



COMMITTEE OF THE WHOLE

TOWNHOUSE DEVELOPMENT
300 ATKINSON INC.

MAY 4TH, 2021
CITY OF VAUGHAN

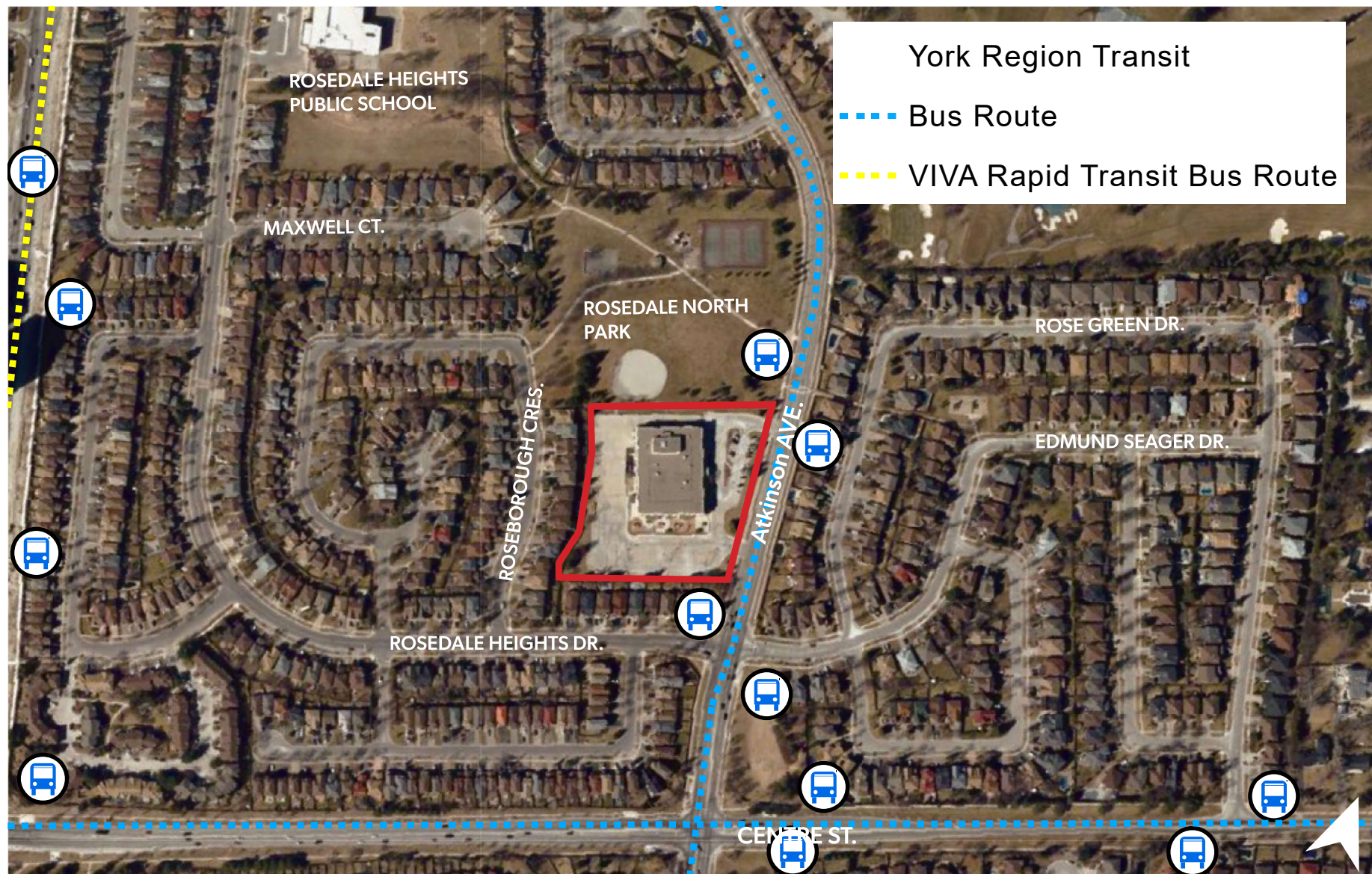
OFFICIAL PLAN AMENDMENT (FILE OP. 19.011)
ZONING BY-LAW AMENDMENT (FILE Z.19.002)
SITE DEVELOPMENT (FILE DA.19.083)
RELATED FILES (Z.19.028)



300 Atkinson Inc. Development Proposal



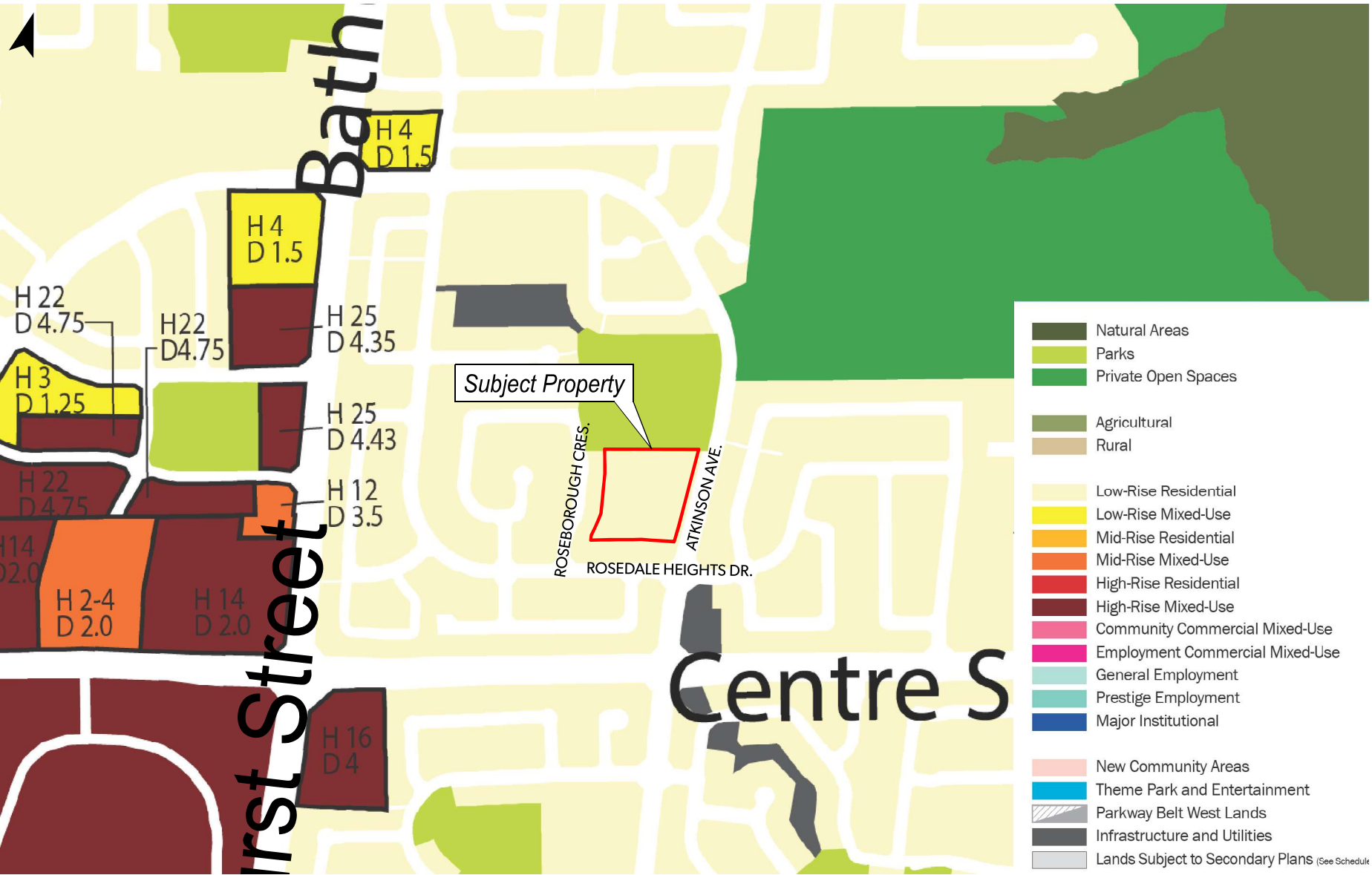
Subject Lands



Aerial Image of the Subject Site

- Site area - 1.7 ha (4.2 acres)
- A school building occupies the site and is surrounded by parking and outdoor play areas
- Frontage of 140 m along Atkinson Avenue
- Change in grade from west to east
- Existing vehicle access from Atkinson Avenue
- Abuts Rosedale North Park to the north
- Serviced by a number of local YRT transit stops along Atkinson Avenue, with higher order facilities along Bathurst Street, Centre Street and at Promenade Mall

Policy Framework Review - Vaughan Official Plan



Subject property designated “Low-Rise Residential”, by VOP 2010 which permits low-rise residential and community uses, including:

- Residential units (Detached Houses, Semi-Detached Houses, Townhouses)
- Public and Private Institutional Buildings

Townhouses are permitted in the Low-Rise Residential designation, back-to-back townhouses are not explicitly recognized in the VOP 2010

Official Plan Amendment submitted to recognize back-to-back townhouses

Maximum permitted height in Low-Rise Residential designation is 3 storeys

Consistent with the policies and direction of the PPS

Land Use Schedule

Policy Framework Review - Zoning By-law 1-88



Zoning Map

- Subject property zoned “R3 – Residential”
- Zoning By-law Amendment submitted to rezone the subject lands from “R3 Single Family Detached Dwelling” to “RM2 Apartment Residential Zone”.
- Site specific provisions to facilitate a residential development comprised of 15 blocks of traditional and back-to-back townhouse units.

Site Plan and Statistics

Site Plan Statistics

- Total GFA: 18,183.70 m²
- Net FSI: 1.12
- Net Coverage: 5,963.70 (36.71%)
- Maximum Height: 12.91 m (3 storeys)
- Total Units: 114

Parking Required

- Resident (1.5/unit): 171 spaces
- Visitor (0.2/unit): 23 spaces
- Total: 194 spaces

Parking Proposed

- Resident: 222 spaces
- Visitor: 26 spaces
- Total: 248 spaces

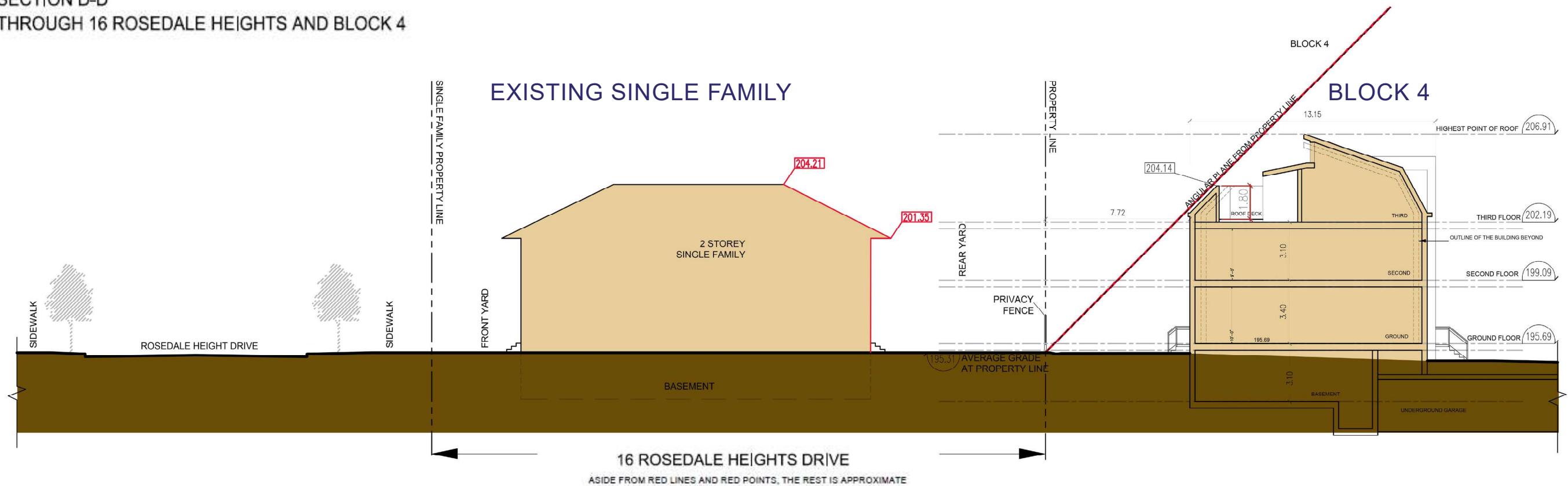
Regular Townhouses

B2B Townhouses



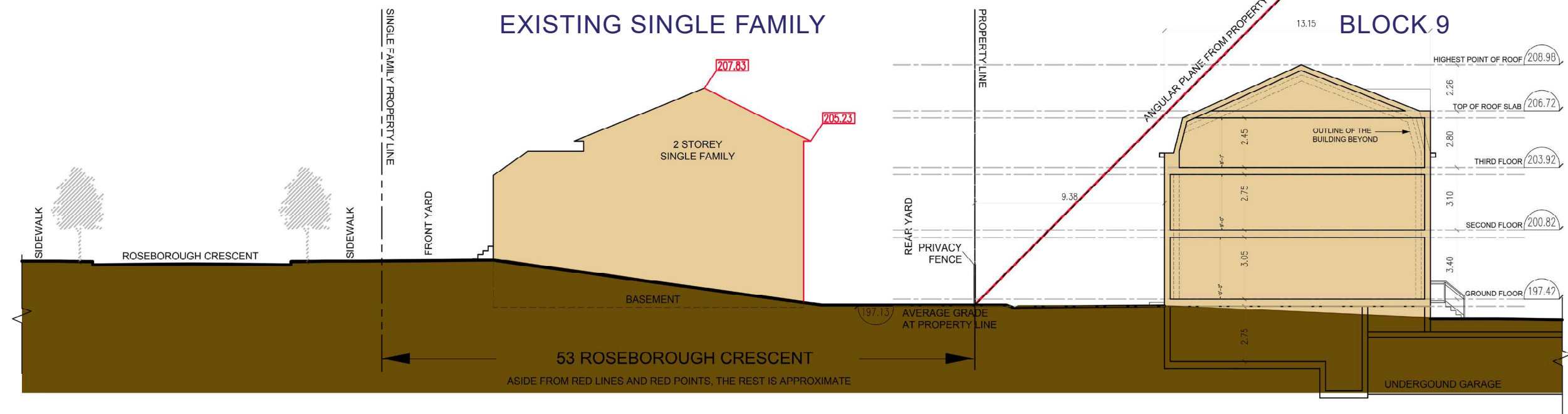
Cross Section - South Side (Flanking Rosedale Heights Drive)

SECTION D-D
THROUGH 16 ROSEDALE HEIGHTS AND BLOCK 4



Cross Section - West Side (Flanking Roseborough Cres.)

SECTION A-A
THROUGH 53 ROSEBOROUGH CRESENT AND BLOCK 9



Elevation



300 ATKINSON AVENUE, ON

Bird's Eye View



Thank You
Comments and Questions?