



Committee of Adjustment

30 Clubhouse Rd, Woodbridge

Prepared For:

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L4L2W2

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Subject Lands Description

The dwelling is located in the neighbourhood known as "Pine Wood States" also known as "The National" and is composed of rural residential dwellings. The neighbourhood has been redeveloped through the years to have a large cross section in styles, and scales. Each dwelling and property is planned carefully in an attempt to represent various style. This neighbourhood is one of Vaughan's most prestigious communities. The National Golf Course is a private golf course located on the North East corner of Langstaff and Pine Valley, and flanks the road access into this eclectic community. The nearest major intersection is Pine Valley Dr. and Langstaff Rd.

The property has a frontage of 98.99 m, and a lot area of 4046 sq.m.



Fig. 1 – Context map - Red region indicates the subject lands location in the neighbourhood



Official Plan & Official By-Law

The proposal for 30 Clubhouse Rd is to construct a cabana which is aligned with the types of properties in the neighbourhood. This cabana is necessary for the home owner so that when they are performing outdoor duties in their backyard (ie. gardening, using the pool) they do not need to travel indoors to clean up.

Figure 2 below demonstrates the placement, shape, and orientation of the proposed cabana on the subject land in relation to the zoning setbacks.

The subject property is designated as RR in the City of Vaughan By-law 1-88. The permitted uses for the lands are rural residential detached dwellings.

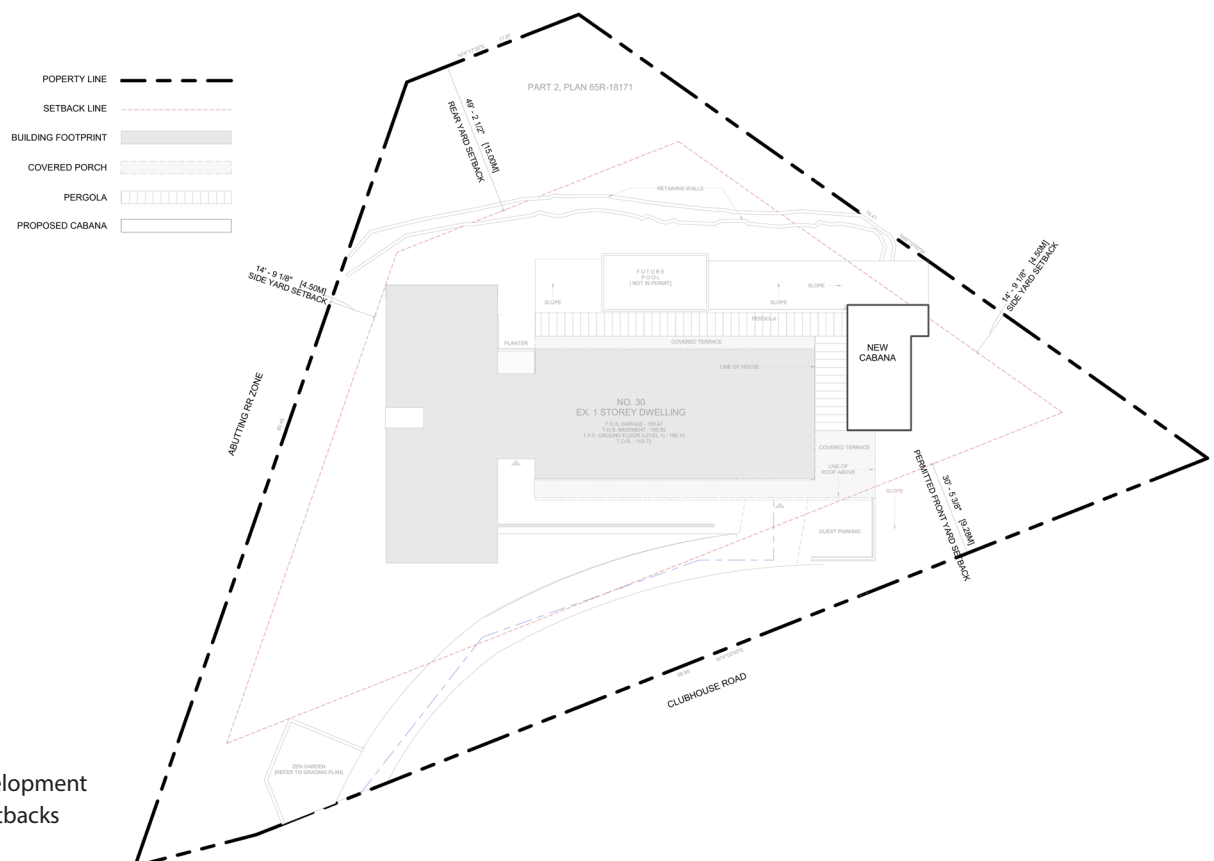


Fig. 2 – Proposed Development
on lot with Zoning Setbacks



The proposed land use and built-form complies with what is permitted in the By-law, except for the location of the accessory building, , interior side setback, lot coverage for an accessory structure, total lot coverage percentage , and accessory building's nearest part of the roof height.

Table A provides an analysis of the zoning requirements and the proposed

Table A - Zoning Requirements and Proposed Development

	Zoning Standard	Required In RR Zone	Existing	Proposed
2	Min. Interior Side Yard Setback	4.5m	N/A	3.47m
3	Max. Lot Coverage for the Accessory Structure	67 sq.m	N/A	80.05 sq.m
4	Max. Lot Coverage	10% (404.6 sq.m)	18.7% (759.2 sq.m)	20.7% (837.5 sq.m)
5	Max. Height to the nearest part of the roof	3.0m	N/A	3.04m

The zoning variances requested in this application are in response to the constraints posed by the By-law requirements. These restrictions include the accessory structure's location which should be in the rear yard, a 4.5m interior side setback, 67 sq.m lot coverage for the accessory structure, a 10% lot coverage allowance, and maximum height of 3.0m to the nearest part of the roof.

Figure 3 demonstrates the buildable area on the site with the zoning setbacks imposed upon the new structure. Figure 4 shows the proposed elevation and heights regarding the cabana which is in alignment with the existing dwelling heights.

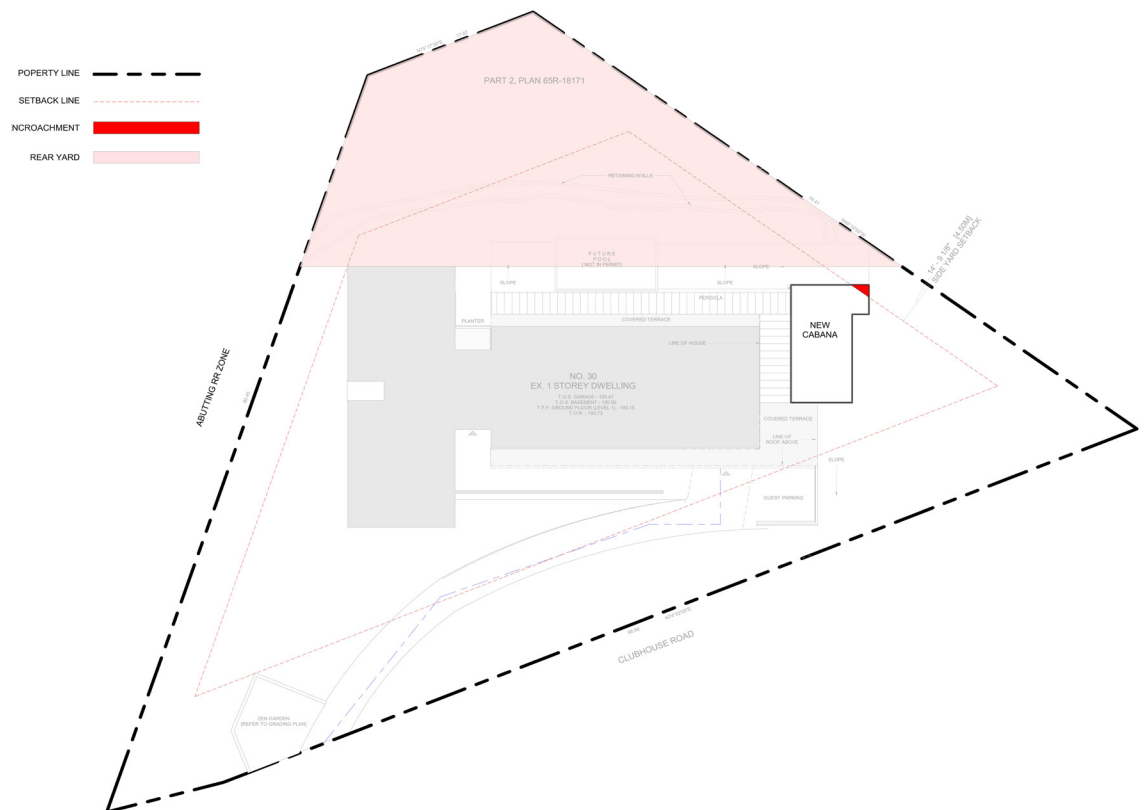


Fig. 3 – Site restrictions and buildable area

DIFFERENCE BETWEEN THE ALLOWED HEIGHT TO THE NEAREST PART OF THE ROOF AND THE PROPOSED HEIGHT

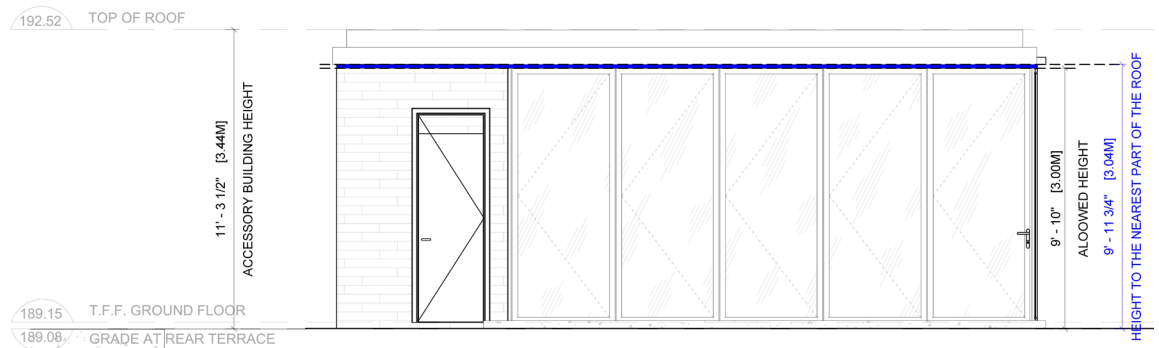


Fig. 4 – Height restrictions and the accessory building elevation



Requested Variations

A Minor Variance application has been submitted to permit construction to the existing site and requires relief of zoning provisions for the following items:

City of Vaughan 1-88 By-Law

1. By-Law 4.1.1.(c) Requires any accessory building or structure to be located in the rear yard.
2. Schedule 'A' Standards for the Rural Residential (RR) Zone Minimum Interior Side Yard Setback
 - The minimum permitted side yard setback is 4.5m
 - The proposed side yard setback is 3.47 m
3. By-Law 4.1.1.(a) for the accessory building's lot coverage
 - A maximum lot coverage of all accessory structures shall not exceed 67 sq.m
 - The lot coverage for the proposed accessory building(cabana) is 80.05 sq.m
4. Schedule 'A' Standards for the Rural Residential (RR) Zone Lot Coverage
 - The maximum permitted lot coverage is 10%.
 - The existing lot coverage is 18.7%.
 - The proposed lot coverage is 20.7%.
5. By law 4.1.1(b) for the maximum height of the accessory building to the nearest part of the roof
 - The maximum permitted height is 3.0m.
 - The proposed height is 3.04m.



Planning Justification

LOCATION OF CABANA

Due to the unconventional shape of the lot, the setbacks, the dwelling's location, and the site topography, the proposed cabana is not located in the rear yard as it has been defined in the by-law. The cabana is located on the side yard in order to work with the pool, the rear yard landscape and the dwelling. The rear yard is defined as the remainder of the lot beyond the rear yard wall of the home.

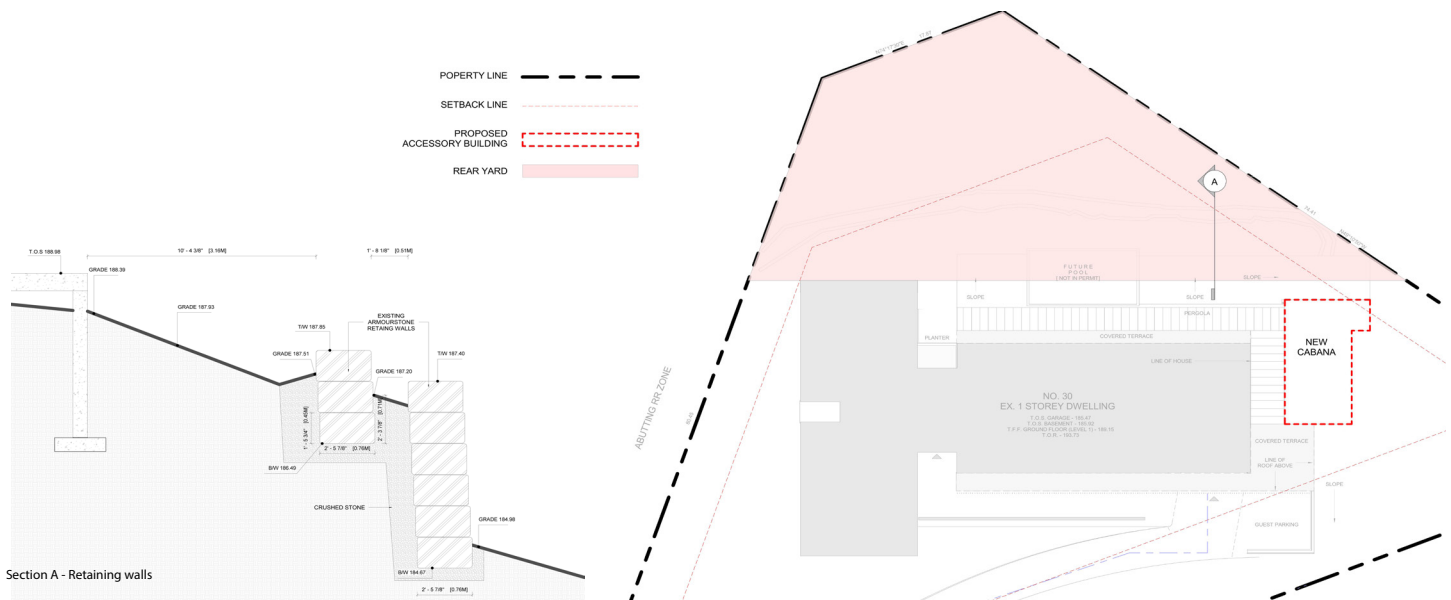


Fig. 5 – Location of the Proposed Cabana in regard to the Rear Yard

Variances for accessory building's location were granted and determined minor for the following properties:

- File A227/14 Item 3 (An accessory building(cabana) to be patially located outside of the rear yard.
- File A139/20 Item 1 (Requested: The proposed cabana not to be located in the rear yard)



SIDE YARD SETBACK

In order to provide a washroom that can be accessible from both cabana and the rear yard, a small portion of the cabana has encroached into the side yard setback.

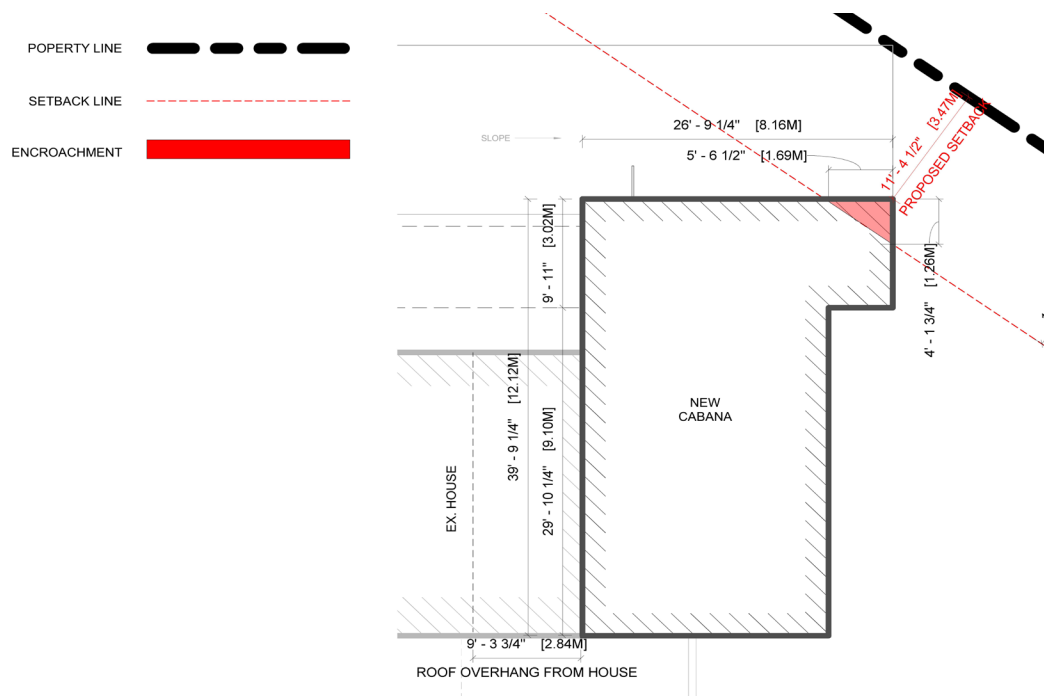


Fig. 5 – Portion Of Accessory building
(Cabana) Impeding Side Yard Setback

Our proposal is consistent with similar applications that have been approved, including applications with smaller setbacks. Variances for side yard setback were granted and determined minor for the following properties:

- File A324/16 Item 6 (Required: 4.5m, Approved: 1.60m) [+2.9m]
- File A224/17 Item 3 (Required: 4.5m, Approved: 2.13m) [+2.37m]
- [File A139/20 Item 2 \(Required: 4.5m, Requested: 3.47m\) \[+1.03m\]](#)



ACCESSORY BUILDING LOT COVERAGE

The cabana is shaped in alignment with the dwelling in both plan and elevation. There is a minimum width given to this structure to have a small lounge, a kitchenette, and a washroom that could be accessed through the cabana itself and the rear yard. This accessory structure also provides privacy to the rear yard and the pool from the east side.

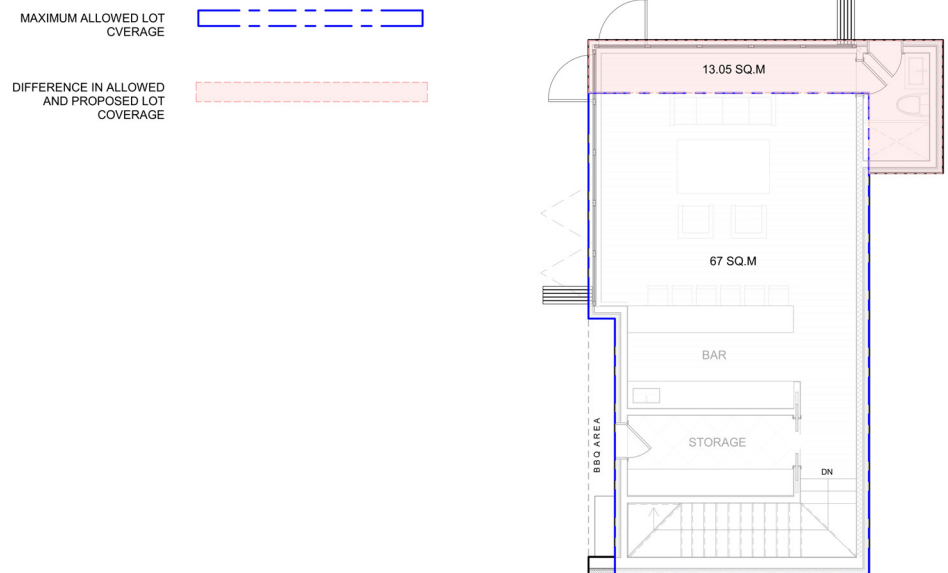


Fig. 6 – Existing Dwelling + Proposed
Detached Garage + New Covered Porch

Similar coverage variances have been historically supported. Here are some examples of applications that have greater accessory building coverages than our request:

- File A224/17 Item 6(Required: 67m², Approved: 220.24m²) [+157.24m²]
- File A152/13 Item 3 (Required: 67m², Approved: 143.2m²) [+76.2m²]
- File A323/17 Item 5(Required: 67m²,Approved: 109.11m²)[+42.11m²]
- File A139/20 Item 4(Required: 67m², Requested:80.05m²)[+13.05m²]



LOT COVERAGE PERCENTAGE

Our proposal includes one element that is impacting the lot coverage. The new cabana adds 2% to the lot coverage. The cabana is proposed to provide an indoor space which can be used for cleaning up after various activities in the rear yard such as gardening and swimming without the need to enter the dwelling and travel all the way to the vanities. This proposed accessory building will add 2% to the existing lot coverage which is 18.7% and the proposed lot coverage will be 20.7%.

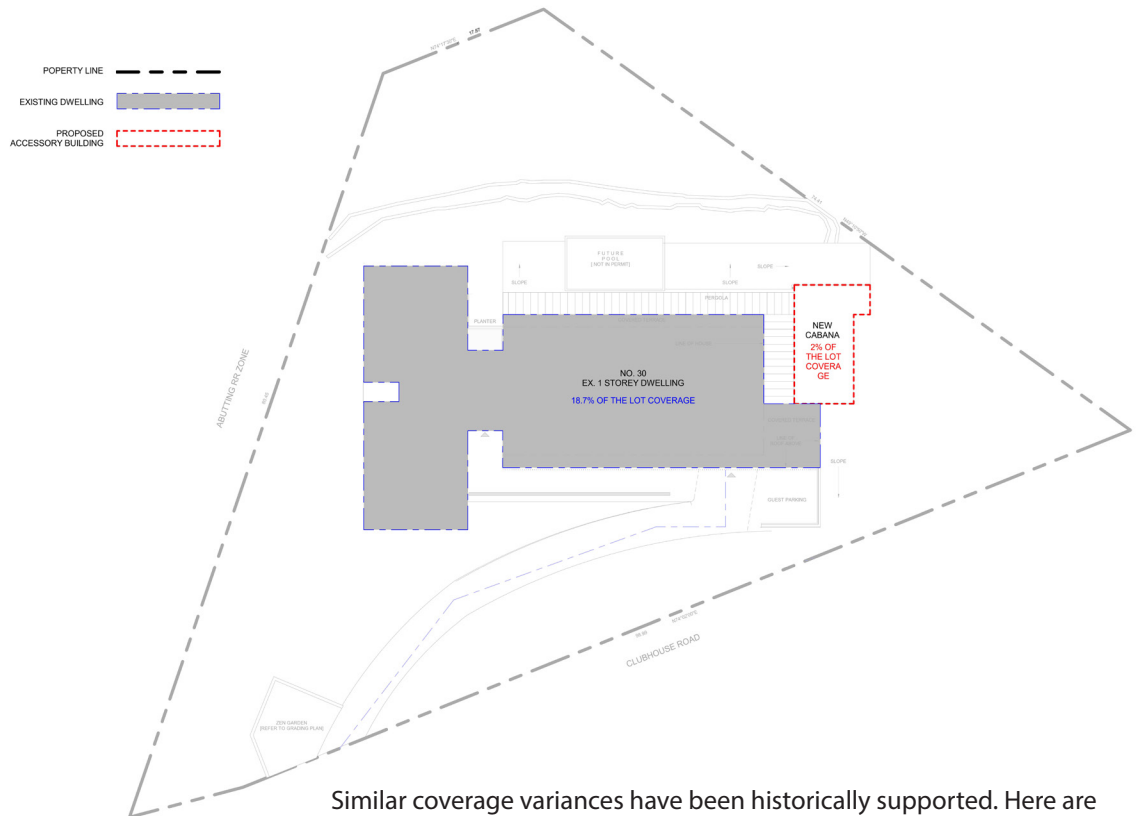


Fig. 6 – Existing Dwelling +
Proposed Cabana

Similar coverage variances have been historically supported. Here are some examples of applications that have greater coverages than our request:

- File A095/18 Item 1 (Required: 10%, Approved: 21.98%) [+11.98%]
- File A152/13 Item 2 (Required: 10%, Approved: 21.56%) [+11.56%]
- [File A139/20 Item 4 \(Required: 10%, Requested: 20.7%\) \[+10.7%\]](#)



ACCESSORY BUILDING HEIGHT

In order to align the cabans with the main building, the proposed height of the accessory building to the nearest part of the roof is 3.04m which is just 4 cm higher than the by-law requirement.

DIFFERENCE BETWEEN THE ALLOWED HEIGHT
TO THE NEAREST PART OF THE ROOF AND THE
PROPOSED HEIGHT

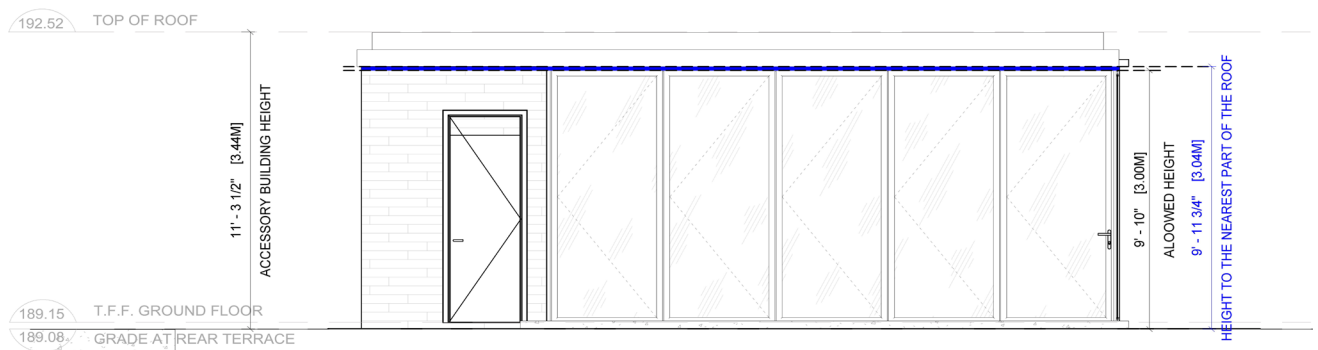


Fig. 8– Existing Dwelling + Detached Garage Elevation

Here is a list of approved applications with higher accessory building nearest part of the roof heights:

- File A082/14 Item 5 (Required: 3.0m, Approved: 5.61m) [+2.61m]
- File A323/17 Item 4 (Required: 3.0m, Approved: 3.88m) [+0.88m]
- [File A139/20 Item 4 \(Required: 3.0m, Requested: 3.04m\) \[+0.04m\]](#)



Conclusion

We feel the evidence contained within this report proves that the requested variances pass each of the four tests required under Subsection 45(1) of the Planning Act.

TEST 1
THE GENERAL INTENT OF THE OFFICIAL PLAN
IS MAINTAINED:

The proposal is in keeping with the intent of the Official Plan. The intent of the proposal is to update the subject property to contemporary dwelling standards. The proposal is similar in size to many other new construction homes in the neighbourhood, is consistent with the city's Official Plan to intensify and improve buildings in existing neighbourhoods, and maintains land use designations.

TEST 2
THE GENERAL INTENT OF THE ZONING BY-
LAW IS MAINTAINED:

The proposal is in keeping with the intent of the City of Vaughan By-laws in effect. The required variances are only proposed where it is functionally necessary. The variances do not represent significant departures from the regulations of the zoning by-law and are consistent with the intent and purpose of the by-law.

TEST 3
THE VARIANCE IS MINOR:

The variances are minor in nature and where applicable are supported by previously accepted variances. The proposed variances do not impede the function of the by-laws, nor do they negatively impact the neighbourhood, and should thus be considered minor.

TEST 4
THE VARIANCE IS DESIRABLE:

The variances are desirable because it will produce a proposal that is similar to and compatible with other dwellings in the community. The proposed detached garage is respectful of the existing site, and is comparable in scale to the other garages in the neighbourhood.



Addendum

All the approved applications that has been used as a reference in the previous pages are listed here with details:

- Application A152/13 - 246 Pine Valley Cres, Woodbridge - Applicant Giovanna Hunter
- Application A082/14 - 246 Pine Valley Cres, Woodbridge - Applicant Giovanna Hunter
- Application A227/14 - 109 Pine Valley Cres, Woodbridge - Applicant Jason Gabriele
- Application A324/16 - 114 Clubhouse Rd, Woodbridge - Applicant Sandra Tonietto
- Application A224/17 - 284 Pine Valley Cres, Woodbridge - Applicant Tone De Marco
- Application A323/17 - 80 Fenyrose Cres, Woodbridge - Applicant Elden Forskin
- Application A095/18 - 92 Clubhouse Rd, Woodbridge - Applicant William Everard Clubine