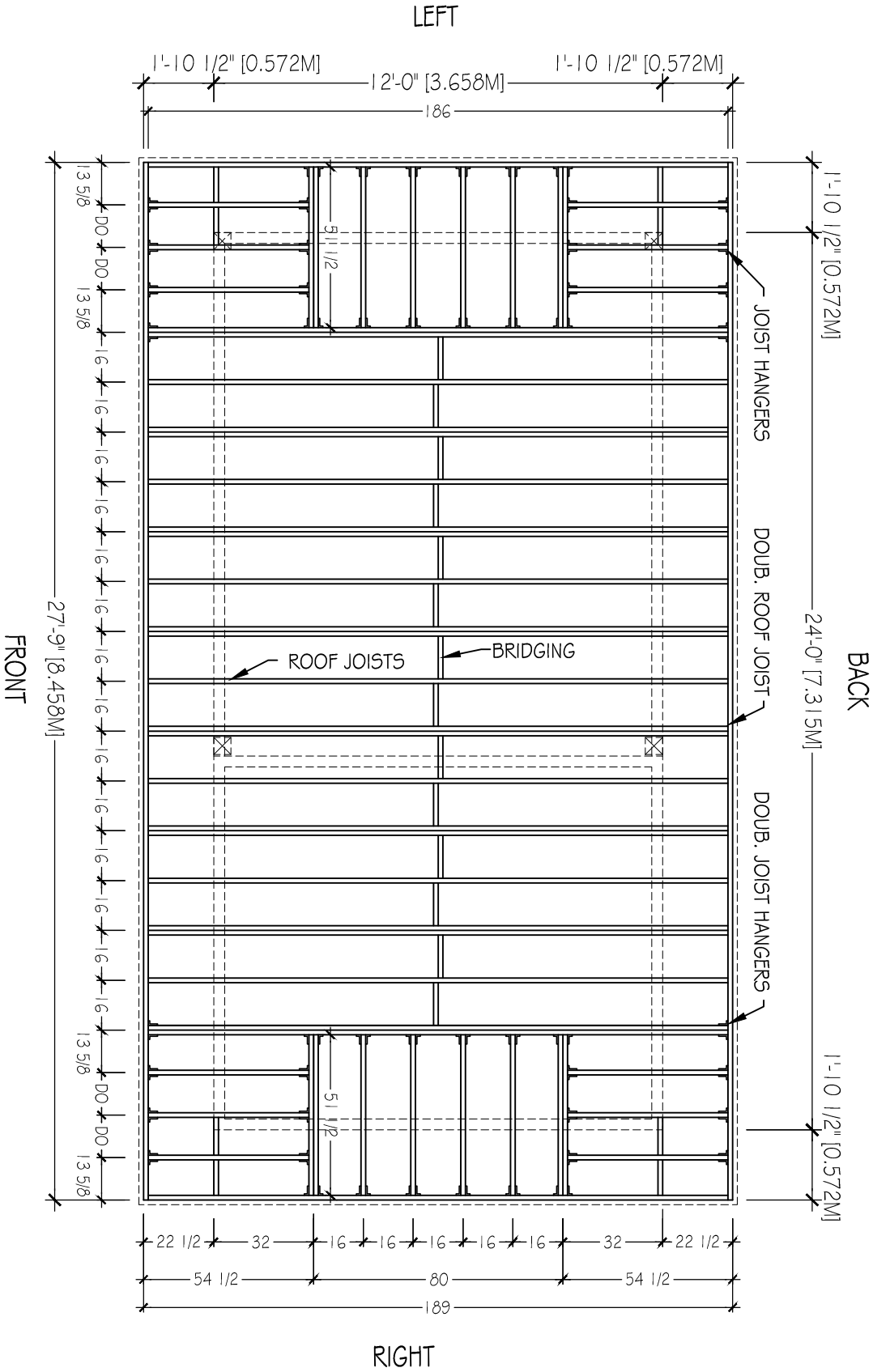
ORDER ID:
55206

DATE: 07 04 2020
PAGE: 02 OF 10
V1.02

NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.

ROOF FRAMING:

- 2x8 [38x184] ROOF JOISTS
@ 16" [0.40M] MAX. w/ BRIDGING,
DOUB. JOIST EVERY OTHER JOIST
- 6x12 DOUGLAS FIR-LARCH ROOF BEAMS
HURRICANE TIES ON EACH ROOF JOIST
(SIMPSON STRONG-TIE H2.5 OR BETTER).
- DO: DITTO (REPEATS, SAME AS).
- NAIL SIZES AND PATTERNS AS PER OBC /
LOCAL BUILDING CODE



ROOF FRAMING PLAN

A-03

SCALE: 1/4" = 1'-0"



Tel: 416 498 93 79 / 1-800 663 50 42
www.summerwood.com
design@summerwood.com

PROJECT NAME:
12' X 24' SANARA

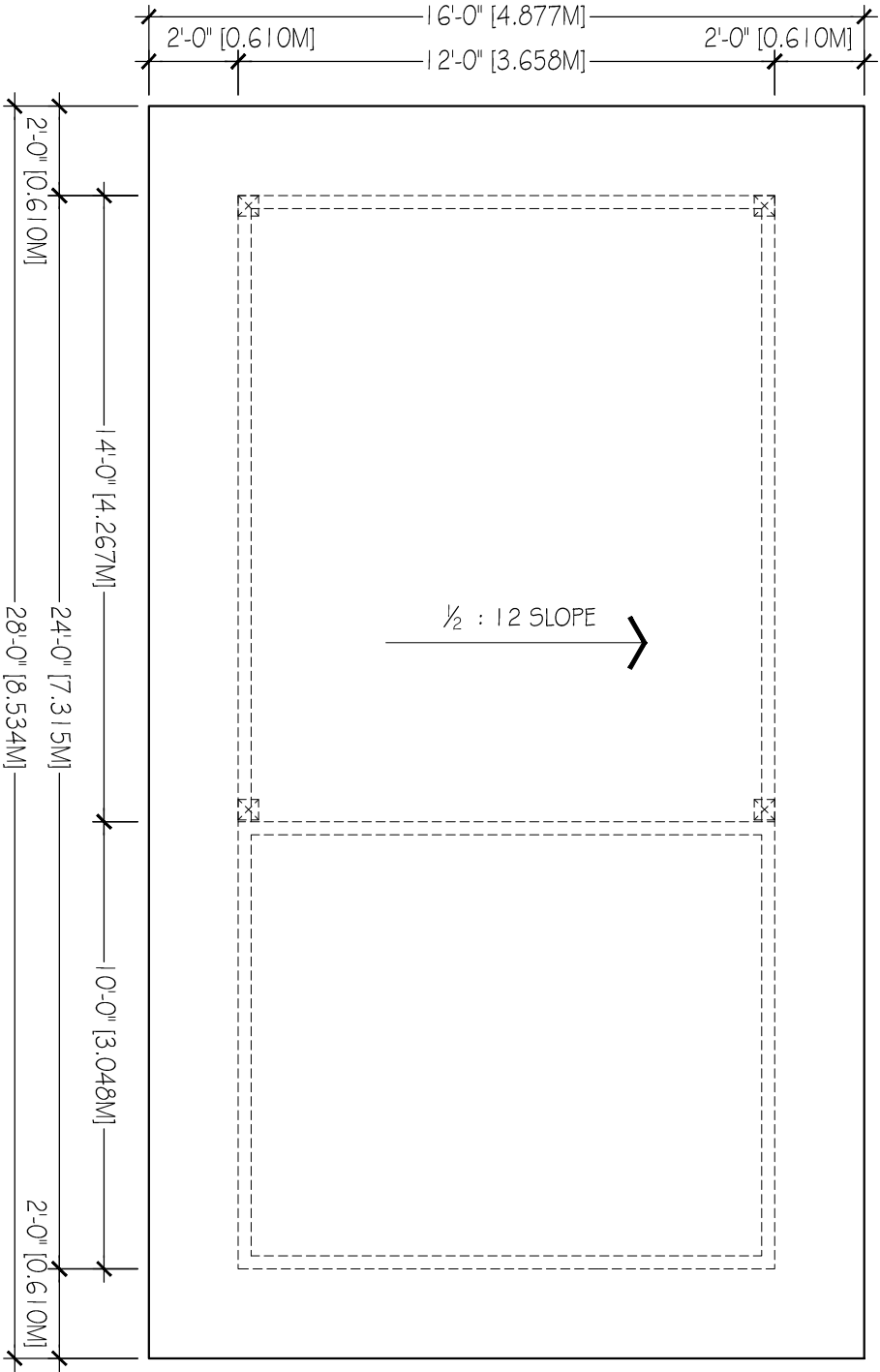
CUSTOMER:
HARRIS

ORDER ID:
55206

DATE: 07 04 2020
PAGE: 03 OF 10

V1.02

- ROOF COVERAGE: 448.00 Sq. Ft
[41.62M²]
- PROVIDE 3'-0" STRIP OF 1"CE & WATER SHIELD" ON EITHER SIDE OF ALL VALEYS AND ON ROOF ADJACENT TO VERTICAL WALL SURFACE AND PROVIDE EAVE PROTECTION (TYP.)
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFITS, ROOF OR GABLE VENTS OR A COMBINATION OF THESE, EQUALLY DISTRIBUTED BETWEEN THE TOP OF THE ROOF SPACE AND THE SOFFITS.
- ROOF VENTILATION TO HAVE A VENTING RATIO OF 1 TO 300 OF THE INSULATED CEILING AREA IF ANY. FLAT ROOFS & ROOFS WITH A SLOPE LESS THAN 1 IN 6 SHALL BE VENTED 1 TO 150.
- SLOPE ALL GUTTERS TOWARDS DOWNSPOUTS, LOCATION OF DOWNSPOUTS TO SUIT GRADE, CODE AND APPEARANCE, VERIFY W/ OWNER ON SITE.
- CONTRACTOR TO LOCATE DOWNSPOUTS IN THE BEST POSSIBLE LOCATION ON SITE IN ACCORDANCE TO OBC.



A-09

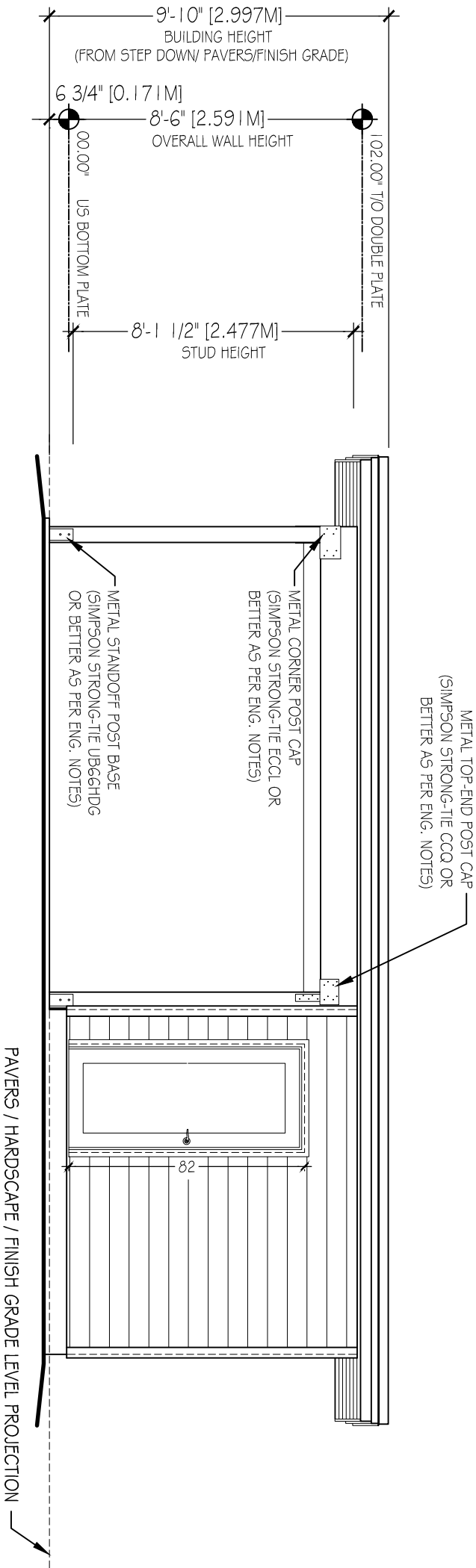
1

A-04

ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.



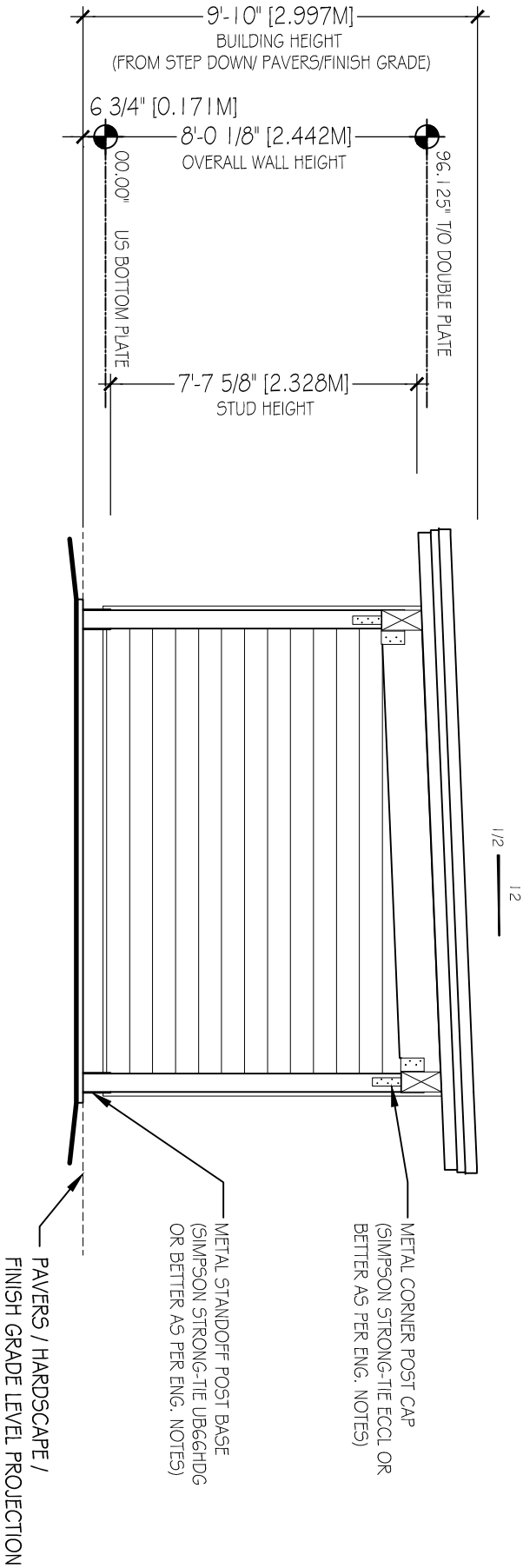
(FINISHED GRADE TO BE CONFIRMED
BY OWNER / CONTRACTOR)

FOUNDATION IS PROVIDED BY OWNER OR CONTRACTOR,
FOUNDATION SHOULD MEET LOCAL BUILDING CODE STANDARDS

1
A-05 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.

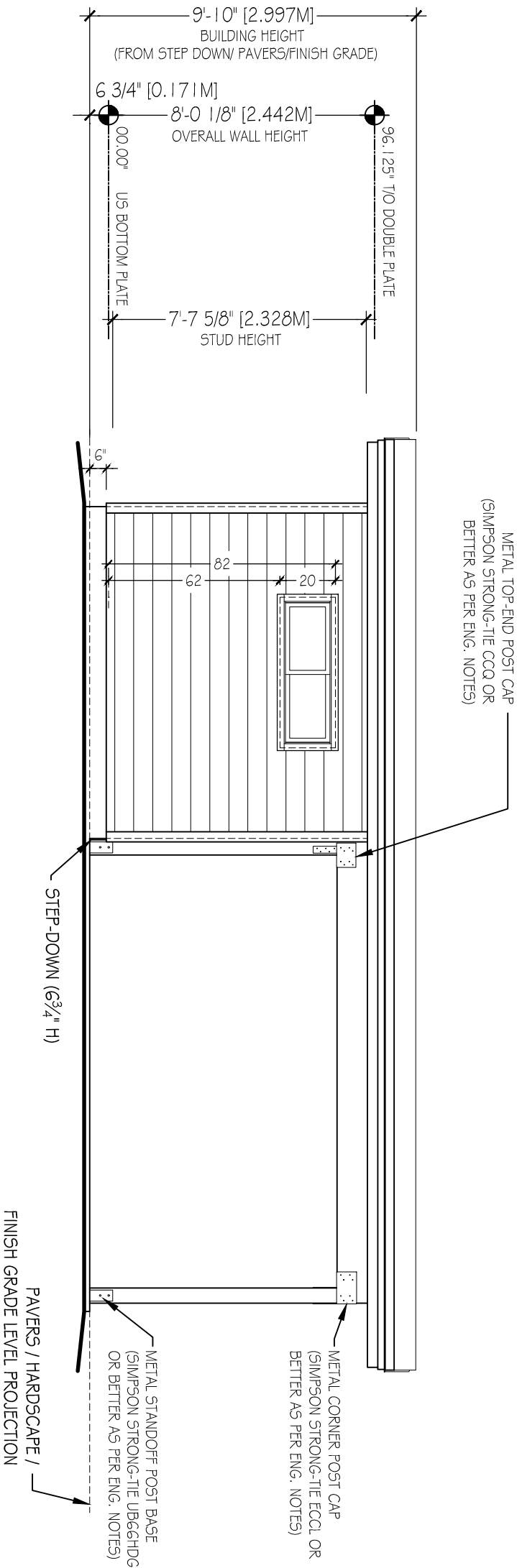


(FINISHED GRADE TO BE CONFIRMED
BY OWNER / CONTRACTOR)

FOUNDATION IS PROVIDED BY OWNER OR CONTRACTOR,
FOUNDATION SHOULD MEET LOCAL BUILDING CODE STANDARDS

1
A-06
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.



(FINISHED GRADE TO BE CONFIRMED
BY OWNER / CONTRACTOR)

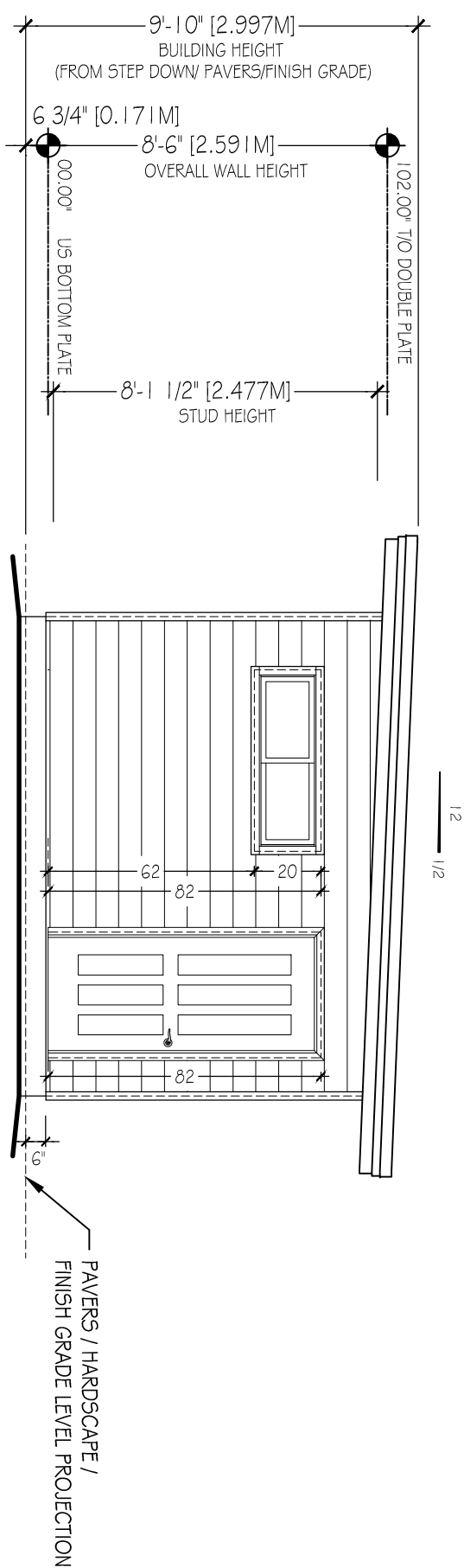
FOUNDATION IS PROVIDED BY OWNER OR CONTRACTOR,
FOUNDATION SHOULD MEET LOCAL BUILDING CODE STANDARDS

BACK ELEVATION

A-07

SCALE: 1/4" = 1'-0"

NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.



(FINISHED GRADE TO BE CONFIRMED
BY OWNER / CONTRACTOR)

FOUNDATION IS PROVIDED BY OWNER OR CONTRACTOR.
FOUNDATION SHOULD MEET LOCAL BUILDING CODE STANDARDS

1
RIGHT ELEVATION
A-08
SCALE: 1/4" = 1'-0"

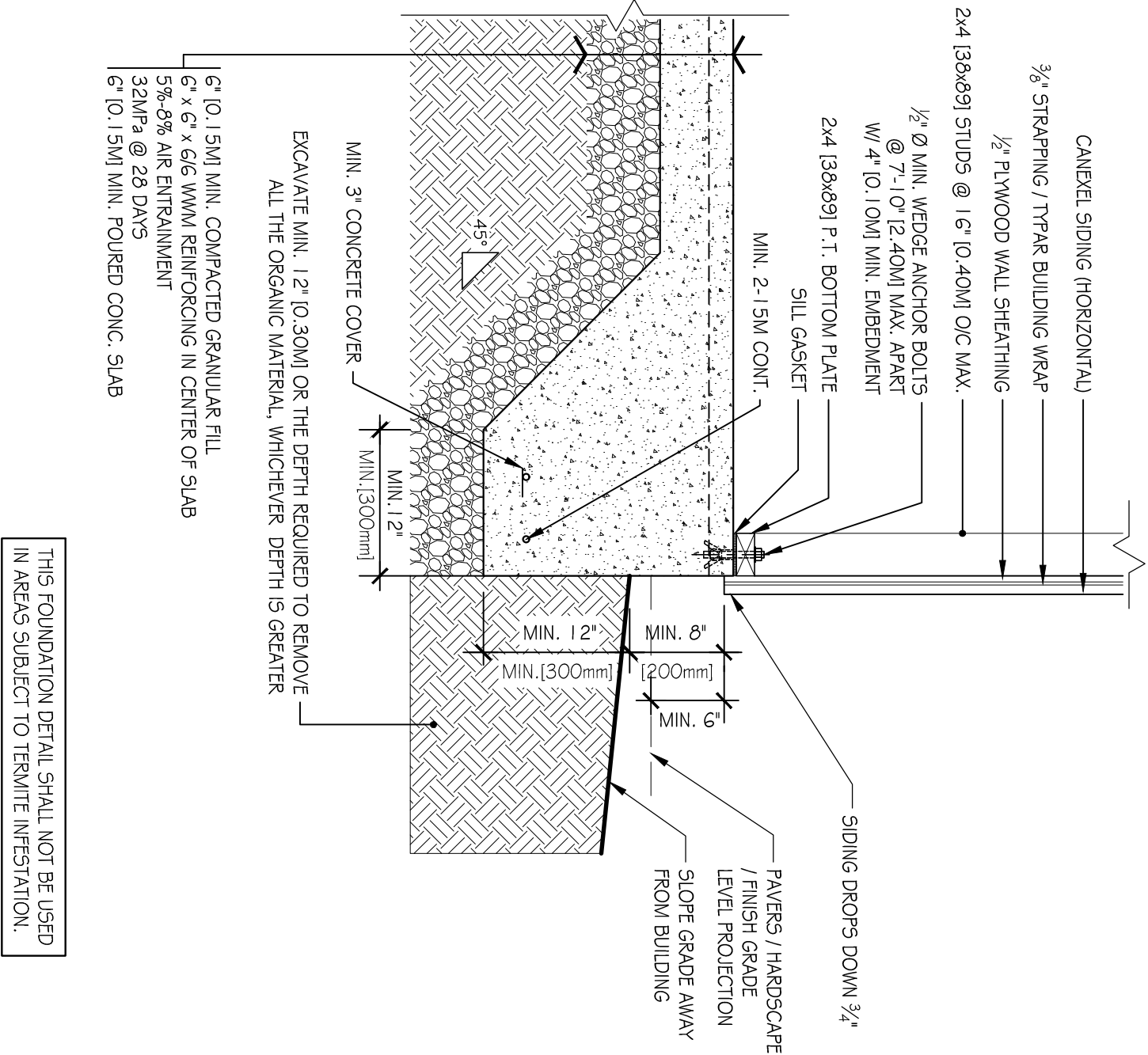
NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.



BUILDING SECTION
SCALE: 1/4" = 1'-0"

BUILDING SECTION
SCALE: 1/4" = 1'-0"

ROOM (ENCLOSED SPACE)



THIS FOUNDATION DETAIL SHALL NOT BE USED
IN AREAS SUBJECT TO TERMITE INFESTATION.

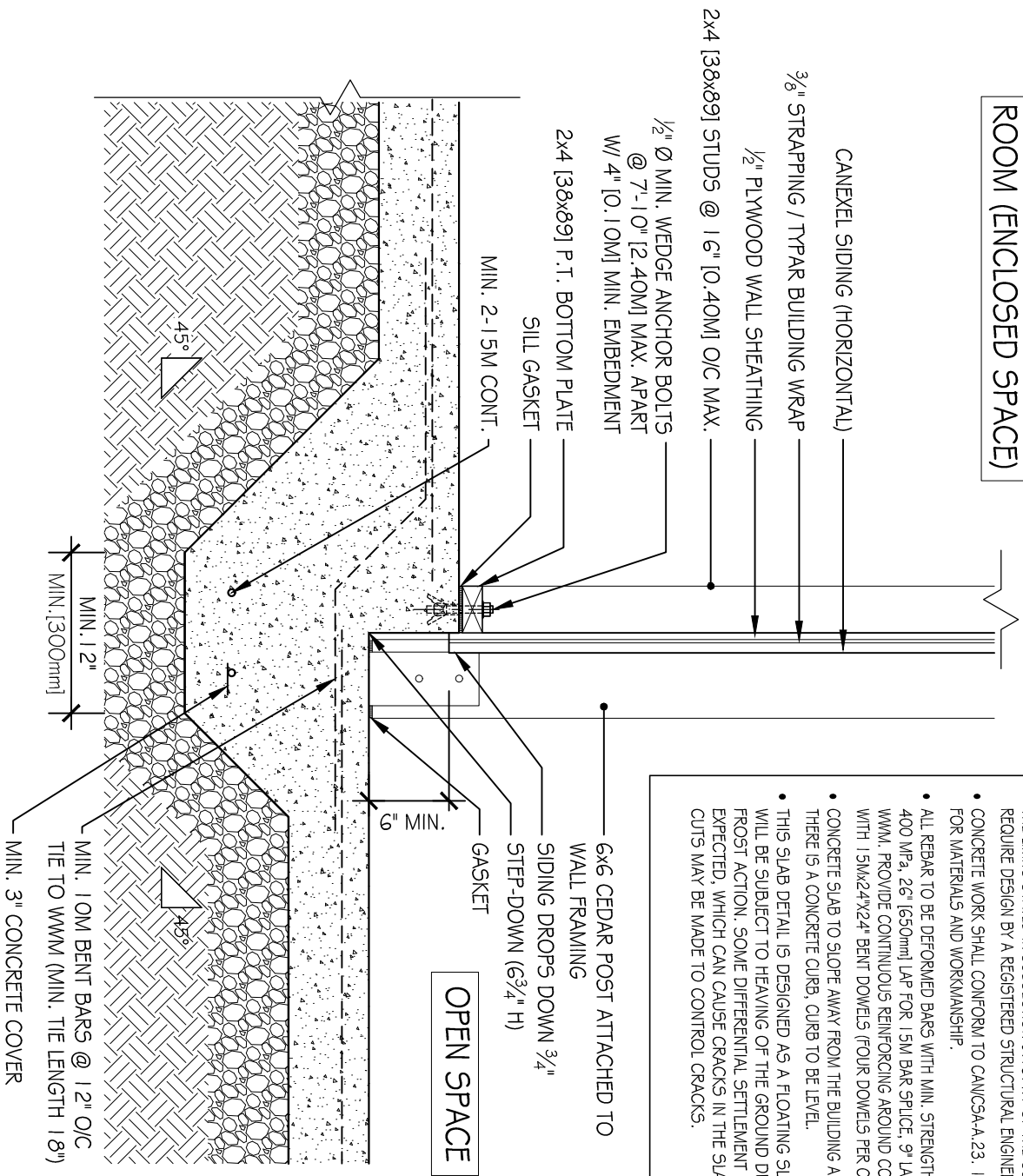
1 FOUNDATION DETAIL 1

SCALE: 1" = 1'-0"

A-10

FINISHED GRADE ELEVATION TO BE CONFIRMED BY OWNER / CONTRACTOR,
FOUNDATION TO BE PROVIDED BY OWNER/CONTRACTOR, AND SHOULD MEET
LOCAL BUILDING CODE STANDARDS

ROOM (ENCLOSED SPACE)



- FOUNDATION NOTES:**
- THIS IS A STANDARD DETAIL AND THE TECHNICAL INFORMATION SHOWN ON THIS SET OF DRAWINGS REGARDING FOUNDATIONS IS GENERAL IN NATURE, AND MAY OR MAY NOT REFLECT THE SPECIFIC SITE CONDITIONS. THE CUSTOMERS / CONTRACTORS ARE RESPONSIBLE FOR INDEPENDENTLY VERIFYING ANY AND ALL THE TECHNICAL INFORMATION ACCORDING TO THE SPECIFIC CONDITIONS OF THE SITE AND THE LOCAL BUILDING CODE.
 - MIN. ALLOWABLE BEARING CAPACITY OF SOIL ASSUMED 100 kPa, NON FROST SUSCEPTIBLE AND NOT SUSCEPTIBLE TO CHANGES IN VOLUME DUE TO VARIATIONS IN MOISTURE CONTENT. IF A LESSER BEARING CAPACITY IS ENCOUNTERED, IT IS RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE THE FOOTINGS REDESIGNED BY QUALIFIED PROFESSIONAL TO SUIT EXISTING CONDITIONS.
 - ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING THE LIMITS STATED IN SUBSECTION 9.1.5.4.1 OF THE OBC REQUIRE DESIGN BY A REGISTERED STRUCTURAL ENGINEER.
 - CONCRETE WORK SHALL CONFORM TO CAN/CSA-A-23.1, 2.3 FOR MATERIALS AND WORKMANSHIP.
 - ALL REBAR TO BE DEFORMED BARS WITH MIN. STRENGTH OF 400 MPa, 26" [650mm] LAP FOR 1.5M BAR SPLICE, 9" LAP FOR WMM. PROVIDE CONTINUOUS REINFORCING AROUND CORNER, WITH 1.5Mx24"x24" BENT DOWELS (FOUR DOWELS PER CORNER).
 - CONCRETE SLAB TO SLOPE AWAY FROM THE BUILDING AND IF THERE IS A CONCRETE CURB, CURB TO BE LEVEL.
 - THIS SLAB DETAIL IS DESIGNED AS A FLOATING SLAB AND WILL BE SUBJECT TO HEAVING OF THE GROUND DUE TO FROST ACTION. SOME DIFFERENTIAL SETTLEMENT CAN BE EXPECTED, WHICH CAN CAUSE CRACKS IN THE SLAB. CUTS MAY BE MADE TO CONTROL CRACKS.

2 FOUNDATION DETAIL 2

SCALE: 1" = 1'-0"

A-10

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

MacPherson, Adriana

Subject: FW: A058/21 - Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: April-16-21 3:02 PM
To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A058/21 - Request for Comments

Good afternoon Adriana,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

MacPherson, Adriana

Subject: FW: A058/21 - Request for Comments

From: Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>
Sent: April-14-21 4:09 PM
To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Cc: Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>
Subject: [External] RE: A058/21 - Request for Comments

Good afternoon,

As the property at 234 Wycliffe Avenue is outside the MTO permit control area, MTO has no comments.

Colin Mulrenin (he/him) | Corridor Management Officer | York
Highway Corridor Management Section – Central Operations
159 Sir William Hearst Avenue | Ministry of Transportation
7th Floor, Building D | Downsview, Ontario | M3M 0B7
Colin.Mulrenin@ontario.ca