

**File:** A046/21

**Applicant:** Nadene and Ryan Milnes

**Address:** 178 Rushworth Cr Kleinburg ON

**Agent:** Graham Barrett

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning		
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Real Estate	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Lenore Providence  
Hearing Date: Thursday , April 29, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance  
Application

Agenda Item: 20

A046/21

Ward: 1

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Thursday , April 29, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Nadene and Ryan Milnes

**Agent:** Graham Barrett

**Property:** 178 Rushworth Crescent, Kleinburg ON

**Zoning:** The subject lands are zoned R1 Residential Zone One, under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Related Files:** None.

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

NEED TO CONFIRM VARIANCES WITH SARAH S

By-law Requirement	Proposal
1. A minimum front yard setback of 7.5 metres is required.	1. The minimum front yard setback of 5.75 metres to the covered porch and 6.50 metres is required to the dwelling.
2. A minimum exterior side yard setback of 4.5 metres is required.	2. To permit a minimum exterior side yard setback of 3.55 metres to the dwelling.
3. A maximum lot coverage of 30% is permitted for all structures and covered areas.	3. To permit a maximum lot coverage of 40.0% for the dwelling and all covered porches (Dwelling 34.9%, Front porch 1.4%, and Rear Patio 3.7%) .
4. A maximum building height of 9.5 metres is permitted.	4. To permit a maximum building height of 9.6 metres to the highest point of the dwelling.
5. A minimum interior side yard setback of 1.2 metres is required to the chimney.	5. To permit a minimum interior side yard setback of 1.04 metres to the chimney.
6. The portion of the driveway width between the street line and street curb shall not exceed 6.0 metres wide.	6. To permit the portion of the driveway between the street line and street curb to be 7.0 metres in width.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit [www.vaughan.ca](https://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**  
Public notice was mailed on April 14, 2021

Applicant confirmed posting of signage on April 9, 2021.

Property Information	
Existing Structures	Year Constructed
Dwelling	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): Oddly shaped lot. Owners desire additional living space.

**Adjournment Request:** Applicant was provided an opportunity to adjourn the application prior to the issuance of public notice in order to permit time for zoning staff to complete a review of the revised variances. Zoning review has been completed.

**Building Standards (Zoning Review):**  
There are no outstanding Orders on file.

Building Permit No. 17-000595 for Single Detached Dwelling - Residential Demolition, Issue Date: Mar 17, 2017

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

An A/C unit shall be setback a minimum of 0.60 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

**Building Inspections (Septic):**  
No comments or concerns

**Development Planning:**  
Vaughan Official Plan 2010 ('VOP 2010'):"Low-Rise Residential"

Application under review.

**Development Engineering:**  
The Development Engineering (DE) Department does not object to variance application A046/21 subject to the following DE condition(s).

1. The applicant shall satisfy all the condition(s) set out in the encroachment agreement with City of Vaughan Real Estate Department.
2. Grading division of the City?s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for lot grading and/or servicing approval.

**Parks Development - Forestry:**  
Arborist Report and Tree preservation plan must be provided. At the very minimum an Arborist Letter to state that no trees will be impacted by the proposed construction.

Please note that Forestry comments do not supersede the requirements of other commenting departments/agencies, including Development Planning with respect to the requirement of an Arborist Report and other tree protection requirements. Arborist Reports and other tree protection requirements may be required by other commenting departments to facilitate the review process of your application for the purpose of finalizing recommendations to the Committee of Adjustment.

Recommended condition of approval:

Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to building permit approval. Mostly for neighboring trees along the North& West property lines.

**By-Law and Compliance, Licensing and Permit Services:**

No comments received to date.

**Development Finance:**

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

**Real Estate:**

Recommended condition of approval:

The owners shall procure, through the City’s Real Estate Department, and enter into an encroachment agreement with the City of Vaughan to allow the proposed garage to encroach onto the City’s easement registered as Instrument LB74523, in a form satisfactory to Legal Services. The encroachment agreement shall provide for an assignment and assumption of the agreement by future owners of the property and shall be executed and registered on title, all at the owner’s sole cost and expense.

**Fire Department:**

No comments received to date

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

None

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections  
Region of York – No concerns or objections  
MTO – Located outside of MTO permit control area

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required:

	Department/Agency	Condition
1	Committee of Adjustment Christine Vigneault  905-832-8585 x 8332 <a href="mailto:christine.vigneault@vaughan.ca">christine.vigneault@vaughan.ca</a>	Applicant to provide payment of Adjournment Fee (see Fee Schedule) prior to the rescheduling of Application A046/21, if required.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:



	Department/Agency	Condition
1	Development Planning Roberto Simbana  905-832-8585 x 8810 <a href="mailto:roberto.simbana@vaughan.ca">roberto.simbana@vaughan.ca</a>	Application under review.
2	Parks, Forestry and Horticulture Operations Patrick Courchesne  905-832-8585 x 3617 <a href="mailto:Patrick.Courchesne@vaughan.ca/">Patrick.Courchesne@vaughan.ca/</a>	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to building permit approval. Mostly for neighboring trees along the North& West property lines.
3	Real Estate Dino Macchiusi  905-832-8585 x 8489 <a href="mailto:Dino.Macchiusi@vaughan.ca">Dino.Macchiusi@vaughan.ca</a>	The owners shall procure, through the City’s Real Estate Department, and enter into an encroachment agreement with the City of Vaughan to allow the proposed garage to encroach onto the City’s easement registered as Instrument LB74523, in a form satisfactory to Legal Services. The encroachment agreement shall provide for an assignment and assumption of the agreement by future owners of the property and shall be executed and registered on title, all at the owner’s sole cost and expense.
4	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@vaughan.ca">Farzana.Khan@vaughan.ca</a>	The applicant shall satisfy all the condition(s) set out in the encroachment agreement with City of Vaughan Real Estate Department. Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.v Vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.v Vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

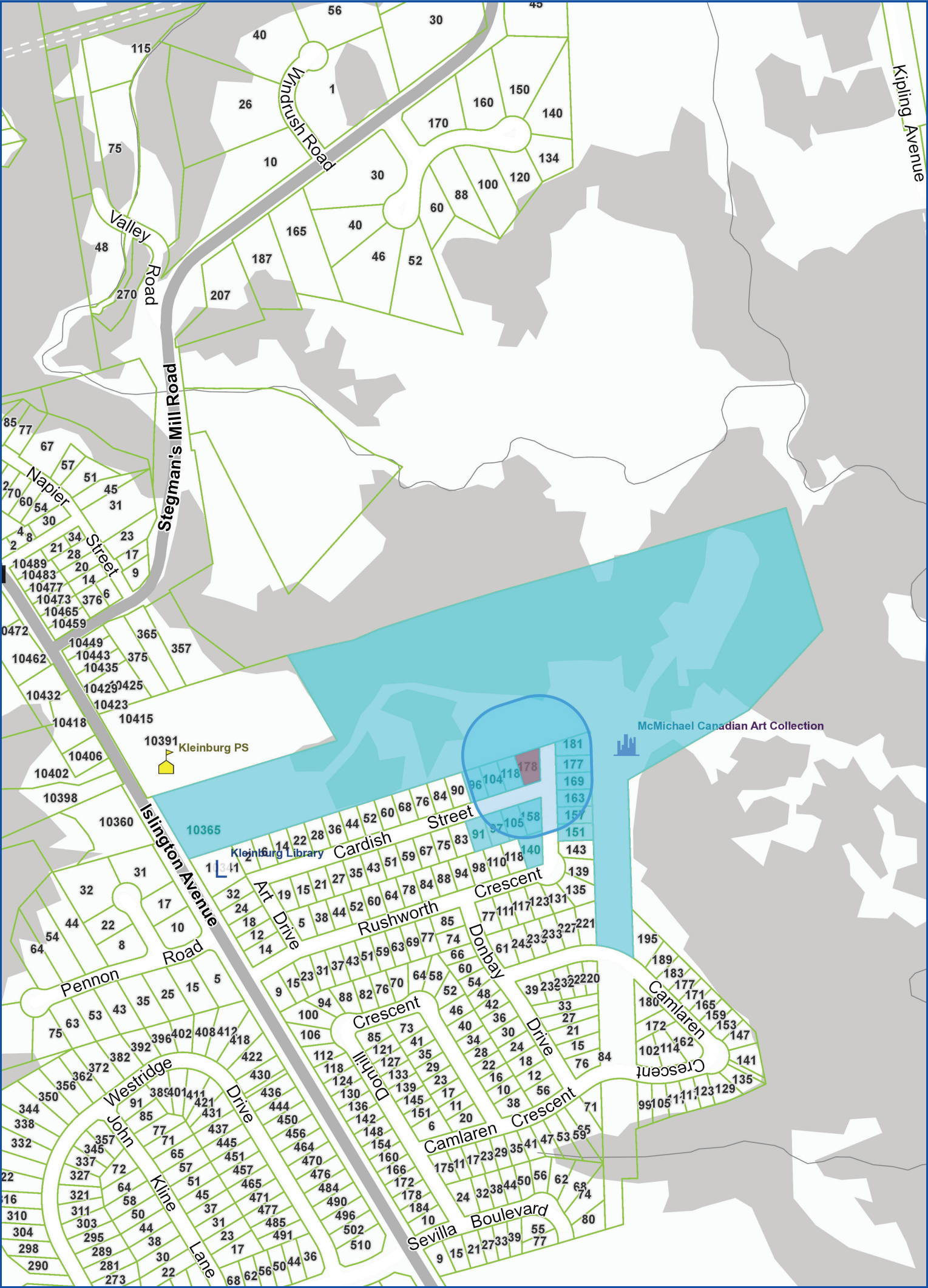
**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8394  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

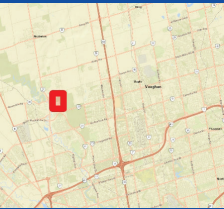
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map  
Plans & Sketches



Map Information:



Title

178 RUSHWORTH CRESCENT, KLEINBURG

NOTIFICATION MAP - A046/21

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 6,152

0 0.10 km



Created By:

Infrastructure Delivery  
Department  
April 14, 2021 11:17 AM

Projection:

NAD 83  
UTM Zone  
17N



A046/21

NEW

April 13, 2021

1

SITE

1 : 250

CARDISH ST

C/L OF ROAD

EDGE OF ROAD

AVG. FIN. GRADE @ FRONT  
(208.02+208.67)/2 = 208.35

DITCH

TOP OF SLOPE

GRAVEL WALKWAY

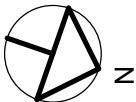
RUSHWORTH CRES

INTERLOCK  
DRIVEWAY

DITCH

EDGE OF ROAD

SUBJECT TO EASEMENT  
AS IN INST. NO. LB74523



SUBJECT TO EASEMENT  
AS IN INST. NO. LB74524

SUBJECT TO EASEMENT  
AS IN INST. NO. LB74525  
AND NO. LB74526

REAR YARD LANDSCAPING

TOTAL: 379.81 SQ.M.  
% SOFT LANDSCAPING: 300.62 SQ.M. (79.2%)  
% HARD LANDSCAPING: 79.19 SQ.M. (20.8%)

SIDE YARD LANDSCAPING

TOTAL: 49.42 SQ.M.  
% SOFT LANDSCAPING: 31.22 SQ.M. (63.2%)  
% HARD LANDSCAPING: 18.20 SQ.M. (36.8%)

No. 118  
CARDISH ST  
2-STOREY FRAME AND  
STUCCO DWELLING

ROOF  
ABOVE  
1.50 m  
MIN. SIDE YARD

MIN. REAR YARD

COVERED  
PATIO

178 RUSHWORTH CRES.  
PROP. 2-STOREY FRAME  
DWELLING

GARAGE ENTRY: 208.60

DOOR SILL: 208.70

FIN. LVL I: 209.16

T.O. ROOF: 217.95

LENGTH

WIDTH

GARAGE

#3

#5

1.04 m

1.22 m

3.66 m

0.46 m

20.80%

6.50 m

#1

5.75 m

6.40 m

23.38 m<sup>2</sup>

2.28 m

LOT FRONTAGE

EDGE OF ROAD

DITCH

TOP OF SLOPE

MIN. FRONT YARD

7.50 m

1.83 m

3.82 m

1.83 m

7.04 m

6.74 m

7.33 m

4.50 m

0.61 m

3.55 m

CARDISH ST

C/L OF ROAD

EDGE OF ROAD

AVG. FIN. GRADE @ FRONT  
(208.02+208.67)/2 = 208.35

DITCH

TOP OF SLOPE

GRAVEL WALKWAY

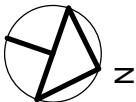
RUSHWORTH CRES

INTERLOCK  
DRIVEWAY

DITCH

EDGE OF ROAD

SUBJECT TO EASEMENT  
AS IN INST. NO. LB74523



SUBJECT TO EASEMENT  
AS IN INST. NO. LB74524

SUBJECT TO EASEMENT  
AS IN INST. NO. LB74525  
AND NO. LB74526

REAR YARD LANDSCAPING

TOTAL: 379.81 SQ.M.  
% SOFT LANDSCAPING: 300.62 SQ.M. (79.2%)  
% HARD LANDSCAPING: 79.19 SQ.M. (20.8%)

SIDE YARD LANDSCAPING

TOTAL: 49.42 SQ.M.  
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% HARD LANDSCAPING: 18.20 SQ.M. (36.8%)

No. 118  
CARDISH ST  
2-STOREY FRAME AND  
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ROOF  
ABOVE  
1.50 m  
MIN. SIDE YARD

MIN. REAR YARD

COVERED  
PATIO

178 RUSHWORTH CRES.  
PROP. 2-STOREY FRAME  
DWELLING

GARAGE ENTRY: 208.60

DOOR SILL: 208.70

FIN. LVL I: 209.16

T.O. ROOF: 217.95

LENGTH

WIDTH

GARAGE

#3

#5

1.04 m

1.22 m

3.66 m

0.46 m

20.80%

6.50 m

#1

5.75 m

6.40 m

23.38 m<sup>2</sup>

2.28 m

LOT FRONTAGE

EDGE OF ROAD

DITCH

TOP OF SLOPE

MIN. FRONT YARD

7.50 m

1.83 m

3.82 m

1.83 m

7.04 m

6.74 m

7.33 m

4.50 m

0.61 m

3.55 m

- #1 The min. front yard setback of 5.75m to the covered porch & 6.5m is required to the dwelling.
- #2 To permit a min. ext. side yard setback of 3.55m to the dwelling.
- #3. To permit a max. lot coverage of 40.0% for the dwelling and all covered porches.
- #4 To permit a max. building height of 9.6m to the highest point of the dwelling.
- #5 To permit a min. interior side yard setback of 1.04m to the chimney.
- #6 To permit the portion of the driveway between the street line and street curb to be 7.0m in width.

EXTERIOR SIDE YARD LANDSCAPING

TOTAL: 125.12 SQ.M.  
AREA OF DRIVEWAY: 55.92 SQ.M.  
AREA FOR LANDSCAPING: 69.20 SQ.M. (55.3%)  
% SOFT LANDSCAPING: 54.89 SQ.M. (79.3%)  
% HARD LANDSCAPING: 14.31 SQ.M. (20.7%)

FRONT YARD LANDSCAPING

TOTAL: 143.16 SQ.M.  
% SOFT LANDSCAPING: 104.73 SQ.M. (73.2%)  
% HARD LANDSCAPING: 38.43 SQ.M. (26.8%)

SENSUS  
DESIGN & BUILD

SENSUS DESIGN & BUILD INC

1315 LAWRENCE AVE EAST, TORONTO ON

UNIT # 510

PHONE: 416-919-1433

EMAIL: info@sensusedesignbuild.ca

www.sensusedesignbuild.ca

NOTES:

DRAWINGS MUST NOT BE SCALED  
DRAWINGS TO BE READ IN CONJUNCTION WITH THE  
GENERAL NOTES AND THE O.B.C.

All drawings & information shown on these drawings must  
be checked & verified on site prior to construction or  
fabrication of its components. Unless noted otherwise, no  
provision has been made in the design for conditions  
occurring during construction.

It shall be the responsibility of the contractor to provide all  
necessary bracing, shoring, sheet piling, or other  
temporary supports, to safeguard all existing or adjacent  
structures affected by construction. All dimensions are  
given in Imperial units unless otherwise indicated.

All drawings are the property of the Architect / Designer &  
must be returned upon request.

The undersigned has reviewed and takes responsibility for  
this design, and has the qualifications and meets the  
requirements setout in the Ontario Building Code to be a  
designer.

Qualification Information  
Required unless design is exempt under Div. C - 3.2.5 of the  
Building Code

JESSE SAHLANI 44549  
NAME B.C.I.N.  
SENSUS DESIGN & BUILD INC. 45794  
FIRM B.C.I.N.

ADDRESS:  
178 RUSHWORTH CRES.  
VAUGHAN, ON  
L4H 3N5

CLIENT NAME:

PROJECT:

CUSTOM HOME

SITE PLAN

Date: 2021-04-13

Drawn by: A.E

Checked by: J.S

A100

Scale: 1 : 250

NOTES:

DRAWINGS MUST NOT BE SCALED  
DRAWINGS TO BE READ IN CONJUNCTION WITH THE  
GENERAL NOTES AND THE O.B.C.

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necessary bracing, shoring, sheet piling, or other  
temporary supports, to safeguard all existing or adjacent  
structures affected by construction. All dimensions are  
given in Imperial units unless otherwise indicated.

All drawings are the property of the Architect / Designer &  
must be returned upon request.

The undersigned has reviewed and takes responsibility for  
this design, and has the qualifications and meets the  
requirements setout in the Ontario Building Code to be a  
designer.

Qualification Information  
Required unless design is exempt under Div. C - 3.2.5 of the  
Building Code

JESSE SAHLANI 44549  
NAME B.C.I.N.  
SENSUS DESIGN & BUILD INC. 45794  
FIRM B.C.I.N.

ADDRESS:  
178 RUSHWORTH CRES.  
VAUGHAN, ON  
L4H 3N5

CLIENT NAME:

PROJECT:  
CUSTOM HOME

SITE STATISTICS

Date: 2021-04-13

Drawn by: A.E

Checked by: J.S

A100a

Scale:

SITE STATISTICS

MUNICIPAL ADDRESS	178 Rushworth Cres.
ZONING	R1
LOT AREA	1105.37 m²11898.09 ft²

ZONING INFORMATION	PERMITTED		EXISTING HOUSE (DEMOLISHED 2018)		PROPOSED	
	(metre)	(feet)	(metre)	(feet)	(metre)	(feet)
FRONTAGE	18	59.04	23.38	76.69	23.38	76.69
FRONT YARD SETBACK	7.5	24.60	6.69	21.94	6.50	21.32
SIDE (EAST) YARD SETBACK	4.5	14.76	8.02	26.31	3.55	11.64
SIDE (WEST) YARD SETBACK	1.5	4.92	3.54	11.61	1.50	4.92
REAR YARD SETBACK	7.5	24.60	9.63	31.58	11.24	36.87
BUILDING LENGTH	N/A		23.83	78.16	22.49	73.77
BUILDING DEPTH	N/A					
BUILDING HEIGHT	9.50	31.16			9.60	31.49

FLOOR AREAS	(m²)	(ft²)			(m²)	(ft²)
BASEMENT					336.81	3625.34
GROUND FLOOR			Excluding garages		292.16	3144.78
SECOND FLOOR			Excluding open to below		293.51	3159.31
GROSS FLOOR AREA					585.67	6304.09
LOT COVERAGE	30%	331.61	3569.43	25.3%	279.26	3005.97
					40.0%	
					House	442.37
						4761.63
					385.73	4151.96
					Front porch	16.03
						172.55
					Rear patio	40.61
						437.12
	FSI				FSI	
DENSITY	N/A				0.53	585.67
						6304.09

NEW

April 13, 2021

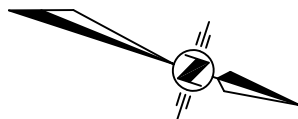
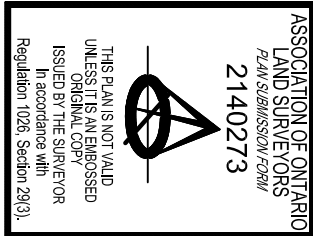


NEW

April 13, 2021

EXISTING

**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE  
IN METRES AND ARE UNADJUSTED  
TO FEET BY DIVIDING BY 0.3048



LOT 23, CONCESSION 8 AND REGISTERED PLAN 6087

SUBJECT TO EASEMENTS AS IN INST'S NO. V425028, NO. V425048 AND V487643



**SURVEYOR'S REAL PROPERTY REPORT**  
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF  
LOT 143  
REGISTERED PLAN 6087  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK  
SCALE 1:150

**VLADIMIR DOSEN SURVEYING, O.L.S.**

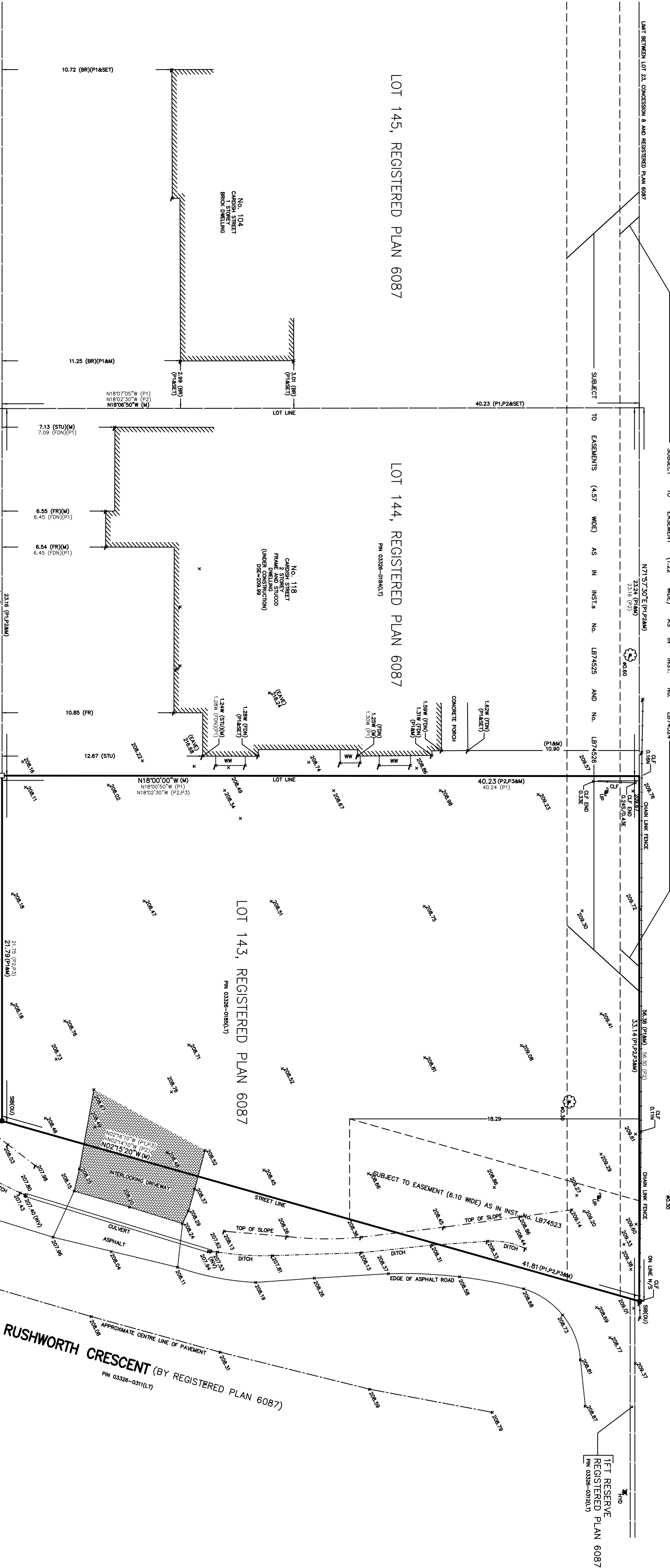
NO PERSON MAY COPY, REPRODUCE, TRANSMIT OR ALTER THIS  
PLAN OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION  
OF VLADIMIR DOSEN SURVEYING, O.L.S.

0 2.5 5 7.5 10m

LOT 145, REGISTERED PLAN 6087

LOT 144, REGISTERED PLAN 6087

LOT 143, REGISTERED PLAN 6087



**PART 2) SURVEY REPORT**

DESCRIPTION OF THE SURVEYED PROPERTY:  
LOT 143, REGISTERED PLAN 6087, PM 03328-018(1/1).  
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:  
SUBJECT TO EASEMENT OVER THE EASEMENT 4.10 METRES AND  
NORTHERLY 18.29 METRES OF LOT 143, REGISTERED PLAN 6087  
AS IN INST. NO. LB74523.

**BENCHMARK NOTE:**

ELEVATIONS SHOWN HEREIN ARE  
BASED ON THE BENCHMARK NO. 54-5, HAVING A PUBLISHED  
ELEVATION OF 219.114 METRES  
TOGETHER WITH RIGHT OF WAY OVER THE EXISTING 1.07 METRES  
OF THE NORTHERLY 18.29 METRES OF THE LOTS IMMEDIATELY  
ADJACENT TO THE SURVEYED PROPERTY.

**BEARING NOTE:**

BEARINGS ARE ASTRONOMIC AND ARE  
BASED ON THE BENCHMARK NO. 54-5, HAVING A PUBLISHED  
ELEVATION OF 219.114 METRES  
TOGETHER WITH RIGHT OF WAY OVER THE EXISTING 1.07 METRES  
OF THE NORTHERLY 18.29 METRES OF THE LOTS IMMEDIATELY  
ADJACENT TO THE SURVEYED PROPERTY.

**CARDISH STREET (BY REGISTERED PLAN 6087)**  
PM 03328-018(1/1)

**RUSHWORTH CRESCENT (BY REGISTERED PLAN 6087)**  
PM 03328-031(1/1)

**LEGEND**

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES STANDARD IRON BAR
- DENOTES MEASURED
- DENOTES UNKNOWN
- DENOTES SURVEYOR'S REAL PROPERTY REPORT
- DATED JULY 23, 2019
- DATED APRIL 13, 1982
- DENOTES REGISTERED PLAN 6087
- DENOTES DATED APRIL 13, 1982
- DENOTES CHAIN LINK FENCE
- DENOTES CHAIN LINK FENCE
- DENOTES TIES TO BRICK
- DENOTES TIES TO FOUNDATION
- DENOTES TIES TO FRAME
- DENOTES FIRE HYDRANT
- DENOTES INVERT
- DENOTES NORTH STANDARD
- DENOTES NORTH HOLE
- DENOTES UTILITY POLE
- DENOTES WINDOW WELL
- DENOTES CONFEROUS TREE

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH  
THE SURVEY ACT, THE SURVEYORS ACT AND THE  
REGULATIONS MADE UNDER THEM;  
2. THE SURVEY WAS COMPLETED ON THE 29th DAY OF OCTOBER, 2020

DATE: NOVEMBER 9, 2020

VLADIMIR DOSEN, B.Sc.,  
ONARIO LAND SURVEYOR

**VLADIMIR DOSEN SURVEYING**  
555 DAVENPORT AVENUE  
TORONTO, ONTARIO M4S 1J2  
PHONE (416) 466-0440 EMAIL: vldadosen@rogers.com

JOB NO. 2021-15  
FILE NO. 02  
CADD FILE: 178 RUSHWORTH CRESCENT  
FIELD BY: VLD  
DRAWN BY: VLD  
CHECKED BY: VLD

NOTES:

DRAWINGS MUST NOT BE SCALED  
DRAWINGS TO BE READ IN CONJUNCTION WITH THE  
GENERAL NOTES AND THE O.B.C.

All drawings & information shown on these drawings must  
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fabrication of its components. Unless noted otherwise, no  
provision has been made in the design for conditions  
occurring during construction.

It shall be the responsibility of the contractor to provide all  
necessary bracing, shoring, sheet piling, or other  
temporary supports, to safeguard all existing or adjacent  
structures affected by construction. All dimensions are  
given in Imperial units unless otherwise indicated.

All drawings are the property of the Architect / Designer &  
must be returned upon request.

The undersigned has reviewed and takes responsibility for  
this design, and has the qualifications and meets the  
requirements setout in the Ontario Building Code to be a  
designer.

Qualification Information  
Required unless design is exempt under Div. C - 3.2.5 of the  
Building Code

JESSE SAHLANI 44549  
NAME B.C.I.N.  
SENSUS DESIGN & BUILD INC. 45794  
FIRM B.C.I.N.

ADDRESS:  
178 RUSHWORTH CRES.  
VAUGHAN, ON  
L4H 3N5

CLIENT NAME:

PROJECT:  
CUSTOM HOME

PROP. ROOF PLAN

Date: 2021-04-13

Drawn by: A.E

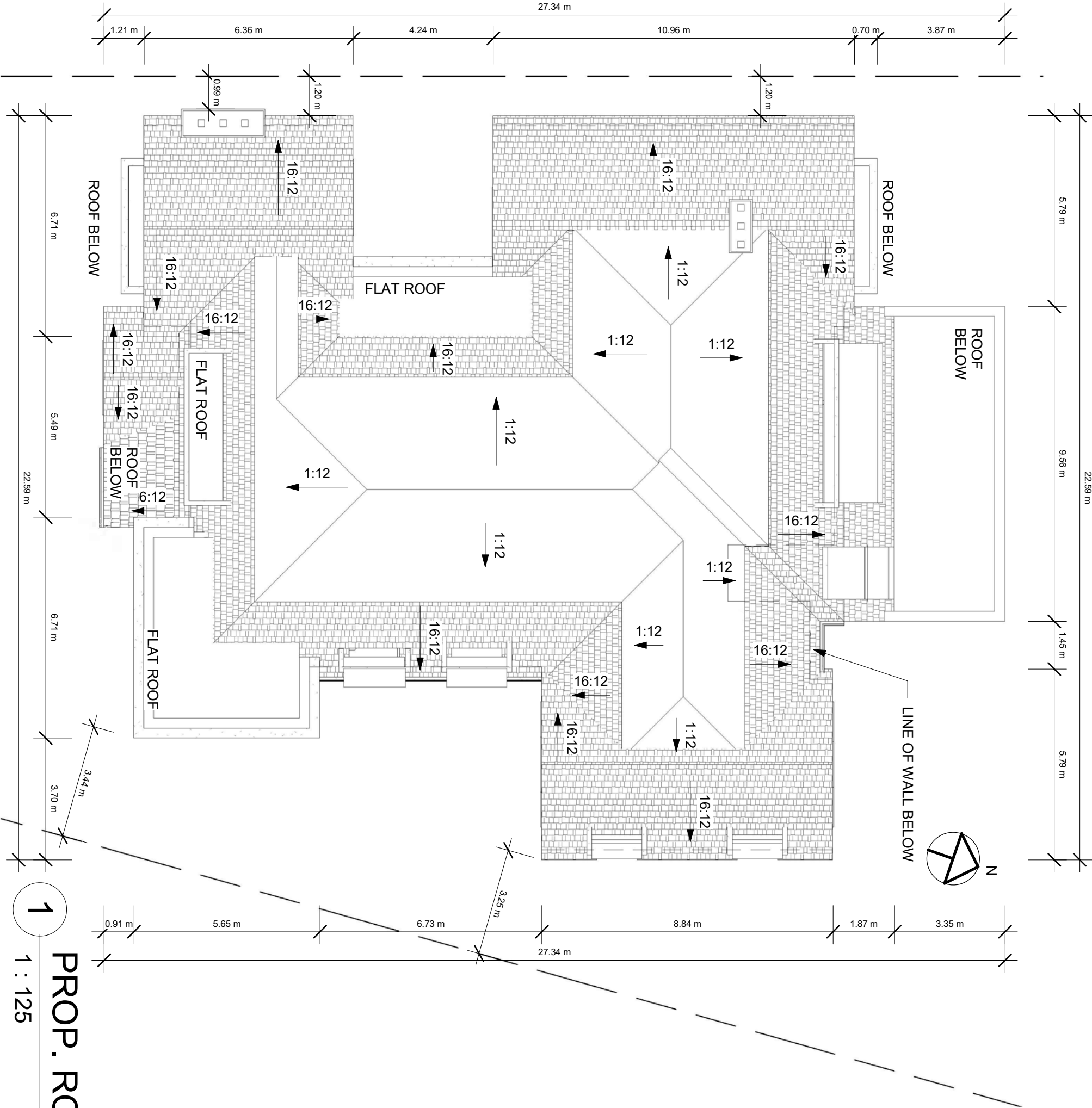
Checked by: J.S

A104

Scale: 1 : 125

NEW

April 13, 2021

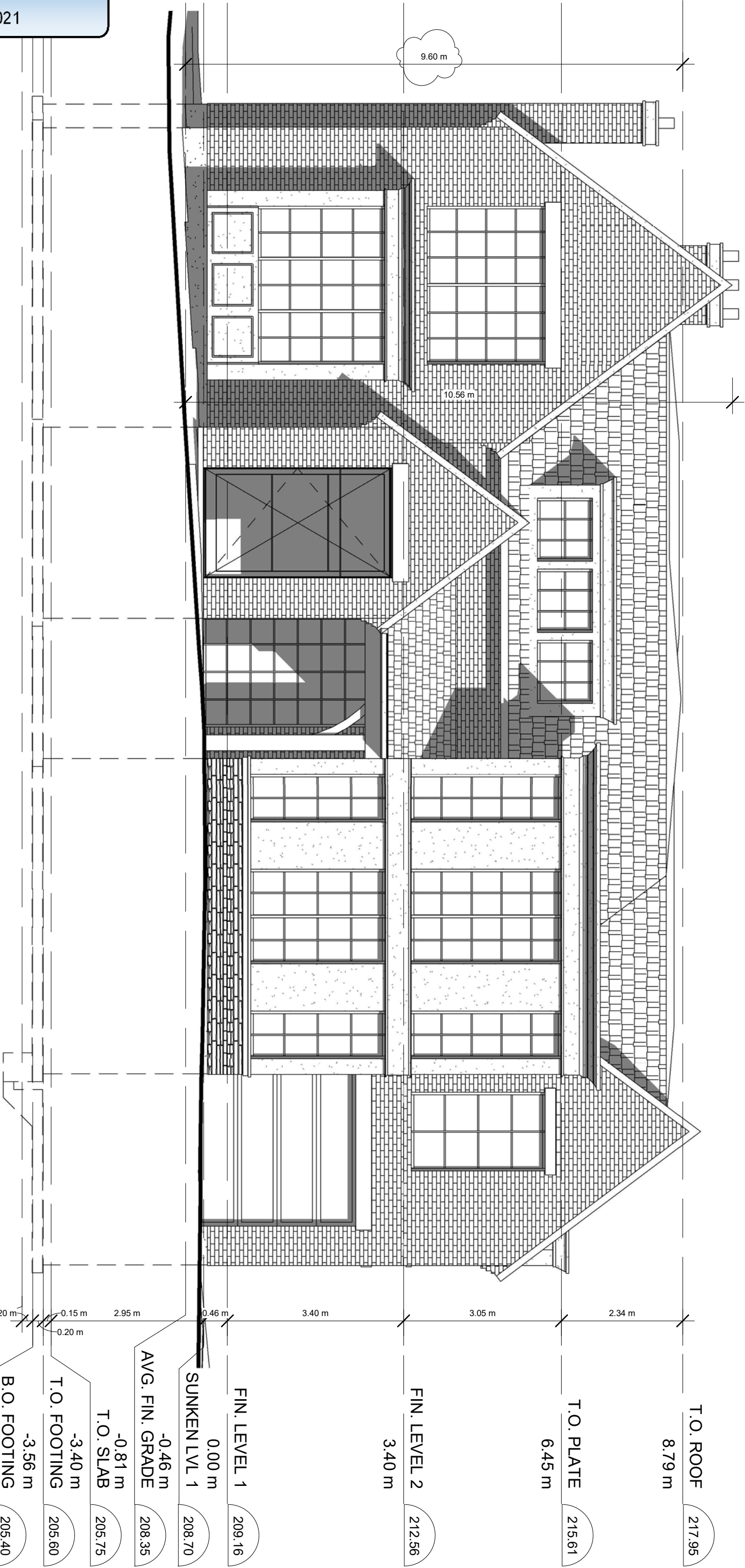


1

PROP. ROOF PLAN

1 : 125





**NEW**  
April 13, 2021

**1**  
**1 : 75**  
**PROP. SOUTH ELEV.**

**SENSUS**  
DESIGN & BUILD

SENSUS DESIGN & BUILD INC  
1315 LAWRENCE AVE EAST, TORONTO ON  
UNIT # 510  
PHONE: 416-919-1433  
EMAIL: info@sensusedesignbuild.ca  
www.sensusedesignbuild.ca

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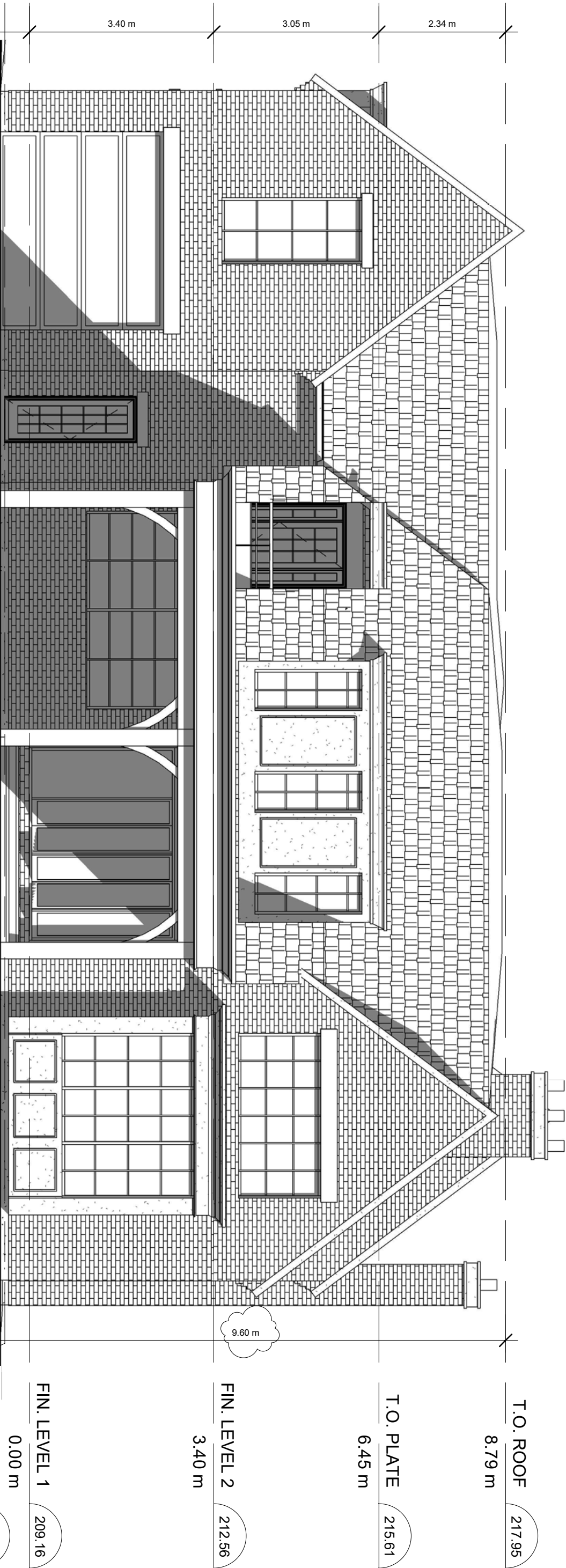
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NAME Building Code 44549  
SENSUS DESIGN & BUILD INC. B.C.I.N. 45794  
FIRM B.C.I.N.

ADDRESS:  
178 RUSHWORTH CRES.  
VAUGHAN, ON  
L4H 3N5  
CLIENT NAME:

PROJECT:  
CUSTOM HOME  
PROPOSED SOUTH  
ELEVATION

Date: 2021-04-13  
Drawn by: A.E  
Checked by: J.S

Scale: 1 : 75  
A105



0.20 m  
0.15 m  
0.20 m

3.40 m

3.40 m

3.05 m

2.34 m

**NEW**

April 13, 2021

1

1 : 75

PROP. NORTH ELEV.

**SENSUS**  
DESIGN & BUILD

SENSUS DESIGN & BUILD INC  
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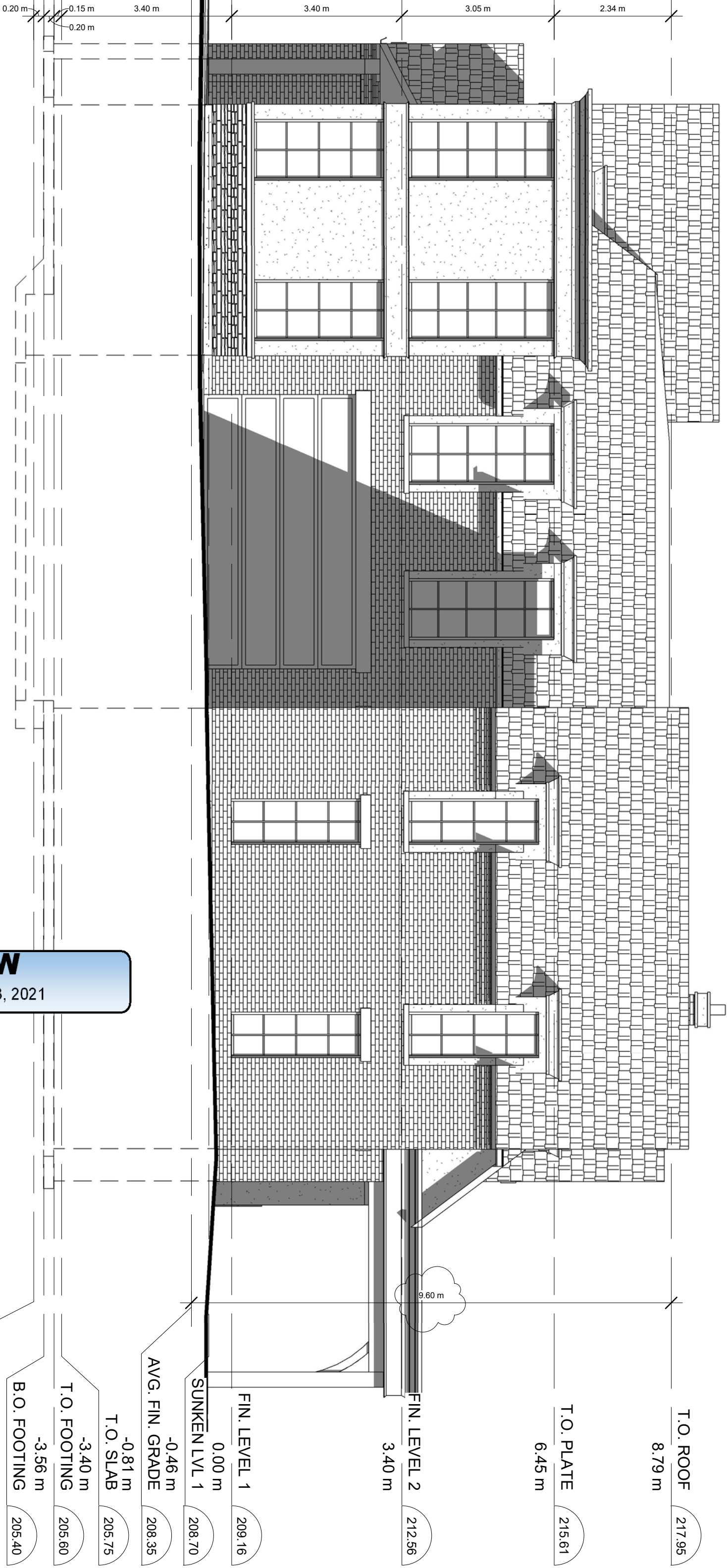
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JESSE SAHLANI  
NAME Building Code 44549  
B.C.I.N. 45794  
SENSUS DESIGN & BUILD INC.  
FIRM B.C.I.N.

ADDRESS:  
178 RUSHWORTH CRES.  
VAUGHAN, ON  
L4H 3N5  
CLIENT NAME:

PROJECT:  
CUSTOM HOME  
PROPOSED NORTH  
ELEVATION

Date: 2021-04-13  
Drawn by: A.E  
Checked by: J.S  
Scale: 1 : 75  
A106





T.O. ROOF  
217.95

8.79 m

T.O. PLATE  
215.61

6.45 m

FIN. LEVEL 2  
212.56

3.40 m

FIN. LEVEL 1  
209.16

0.00 m

SUNKEN LVL 1  
208.70

AVG. FIN. GRADE  
208.35

T.O. SLAB  
205.75

T.O. FOOTING  
205.60

B.O. FOOTING  
205.40

SUNKEN T.O. SLAB  
205.20

-3.76 m

-3.96 m

**NEW**  
April 13, 2021

# PROP. EAST ELEV.

1  
1 : 75

SENSUS DESIGN & BUILD INC

1315 LAWRENCE AVE EAST, TORONTO ON

UNIT # 510

PHONE: 416-919-1433

EMAIL: info@sensusedesignbuild.ca

www.sensusedesignbuild.ca

NOTES:

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DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES AND THE O.B.C.

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Qualification Information

Required unless design is exempt under Div. C - 3.2.5 of the

JESSE SAHLANI

Building Code

44549

B.C.I.N.

SENSUS DESIGN & BUILD INC.

45794

B.C.I.N.

FIRM

ADDRESS:

178 RUSHWORTH CRES.

VAUGHAN, ON

L4H 3N5

CLIENT NAME:

PROJECT:

CUSTOM HOME

PROPOSED EAST ELEVATION

Date:

2021-04-13

Drawn by:

A.E

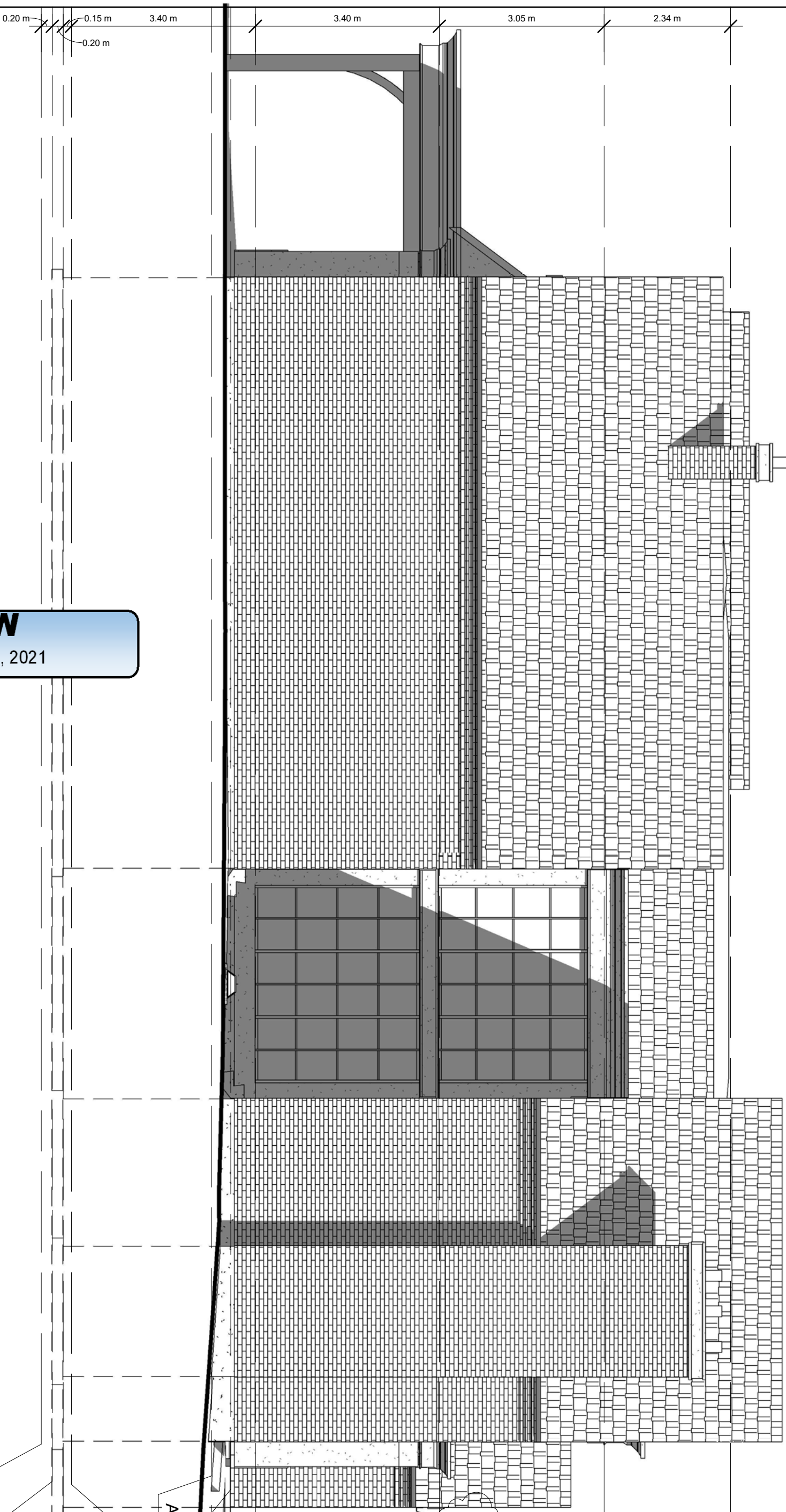
Checked by:

J.S

A107

Scale:

1 : 75



1

1 : 75

PROP. WEST ELEV.

NEW

April 13, 2021

SENSUS DESIGN & BUILD INC

1315 LAWRENCE AVE EAST, TORONTO ON

UNIT # 510

PHONE: 416-919-1433

EMAIL: info@sensusedesignbuild.ca

www.sensusedesignbuild.ca

NOTES:  
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44549  
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45794  
B.C.I.N.

ADDRESS:  
178 RUSHWORTH CRES.  
VAUGHAN, ON  
L4H 3N5  
  
CLIENT NAME:

PROJECT:  
CUSTOM HOME  
  
PROPOSED WEST  
ELEVATION

Date: 2021-04-13

Drawn by: A.E

Checked by: J.S

A108

Scale: 1 : 75



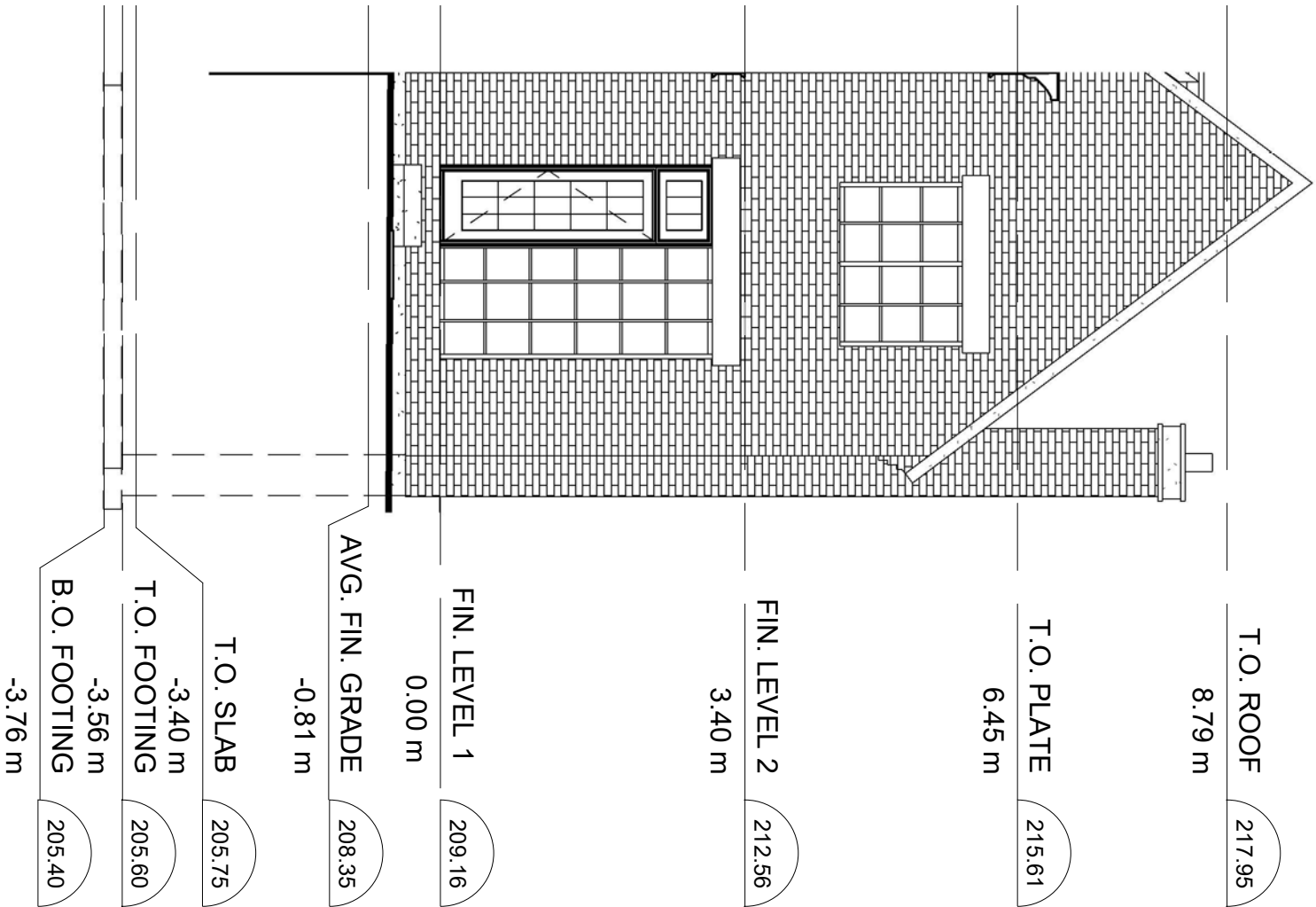
NEW

April 13, 2021

1

1 : 75

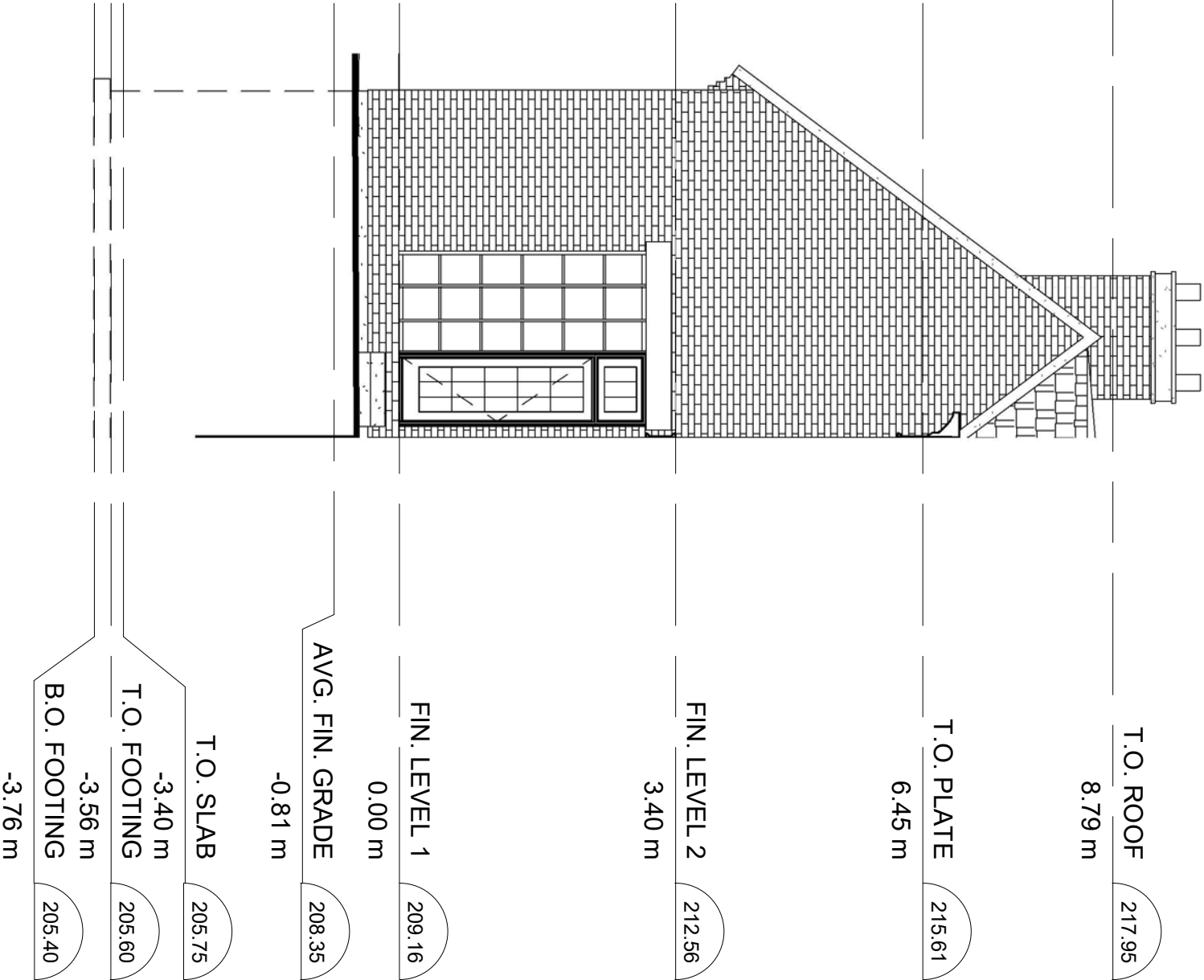
## PROP. COURTYARD NORTH ELEV.



2

1 : 75

## PROP. COURTYARD SOUTH ELEV.



### NOTES:

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ADDRESS:  
178 RUSHWORTH CRES.  
VAUGHAN, ON  
L4H 3N5

CLIENT NAME:

PROJECT:

CUSTOM HOME  
PROP. COURTYARD  
ELEVATIONS

Date:

2021-04-13

Drawn by:

A.E

Checked by:

J.S

A109

Scale:

1 : 75

SENSUS  
DESIGN & BUILD

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JESSE SAHLANI 44549  
NAME B.C.I.N.  
SENSUS DESIGN & BUILD INC. 45794  
FIRM B.C.I.N.

**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None**

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Providence, Lenore

---

**Subject:** FW: [External] RE: A046/21 - REQUEST FOR COMMENTS - 178 Rushworth Cr Kleinburg (Full Circulation)

---

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** April-01-21 10:35 AM

**To:** Providence, Lenore <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A046/21 - REQUEST FOR COMMENTS - 178 Rushworth Cr Kleinburg (Full Circulation)

Good morning Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has **no comment.**

Regards,

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

## Providence, Lenore

---

**Subject:** FW: [External] Re: A046/21 - REQUEST FOR COMMENTS - 178 Rushworth Cr Kleinburg (Full Circulation)

---

**From:** Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>

**Sent:** March-26-21 9:56 AM

**To:** Providence, Lenore <Lenore.Providence@vaughan.ca>

**Cc:** Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>

**Subject:** [External] Re: A046/21 - REQUEST FOR COMMENTS - 178 Rushworth Cr Kleinburg (Full Circulation)

Good morning,

This site 178 Rushworth Cr. is not within MTO permit control area and MTO has no concerns.

**Colin Mulrenin | Corridor Management Officer | York**

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7<sup>th</sup> Floor, Building D | Downsview, Ontario | M3M 0B7

[Colin.Mulrenin@ontario.ca](mailto:Colin.Mulrenin@ontario.ca)