

File: A054/21**Applicant:** Giancarlo & Tracie Staffieri**Address:** 19 Trinita Ave Woodbridge**Agent:** None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning		
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday, April 29, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance
Application

Agenda Item: 24

A054/21

Ward: 3

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, April 29, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Giancarlo & Tracie Staffieri

Agent: None

Property: 19 Trinita Ave Woodbridge

Zoning: The subject lands are zoned RV3(WS) and subject to the provisions of Exception 9(1024) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from by-law 1-88, as amended, is being requested to permit the construction of a proposed cabana and loggia. The cabana is to be located in the westerly side yard and the loggia is to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. An accessory building or structure shall be located in the rear yard.	1. To permit an accessory building in the interior side yard.
2. The minimum rear yard setback required is 6.0 metres to a Loggia.	2. To permit a minimum rear yard setback of 3.32 metres to a Loggia.
3. The minimum rear yard setback required is 2.82 metres to an eaves or gutter of an Accessory Building (Loggia).	3. To permit a minimum rear yard setback of 2.71 metres to an eaves or gutter to an Accessory Building (Loggia).

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until noon on the last business day prior to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on April 14, 2021

Applicant confirmed posting of signage on April 15, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2005 (Purchased 2015)

Applicant has advised that they cannot comply with By-law for the following reason(s): The current lot and setback by-law limit building structures.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 21-100733 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued).

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.

Building Inspections (Septic):
No response

Development Planning:
Official Plan: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Application under review

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A054/21.

Parks Development - Forestry:
Tree protection & preservation methods must be followed according to City of Vaughan’s Tree Protection By-law 052-2018. Tree protection shall be installed as outlined in the arborist report prior to the commencement of any construction/demolition activities.

No construction activity, grade changes, surface treatment, excavations of any kind or material storage is permitted within the Tree Protection Zone.

Applicant shall notify Vaughan Forestry once Tree Protection (Hoarding) has been installed, to allow Vaughan Forestry to inspect and approve according to By-law 052-2018.

Recommended condition of approval:

Applicant is required to apply for a Private Property Tree Removal & Protection Permit (Construction/Infill). This is required for the injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.

By-Law and Compliance, Licensing and Permit Services:
No comments or concerns.

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No comments received to date.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections
MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: N/A

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Parks, Forestry and Horticulture Operations Zachary Guizzetti 905-832-8585 x 3614 Zachary.Guizzetti@vaughan.ca	Applicant is required to apply for a Private Property Tree Removal & Protection Permit (Construction/Infill). This is required for the injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.
2	Development Planning Michael Torres / Roberto Simbana 905-832-8585 x 8933 Michael.Torres@vaughan.ca	Application under review

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://www.vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

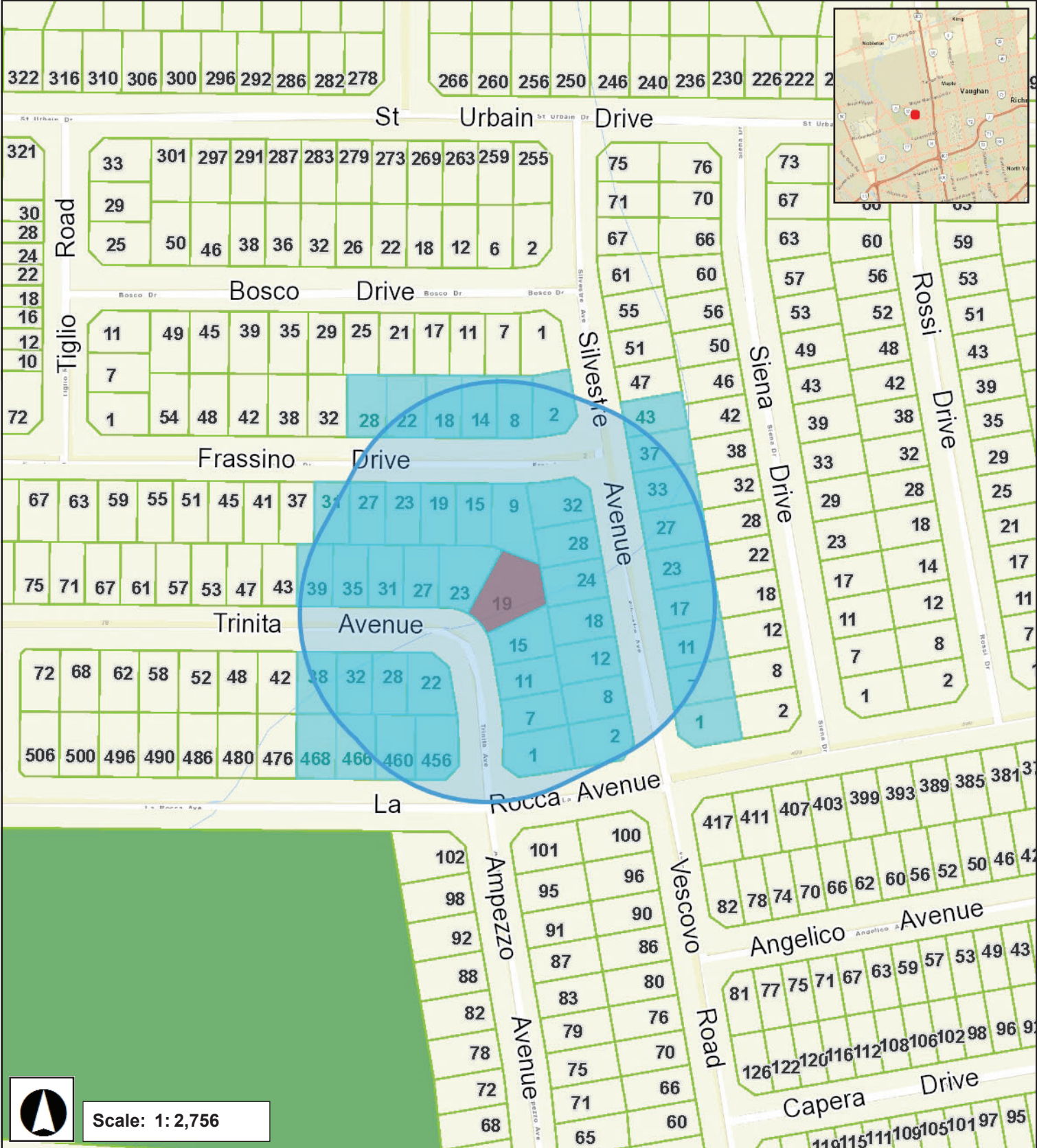
Location Map
Plans & Sketches



LOCATION MAP - A054/21

19 TRINITA AVENUE, WOODBRIDGE

Major Mackenzie Drive



Rutherford Road

April 1, 2021 5:20 PM

RECEIVED

April 22, 2021
Committee of Adjustment



SCOPE OF WORK:

CONSTRUCTION OF REAR YARD CANOPY
OVER NEW PORCH AREA.

AND

CONSTRUCTION OF NEW CABANA.

INFORMATION TAKEN FROM SURVEY:

SURVEYOR'S REAL PROPERTY REPORT
PART 1
LOTS 318 TO 328 BOTH INCLUSIVE
REGISTERED PLAN 65M-3811
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

BY P. SALNA CO. LTD. O.L.S.
DATED 2006 APRIL 12

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE
FIELD. ANY DISCREPANCIES MUST BE REPORTED
BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS
AND/OR SPECIFICATIONS AND TO CONFORM TO THE
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE
CODES AND AUTHORITIES HAVING JURISDICTION. THESE
REQUIREMENTS ARE TO BE TAKEN AS MINIMUM
SPECIFICATIONS. ONT. REG. 332/12.

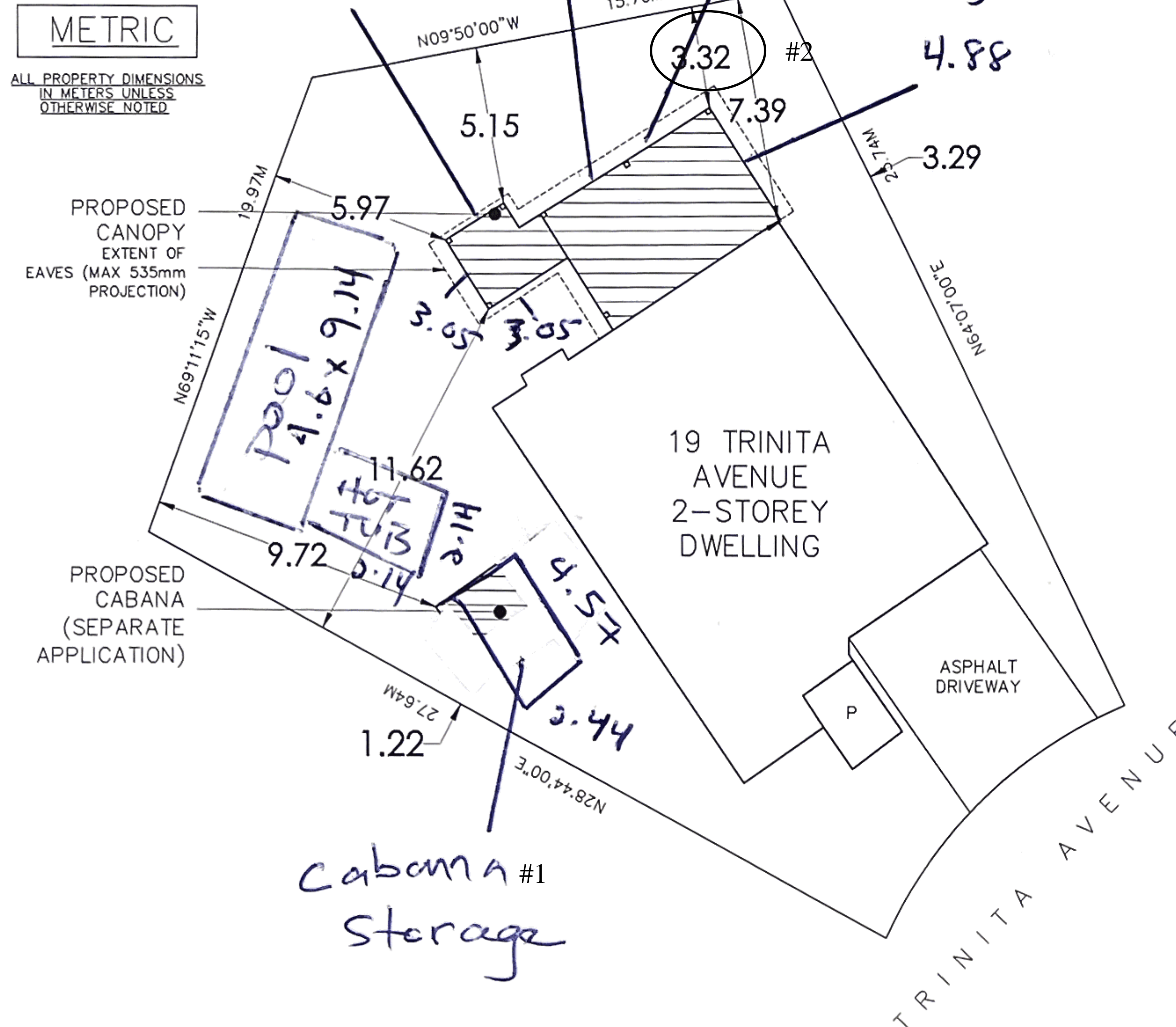
BUILDING STATISTICS:

SITE AREA: 581.63 SM (APPROXIMATE)
DWELLING COVERAGE: 147.18 SM (APPROXIMATE)

CANOPY COVERAGE: 36.23 SM
CANOPY HEIGHT: 3.63M

CABANA COVERAGE: 11.15SM
CABANA HEIGHT: 3.14SM

BUILDING HEIGHTS TAKEN FROM APPROX. EXIST
ESTABLISHED GRADE.



A054/21

Permit accessory building in the interior side yard

METRIC
ALL PROPERTY DIMENSIONS
IN METERS UNLESS
OTHERWISE NOTED

PROPOSED LOGGIA
EXTENT OF
EAVES (MAX 535mm
PROJECTION)

PROPOSED CABANA
(SEPARATE
APPLICATION)

**19 TRINITA
AVENUE
2-STOREY
DWELLING**

ASPHALT
DRIVEWAY

Eave Overhang 2.71m

3.32m



SCOPE OF WORK:

CONSTRUCTION OF REAR YARD CANOPY
OVER NEW PORCH AREA
AND
CONSTRUCTION OF NEW CABANA.

INFORMATION TAKEN FROM SURVEY:
SURVEYOR'S PICAL PROPERTY REPORT
PART 1
LOTS 21B TO 22B BOTH INCLUSIVE
REGISTERED PLAN 694-3813
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
BY P. SALMA CO. LTD. O.L.G.
DATED 2006 APRIL 12

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE
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BEFORE PROCEEDING WITH THE WORK.
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AND/OR SPECIFICATIONS AND TO CONFORM TO THE
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CODES AND AUTHORITIES HAVING JURISDICTION. THESE
REQUIREMENTS ARE TO BE TAKEN AS MINIMUM
SPECIFICATIONS. OHT. REG. 332/12.

SUBMITTAL STATISTICS:
SITE AREA: 261.02 SQ. (APPROXIMATE)
BUILDING COVERAGE: 147.18 SQ. (APPROXIMATE)
CANOPY COVERAGE: 36.33 SQ.
CANOPY HEIGHT: 3.03M
CABANA COVERAGE: 11.10SQ.
CABANA HEIGHT: 3.10M
BUILDING HEIGHTS TAKEN FROM APPROX. EXIST.
ESTABLISHED GRADE.

General Notes



**LASONNE
ENGINEERING LTD.**
KLENSBURG 416.802.2875

No.	Revision/Issue	Date

SITE PLAN

**19 TRINITA AVENUE
REAR YARD CANOPY**
Vaughan, Ontario

Project	2090	Sheet	S1
Date	JUNE '20		
Scale	1:100		

ALL PROPERTY DIMENSIONS
IN METERS UNLESS
OTHERWISE NOTED

METRIC

2.71m
Overhang
Falter

PROPOSED
LOGGIA
EXTENT OF
EAVES (MAX 535mm
PROJECTION)

PROPOSED
CABANA
(SEPARATE
APPLICATION)

19 TRINITA
AVENUE
2-STORY
DWELLING

ASPHALT
DRIVEWAY

TRINITY AVENUE 10.97-

North

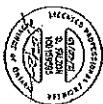
CONSTRUCTION OF PEAK YARD CANION
OVER PEAK PITCH AREA
AND
CONSTRUCTION OF HIGH CANAL

REGULATION TAKEN FROM SUBJECT-
CONVENTION'S REAL PROPERTY RECORDS
PART 1
NOTE: JAN 15 2010 BOTH SIGNATURE
RECORDED PLAN (200001)
OFF OF VANDERBILT
RECORDS MAINTENANCE OF WORK
BY P. SALVA CO. LTD. O.R.C.
DATED 2006 APRIL 12

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED
DATE 08-09-2001 BY SP-6 BJS/BJS

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 236. CITY

General Notes



LASONNE
ENGINEERING LTD.
KESBORO 416-602-2875

No.	Refutation/Response	Date
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SITE PLAN

19 TRINITY AVENUE
REAR YARD CANOPY
Vaughan, Ontario

Project	2090	Seed	S-
Date	JUNE '20		
Scale	1:100		

GENERAL NOTES:

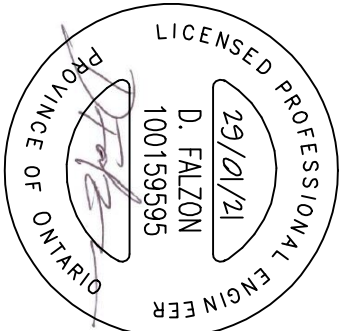
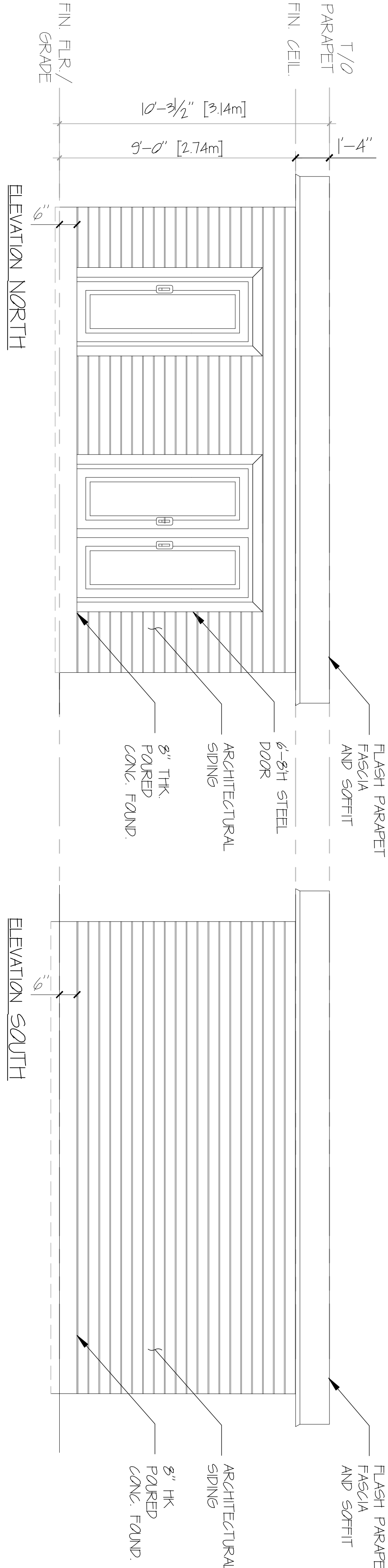
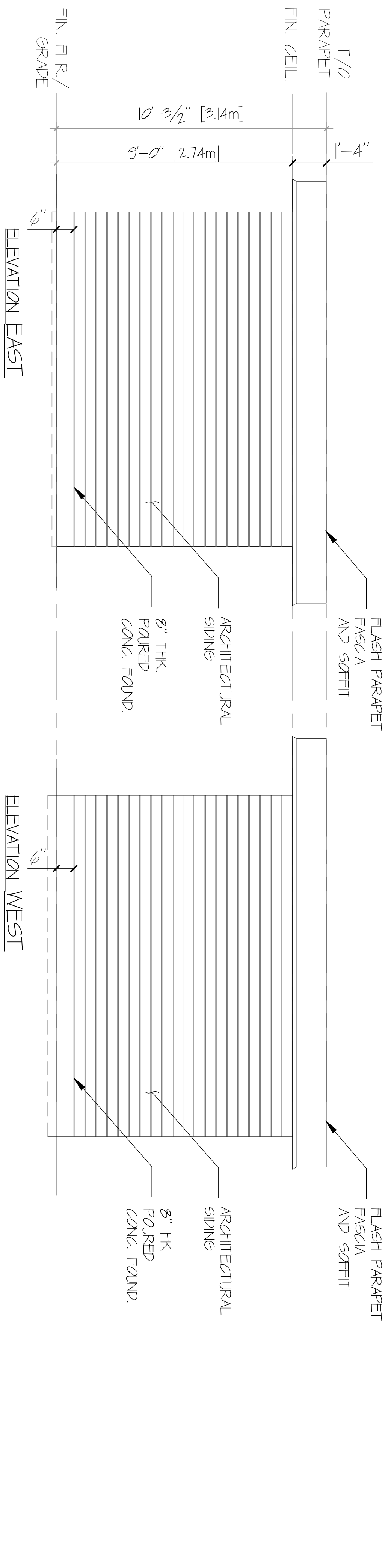
- 2.1 LUMBER: ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
2. STUDS SHALL BE STUD GRADE SPRUCE, UNLESS OTHERWISE NOTED.
3. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ALL JOIST END NAILING SHALL BE IN ACCORDANCE WITH CAN/CSA-A191-01. JOIST END NAILING SHALL BE IN ACCORDANCE WITH CAN/CSA-A191-01.
4. WOOD FRAMING: NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE TREATED WITH A WOOD PRESERVATIVE IN ACCORDANCE WITH CAN/CSA-A191-01. ALL WOOD FRAMING SHALL BE IN ACCORDANCE WITH CAN/CSA-A191-01.
5. STRUCTURAL STEEL: SHALL CONFORM TO CAN/CSA-G40-21 GRADE 50W CLASS "H".
6. CONCRETE: SHALL CONFORM TO CAN/CSA-A23.1-04 GRADE 30M CLASS "H".
7. REINFORCING STEEL: SHALL CONFORM TO CAN/CSA-G40-21 GRADE 60M CLASS "H".
8. CONCRETE: SHALL CONFORM TO CAN/CSA-A23.1-04 GRADE 30M CLASS "H".
9. THE MINIMUM COMPRESSIVE STRENGTH f_c OF ALL CONCRETE SHALL BE 30 MPa.
10. ALL REINFORCING STEEL SHALL BE AS FOLLOWS:
100mm +/- 20mm TOLERANCES CAST
75mm +/- 20mm REBARER
20mm +/- 20mm UNLESS NOTED

LEGEND

- EXHAUST FAN - ROOF VENTED TO OUTSIDE
CARGAN MONOXIDE DETECTOR (INTER-CONNECTED)
SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PIERCES)
SOLID WOOD BEARING TO MATCH FROM ABOVE
DOUBLE JOIST
TRIPLE JOIST
LVL LAMINATED VENEER LUMBER
PT PRESSURE TREATED LUMBER
GT GROUND TRUSS BY MANUF.

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE			
NO.	SIZE	TYPE	FINISH
D1	28" W X 8'0" H	WOOD	N/A
D2	28" W X 6'8" H	WOOD	N/A
D3	30" W X 6'8" H	WOOD	N/A
D4	32" W X 6'8" H	WOOD	N/A
S81	1-2"x6"x6" SOLID BEARING		
S82	1-2"x6"x6" SOLID BEARING		
S83	1-2"x6"x6" SOLID BEARING		
S84	4-2"x6"x6" SOLID BEARING		
S85	4-2"x6"x6" SOLID BEARING		
S86	4-2"x6"x6" SOLID BEARING		
S87	4-2"x6"x6" SOLID BEARING		
S88	4-2"x6"x6" SOLID BEARING		
S89	4-2"x6"x6" SOLID BEARING		
S90	4-2"x6"x6" SOLID BEARING		
S91	4-2"x6"x6" SOLID BEARING		
S92	4-2"x6"x6" SOLID BEARING		
S93	4-2"x6"x6" SOLID BEARING		
S94	4-2"x6"x6" SOLID BEARING		
S95	4-2"x6"x6" SOLID BEARING		
S96	4-2"x6"x6" SOLID BEARING		
S97	4-2"x6"x6" SOLID BEARING		
S98	4-2"x6"x6" SOLID BEARING		
S99	4-2"x6"x6" SOLID BEARING		
S100	4-2"x6"x6" SOLID BEARING		



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KLEINBURG 416.662.2673

No.	Revision/Issue	Date

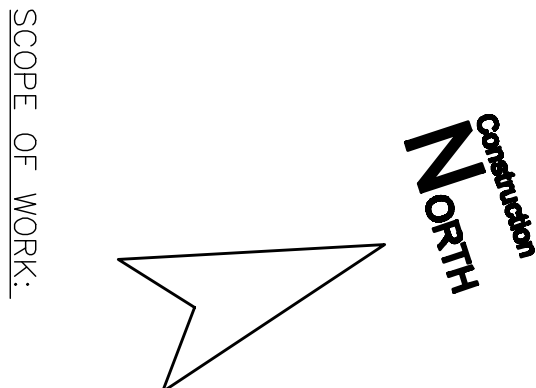
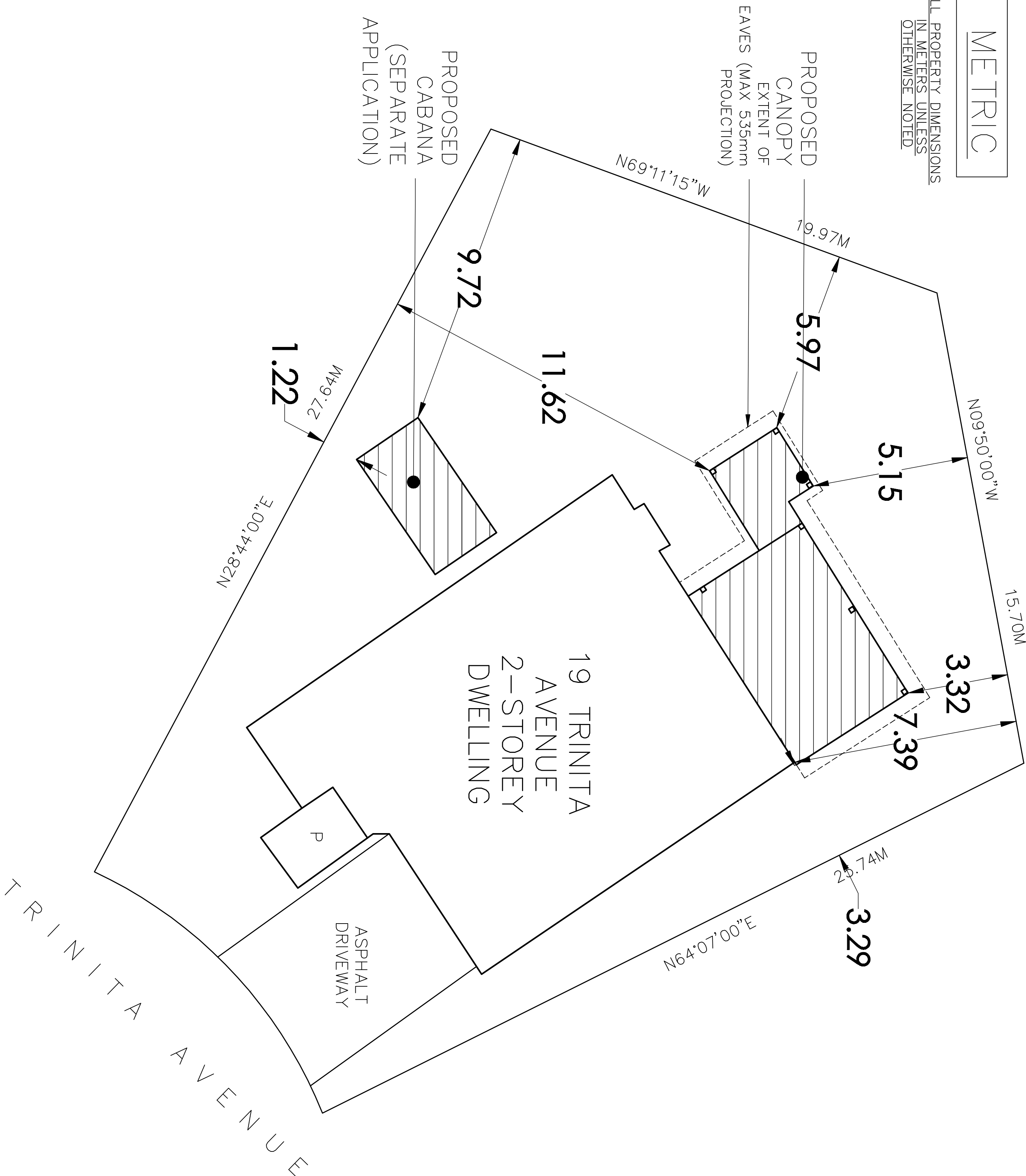
ELEVATIONS
CABANA

19 TRINTA AVENUE
REAR YARD ACCESSORIES
Vaughan, Ontario

Project	2090	Sheet
Date	OCT '20	S3
Scale	1:40	

METRIC

ALL PROPERTY DIMENSIONS
IN METERS UNLESS
OTHERWISE NOTED



SCOPE OF WORK:
CONSTRUCTION OF REAR YARD CANOPY
OVER NEW PORCH AREA,
AND
CONSTRUCTION OF NEW CABANA.

INFORMATION TAKEN FROM SURVEY:
SURVEYOR'S REAL PROPERTY REPORT
PART 118 TO 126 BOTH INCLUSIVE
REGISTERED PLAN 69M-3811
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
BY P. SALVA CO. LTD. O.L.S.
DATED 2006 APRIL 12

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE
FIELD. ANY DISCREPANCIES MUST BE REPORTED
BEFORE PROCEEDING WITH THE WORK.
ALL CONSTRUCTION TO ADHERE TO THESE PLANS
AND/OR SPECIFICATIONS AND TO CONFORM TO THE
CITY OF VAUGHAN ZONING BY-LAW AND ALL
REQUIREMENTS ARE TO BE TAKEN AS MINIMUM
SPECIFICATIONS, ONT. REG. 332/12.

BUILDING STATISTICS:
SITE AREA: 581.63 SM (APPROXIMATE)
DWELLING COVERAGE: 147.18 SM (APPROXIMATE)
CANOPY COVERAGE: 36.23 SM
CANOPY HEIGHT: 3.63M
CABANA COVERAGE: 111.55M
CABANA HEIGHT: 3.145M
BUILDING HEIGHTS TAKEN FROM APPROX. EXIST
ESTABLISHED GRADE.



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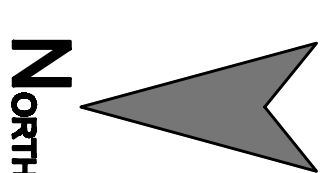
No.	Revision/Issue	Date

SITE PLAN

19 TRINITA AVENUE
REAR YARD CANOPY
Vaughan, Ontario

Project	2090	Sheet
Date	JUNE '20	S1
Scale	1:100	

General Notes



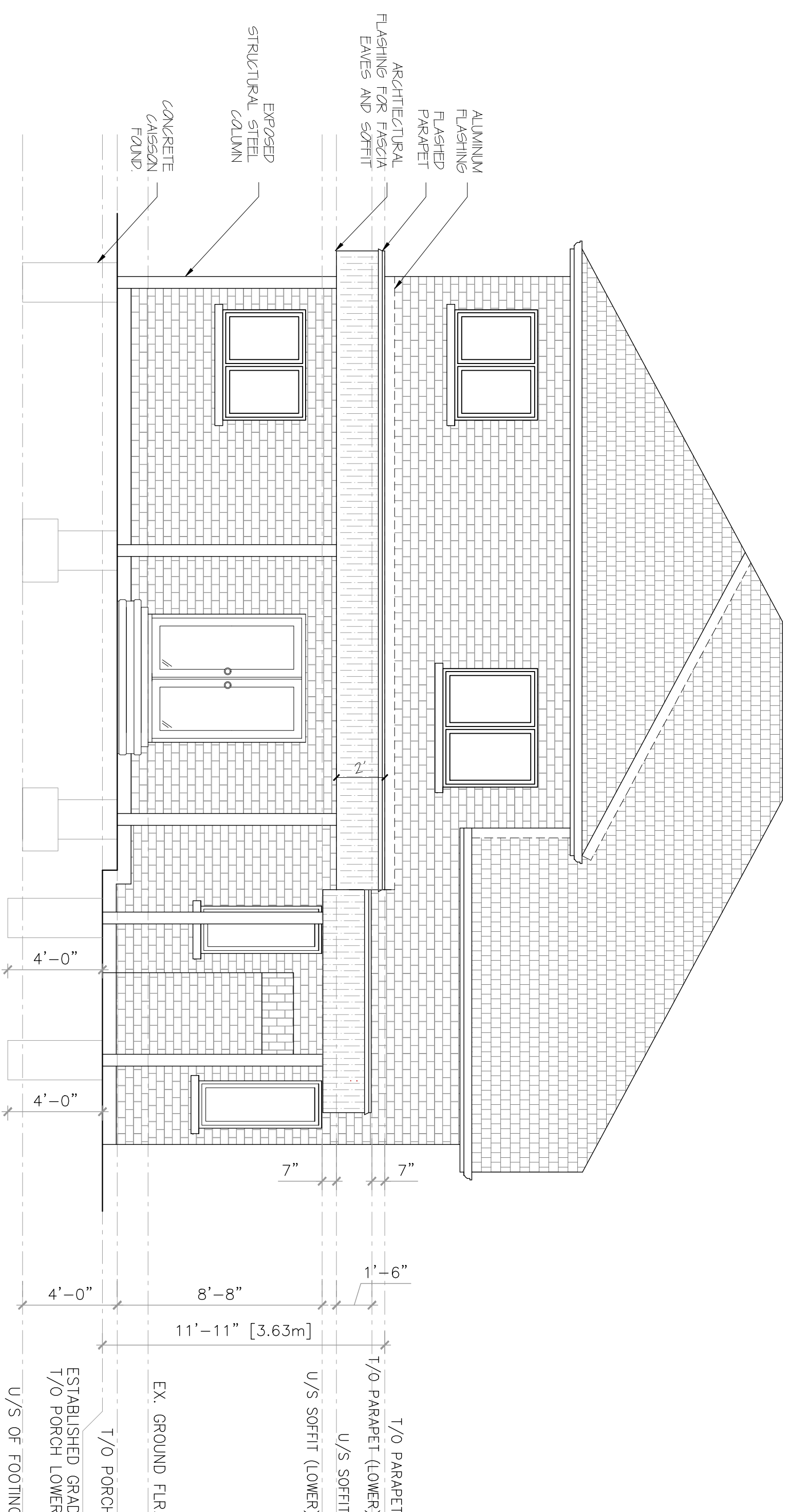
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KLEINBURG 416.662.2673

No.	Revision/Issue	Date

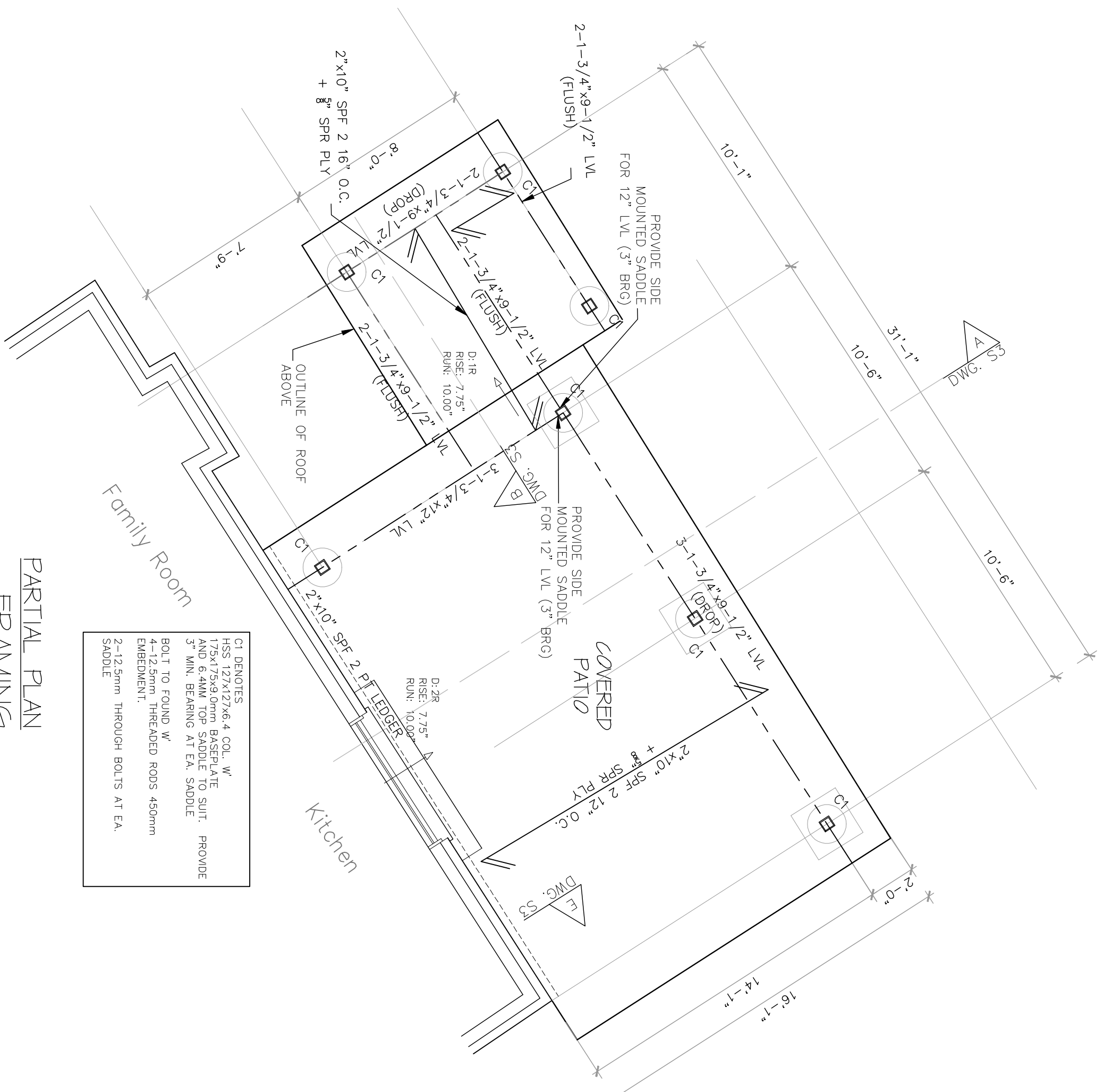
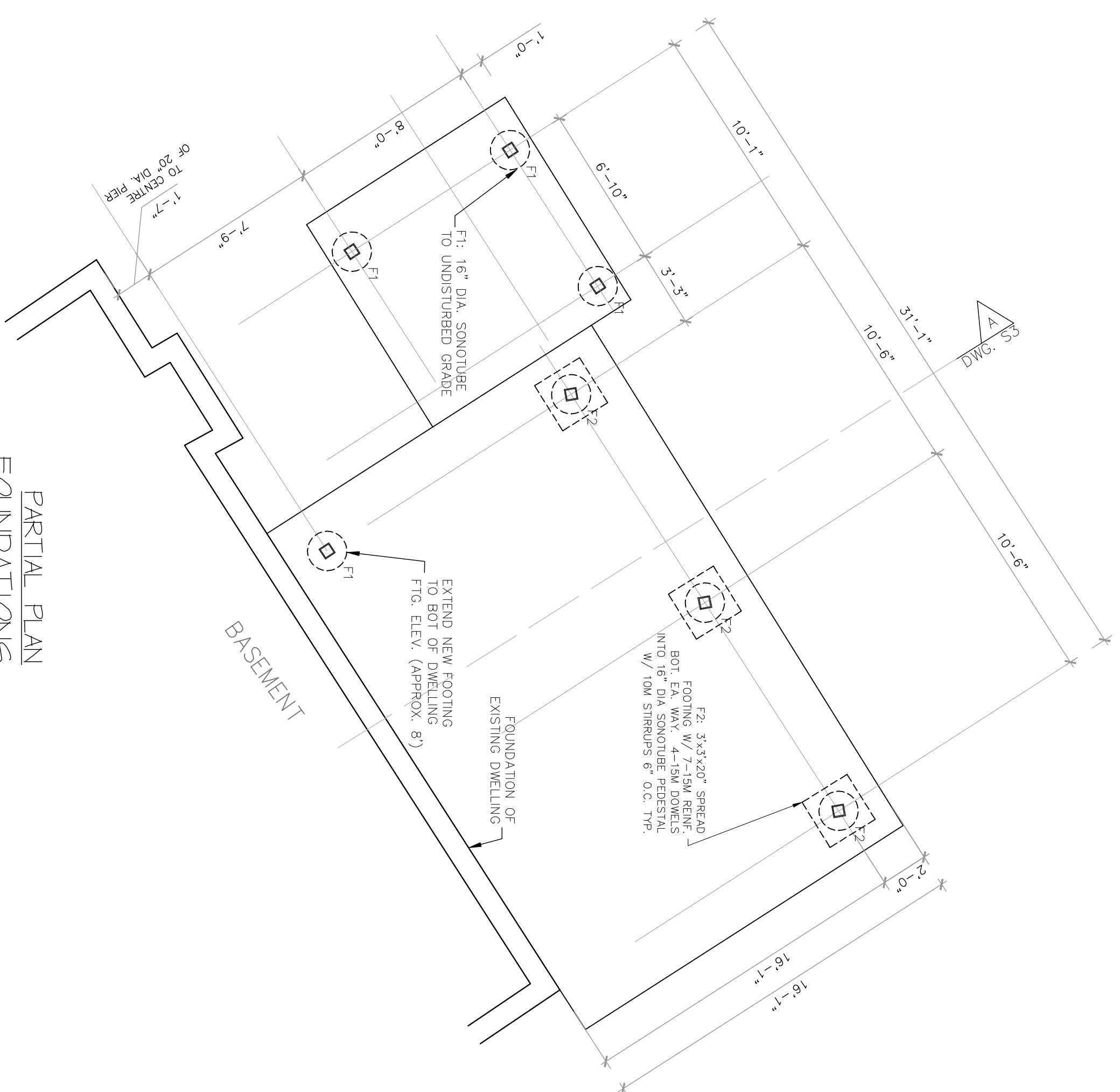
ELEVATION AND PLANS

**19 TRINITA AVENUE
REAR YARD CANOPY
Vaughan, Ontario**

Project	2090	Sheet
Date	OCT '20	S2
Scale	$\frac{1}{4}'' = 1'-0''$	



ELEVATION RENOVATED
NORTH



LVL BEAMS SHALL BE 2.0C MIN BY WATERHAUSER OR APPROVED EQUIV. NAIL EACH PLY OF LVL WITH 89mm LVL COMMON WIRE NAILS @ 300mm O.C. STAGGERED IN 2 ROWS FOR DEPTHS UP TO 11-7/8" AND 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM AT 400mm O.C.

- | Legend | |
|--------|--|
| ① | EXHAUST FAN - SOPEX VENTED TO OUTSIDE |
| ② | CARBON MONOXIDE DETECTOR (CELL MOUNTED SMOKE ALARM (INTER-CONNECTED)) |
| ③ | SOLID BEARING TO BE AS MICE AS SUPPORTED MEMBER (MIN. 2 PCE FROM ABOVE |
| ④ | SOLID WOOD BEARING TO MATCH FLOOR ABOVE |
| DJ | DOUBLE JOIST |
| TJ | TRIPLE JOIST |
| L/L | LUMINATED VENEER LUMBER |
| P/L | PRESSURE TREATED LUMBER |
| GT | GIRDER TRUSS BY MANUL. |

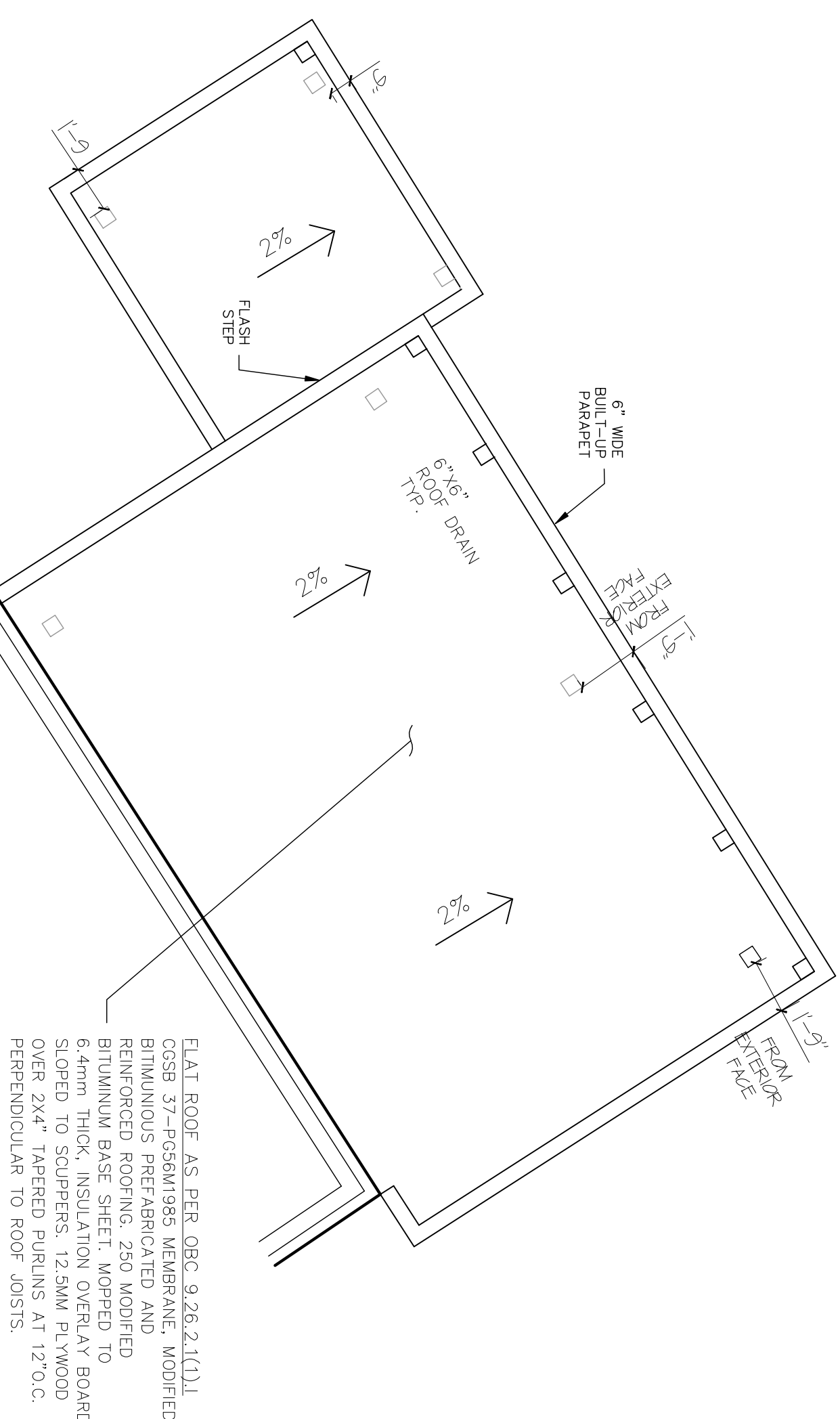
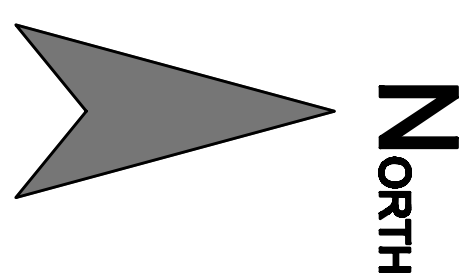
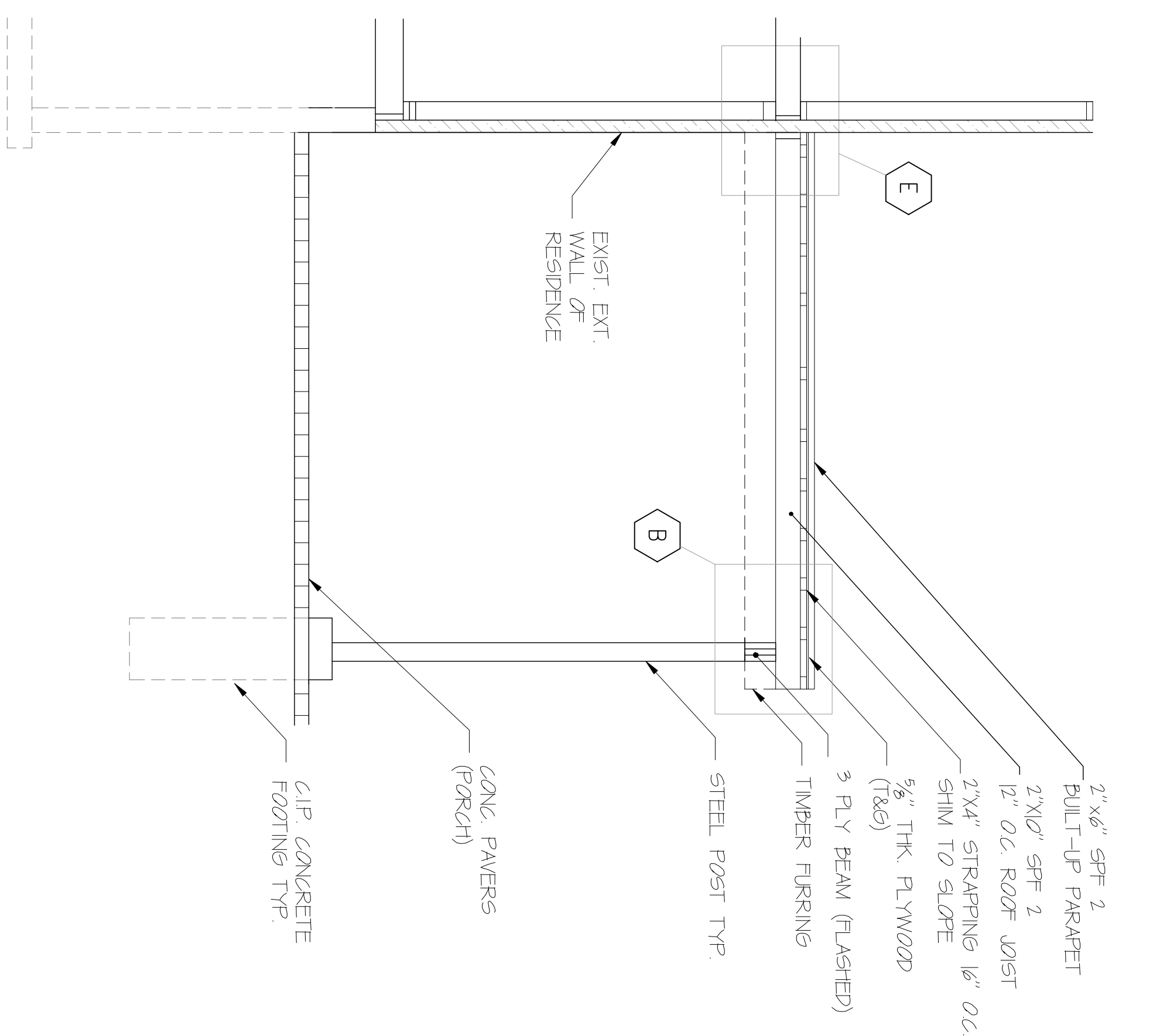
ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
MK	SIZE	FPR
D1	34" W X 8' 0"	1H
D2	28" W X 6' 8" - WOOD	N/
D3	30" W X 6' 8" - WOOD	N/
D4	32" W X 6' 8" - WOOD	N/

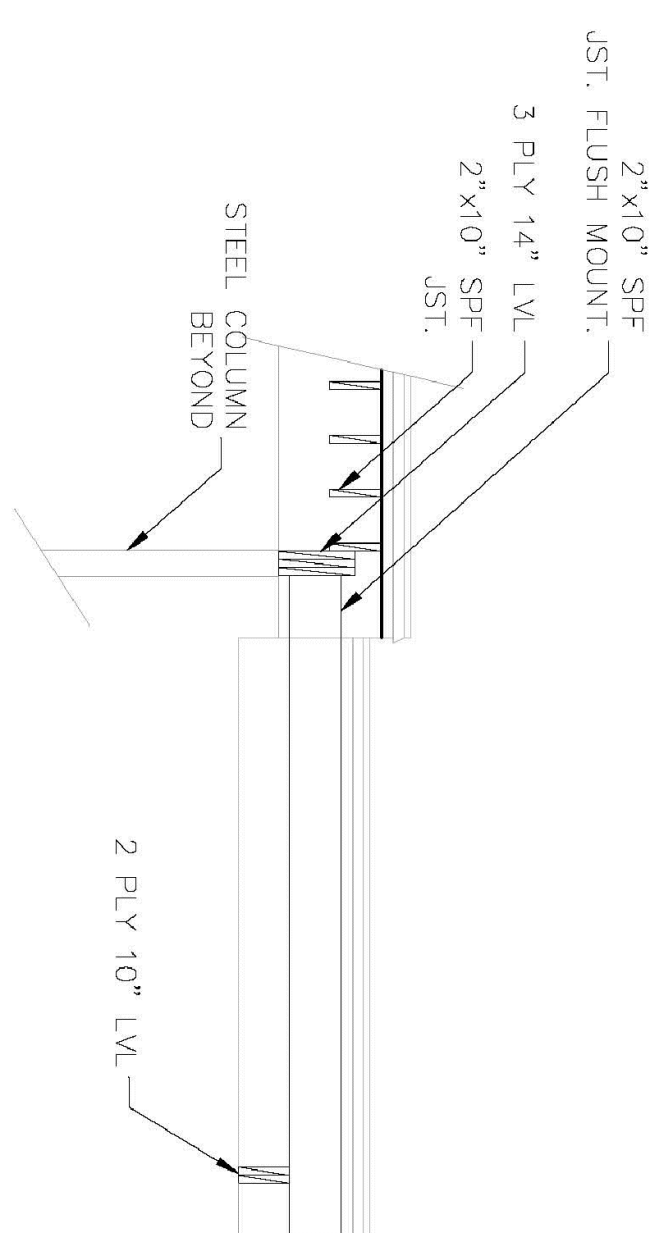
SB3 - 3-2"x6" SOLID BEARING
SB4 - 4-2"x6" SOLID BEARING
SB5 - 5-2"x6" SOLID BEARING
SB6 - 5-2"x8" SOLID BEARING
ALL SOLID BEARING TO BE BRACED
AT TOP AND BOTTOM

- LEGEND**
- REMOVALS
- REMOVALS (APPURTENANCE)

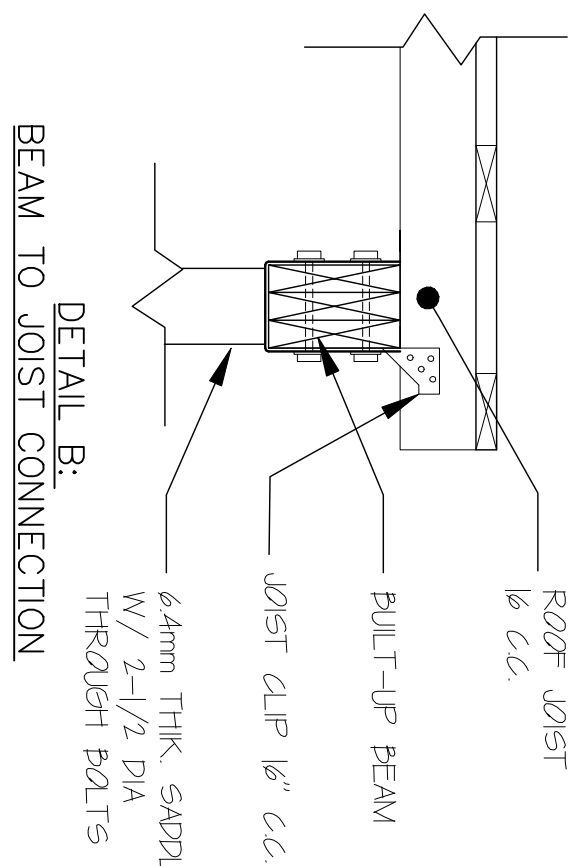
General Notes



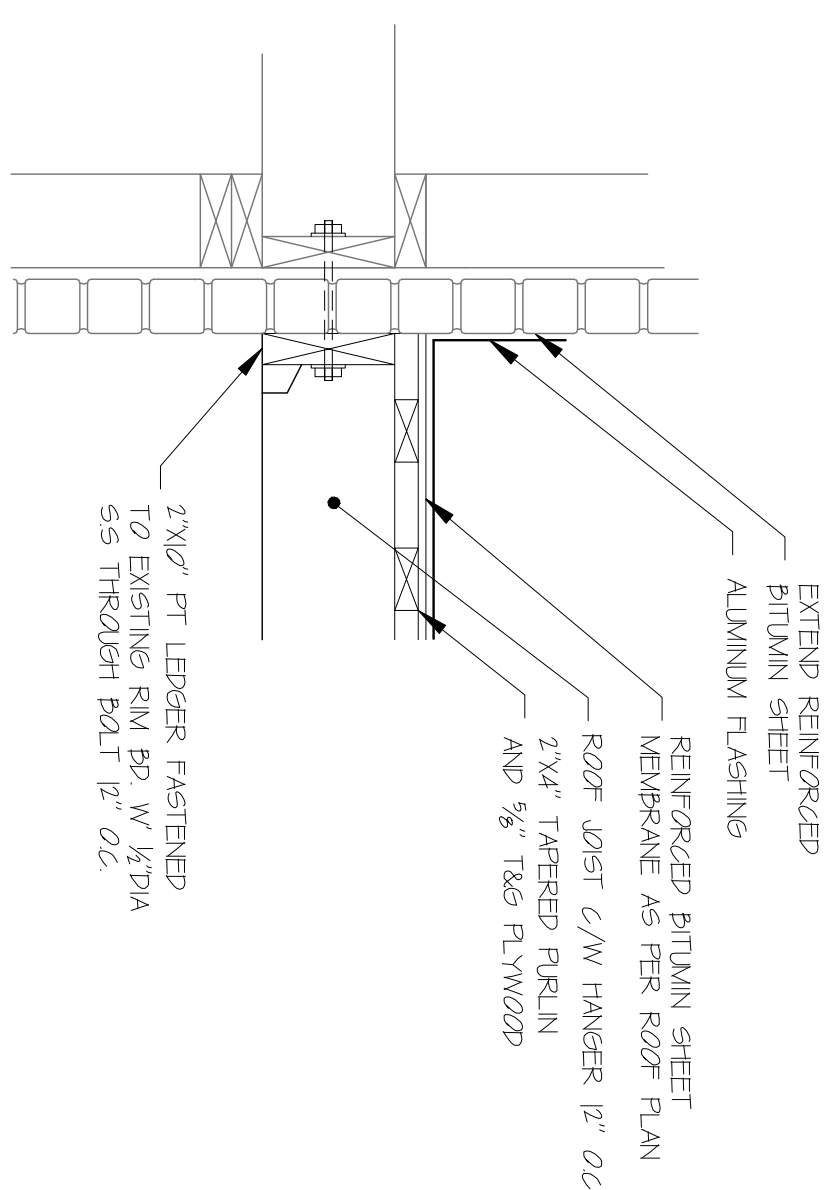
FLAT ROOF AS PER DBC 9.26.2.1(1). CGSR 37-PC55M1985 MEMBRANE, MODIFIED BITUMINOUS PREFABRICATED AND REINFORCED ROOFING. 250 MODIFIED BITUMINUM BASE SHEET. MOPPED TO 6.4mm THICK, INSULATION OVERLAY BOARD SLOPED TO SCUPPERS. 12.5MM PLYWOOD OVER 2X4" TAPERED PURLINS AT 12.0°C. PERPENDICULAR TO ROOF JOISTS.



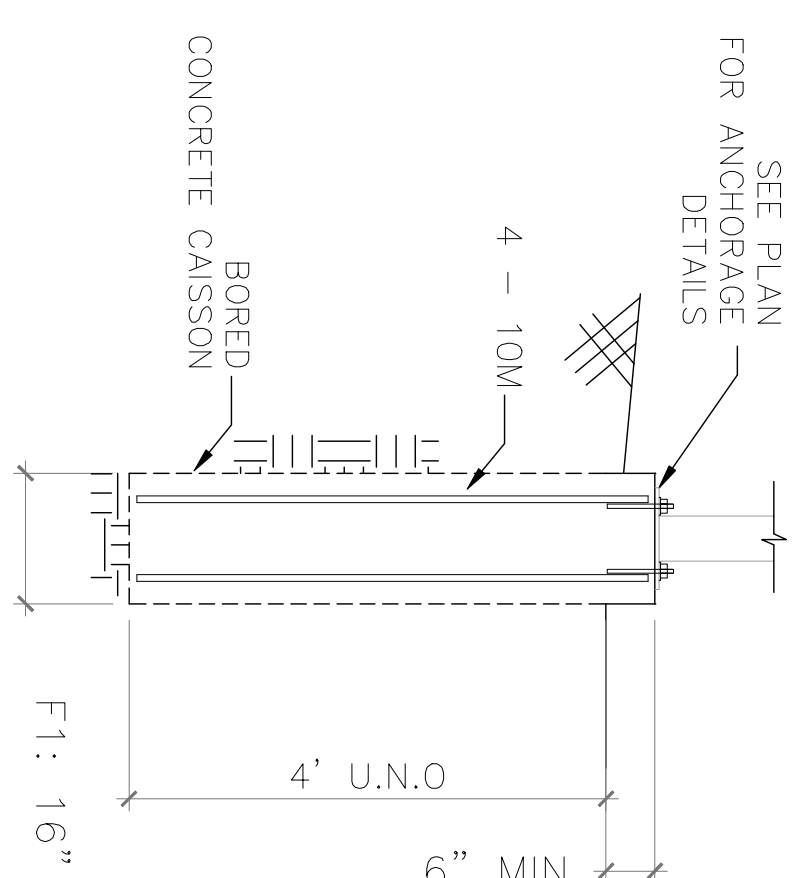
CROSS SECTION: A-A
STRUCTURAL



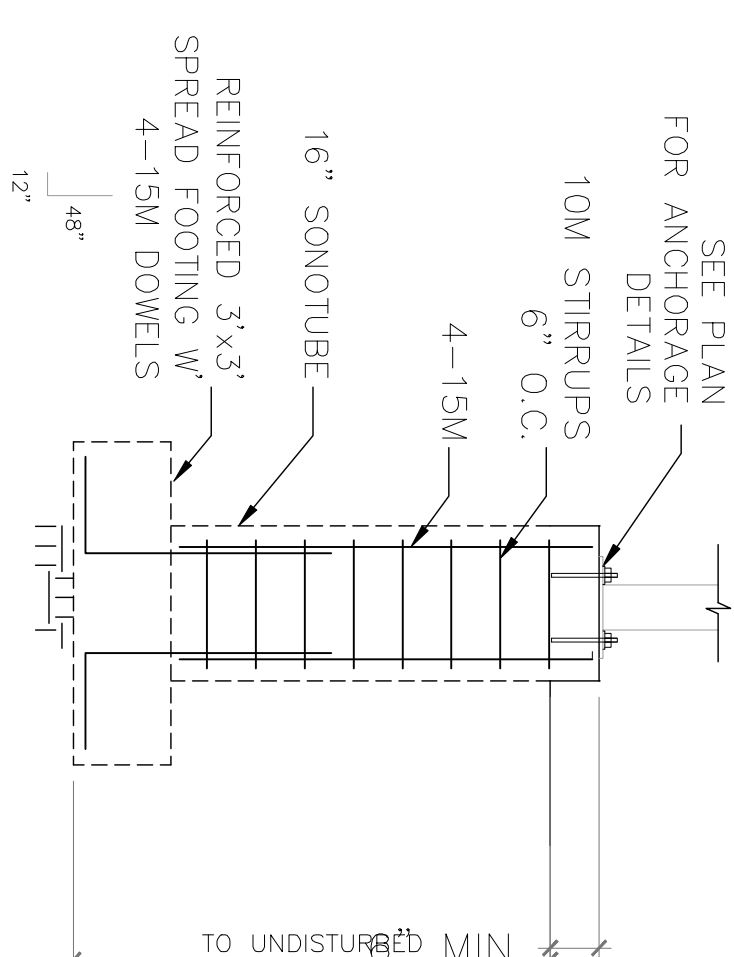
DETAIL B:
BEAM TO JOIST CONNECTION



DETAIL E: LEDGER

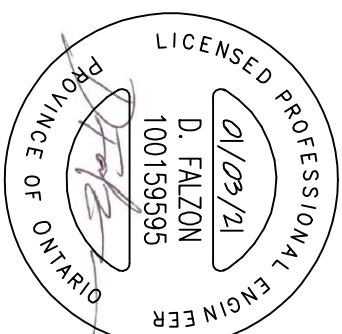


CAISSON – COLUMNS 'F1' DETAILS NTS



CAISSON - COLUMNS 'F2' DETAILS NTS

**LASONNE
ENGINEERING LTD.**
KLEINBURG 416.662.2673



No.	Revision/Issue	Date

DETAILS

**19 TRINITY AVENUE
REAR YARD CANOPY
Vaughan, Ontario**

Project	2090	Sheet
Date	OCT '20	S3
Score	$\frac{1}{4}'' = 1'-0''$	

SURVEYOR'S REAL PROPERTY REPORT

PART 1) PLAN OF

LOTS 318 TO 326 BOTH INCLUSIVE

REGISTERED PLAN 65M-3811

CITY OF VAUGHAN

REGIONAL MUNICIPALITY OF YORK

SCALE 1:500

P. SALNA Co. LTD., O.L.S.

PART 8, PLAN 65R-27431

PIN 03328-4312(LT)

LOT 17

CONCESSION 6

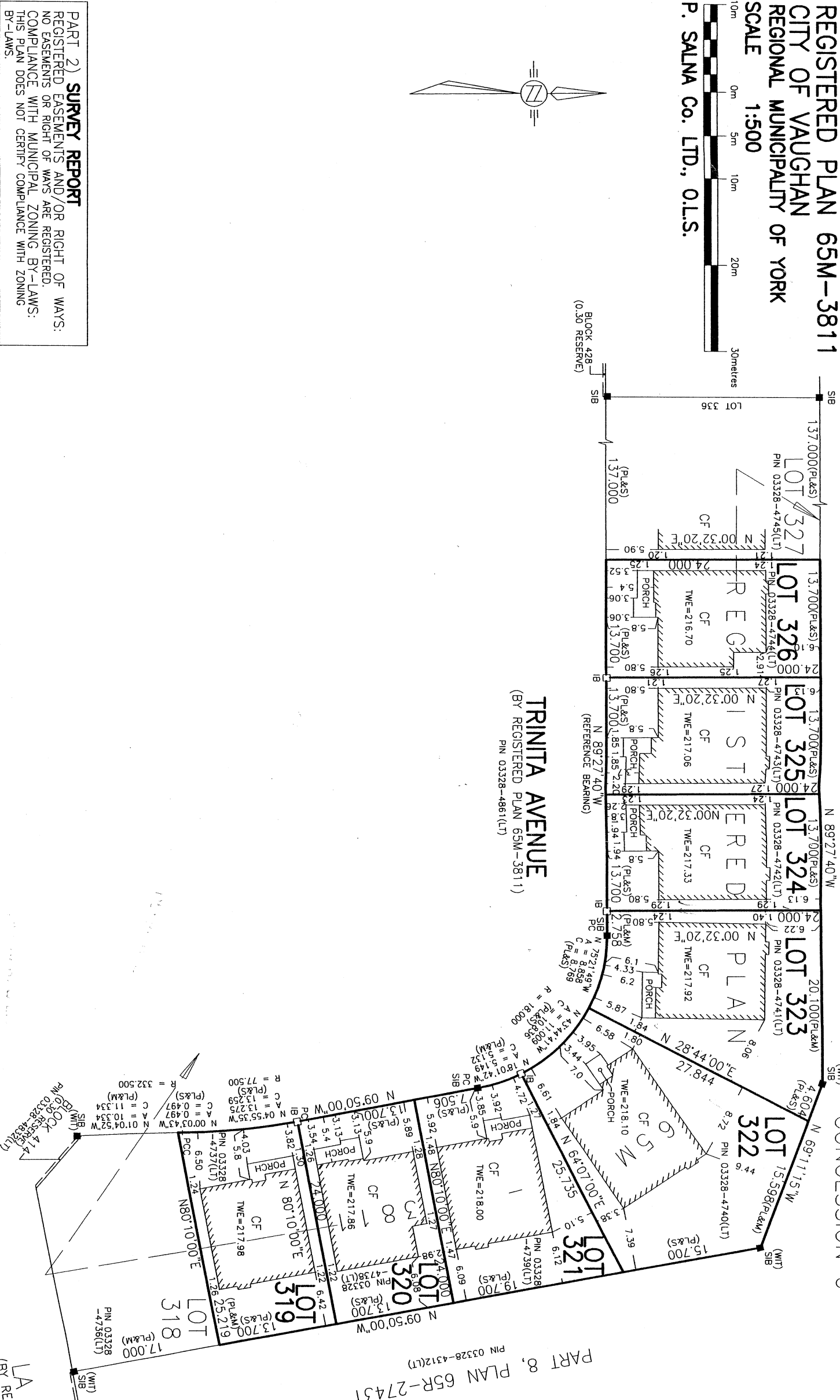
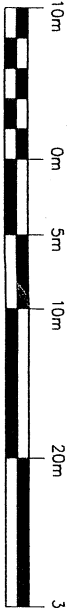
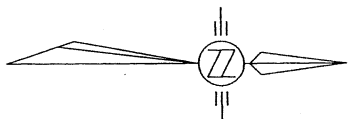
METRIC
DISTANCES SHOWN ON THIS
PLAN ARE IN METRES AND
CAN BE CONVERTED TO
FEET BY DIVIDING BY 0.3048

THIS REPORT WAS PREPARED FOR
VENETO PINES ESTATES INC. (GREENPARK)
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY
OTHER PARTIES

NOTE:
ALL FOUND MONUMENTS SHOWN HEREON WERE PLANTED BY
HOLDING JONES VANDERVEEN INC., O.L.S.
UNLESS NOTED OTHERWISE.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1597026

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).



LA ROCCA AVENUE
(BY REGISTERED PLAN 65M-3811)
P. SALNA Co. LTD., O.L.S.

LEGEND

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- WIT DENOTES WITNESS
- OU DENOTES ORIGIN UNKNOWN
- CC DENOTES CUT CROSS
- S DENOTES SET
- M DENOTES MEASURED
- N DENOTES NOTES BY CURVATURE
- PC DENOTES POINT OF REVERSE CURVATURE
- CF DENOTES CONCRETE FOUNDATION WALLS
- TWE DENOTES TOP OF WALL ELEVATION
- GSE DENOTES GARAGE SILL ELEVATION
- PL DENOTES REGISTERED PLAN 65M-3811
- BR DENOTES 2 STOREY BRICK DWELLING
- C DENOTES CALCULATED
- PCC DENOTES POINT OF CURVATURE

PART 2) SURVEY REPORT

REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
NO EASEMENTS OR RIGHT OF WAYS ARE REGISTERED.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF P. SALNA O.L.S.

NOTES

BEARINGS ARE ASTRONOMIC AND ARE
LIMIT OF TRINITA AVENUE
AS SHOWN ON REGISTERED PLAN 65M-3811
HAVING A BEARING OF N 89°27'40"W

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE
15th DAY OF FEBRUARY 2006

APRIL 12th, 2006

DATE

VLADIMIR DOSEN, B.S.C.
ONTARIO LAND SURVEYOR

P. SALNA COMPANY LTD.
ONTARIO LAND SURVEYORS

10225 YONGE STREET
RICHMOND HILL, ONTARIO
PHONE: (905) 884-3988 FAX: (905) 737-7516

FIELD: PAT

DRAWN: JASNA

CHECKED: SRI

CAD FILE: 3811J

FILE: 04-124

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A054/21 - REQUEST FOR COMMENTS

From: Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>
Sent: March-24-21 3:45 PM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Cc: Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>
Subject: [External] Re: A054/21 - REQUEST FOR COMMENTS

Good afternoon,

This site 19 Trinita Ave. is not within MTO permit control area and MTO has no concerns.

Colin Mulrenin | Corridor Management Officer | York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

Colin.Mulrenin@ontario.ca

Attwala, Pravina

Subject: FW: A054/21 - REQUEST FOR COMMENTS

From: Development Services <developmentservices@york.ca>

Sent: March-29-21 3:02 PM

To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A054/21 - REQUEST FOR COMMENTS

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | Gabrielle.hurst@york.ca | www.york.ca