



File: A156/20

Applicant: Jason Gabriele

Address: 186 Pine Valley Crescent, Woodbridge

Agent: Francesco Di Sarra

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning		
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: April 8<sup>th</sup>, 2021

Background History: None

Staff Report Prepared By: Adriana MacPherson  
Hearing Date: Thursday, April 29, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance  
Application

Agenda Item: 33

A156/20

Ward: 3

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Thursday, April 29, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Jason Gabriele

**Agent:** Francesco Di Sarra

**Property:** 186 Pine Valley Crescent, Woodbridge

**Zoning:** The subject lands are zoned RR under By-law 1-88 as amended

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed detached garage (with underground garage), a covered porch/patio and a swimming pool.

The proposed detached garage is located in the easterly side yard and the covered porch/patio and swimming pool are to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum side yard setback of 4.5 m is required. (schedule A)	1. To permit a minimum side yard setback of 2.37 m for the proposed accessory structure (detached Garage).
2. A maximum lot coverage of 10% is permitted. (schedule A)	2. To permit a maximum lot coverage of 17.6%. (Dwelling 14.4%, Covered Porch 1.9% and Detached Garage 1.3%)
3. A maximum height of 4.5m is permitted. (4.1.1.b)	3. To permit a maximum height of 5.5m for the proposed accessory structure (detached Garage).
4. A maximum height of 3.0m to the nearest part of the roof is permitted. (4.1.1.b)	4. To permit a maximum height of 4.15m to the nearest part of the roof for the accessory structure (detached Garage)
5. A swimming pool shall be constructed only in the rear yard. (4.1.1.i)	5. To permit construction of a swimming pool which is not located in the rear yard.

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History:

Hearing Date:	Members Absent from Hearing:	Status of Adjournment: (i.e. date/sine die)	Reason for Adjournment:
April 8, 2021	None	Sine Die	Adjourn to allow time to receive an arborist report for review which was requested by staff.

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on April 14, 2021

Applicant confirmed posting of signage on April 15, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1990
Covered Porch	TBC
Garage	TBC
Pool	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s):

1. A minimum side yard setback of 4.5m is required and we are requesting a side yard setback of 2.37m.
2. Allowed lot coverage is 10%, the existing coverage is 14.4% and we are proposing additional structures of a detached garage (1.3%) and a covered porch (1.9%) which increases the existing lot coverage by 3.2% and reaches 17.6%.
3. The maximum height of 4.5m is permitted for an accessory structure and we are proposing 5.5m height.
4. The maximum height of 3.0m to the nearest part of the roof is permitted and we are proposing 4.15m.
5. A swimming pool shall be constructed only in the rear yard and we are requesting to construct a pool in the area which is not the rear yard.

Adjournment Request: None

Building Standards (Zoning Review):

There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Application under review.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A156/20 subject to the following condition(s):

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for the pool permit.

**Parks Development - Forestry:**

Hoarding will be specifically required for the rear tree line (as per the arborist report) to protect against any potential root zone injury from excavation/grading operations in the rear yard. Hoarding along the driveway is no longer required due to site plan alteration.

Prior to permit issuance, Forestry staff shall inspect and approve the tree protection (Hoarding). Tree protection shall be installed to the satisfaction of the Forestry division.

Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

Arborist recommendations are to be followed as outlined in the Arborist Report.

Recommended condition of approval:

Applicant/owner shall apply for a “Private Property Tree Removal & Protection” permit through the forestry division prior to building permit approval. This is required as construction activity will be occurring in the rear yard with excavation/grading as a component.

**By-Law and Compliance, Licensing and Permit Services:**

No comments received to date

**Development Finance:**

No comment no concerns

**Fire Department:**

No comments received to date

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

Applicant Correspondence – Application Cover Letter, includes reference to historical approval in area and a petition in support signed by residents at 11, 65, 92, 93, 109, 110, 127, 142, 206, 222, 284, 305 and 331 Pine Valley Crescent, 24 and 41 Meadowland Court.

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections  
Region of York – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Planning Roberto Simbana  905-832-8585 x 8810 <a href="mailto:roberto.simbana@vaughan.ca">roberto.simbana@vaughan.ca</a>	Application under review.
2	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit

	Department/Agency	Condition
		<a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.
3	Parks, Forestry and Horticulture Operations Zachary Guizzetti  905-832-8585 x3614 <a href="mailto:Zachary.Guizzetti@vaughan.ca">Zachary.Guizzetti@vaughan.ca</a>	Applicant/owner shall apply for a “Private Property Tree Removal & Protection” permit through the forestry division prior to building permit approval. This is required as construction activity will be occurring in the rear yard with excavation/grading as a component.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**  
**Adriana MacPherson**  
T 905 832 8585 Extension 8360  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map  
Plans & Sketches

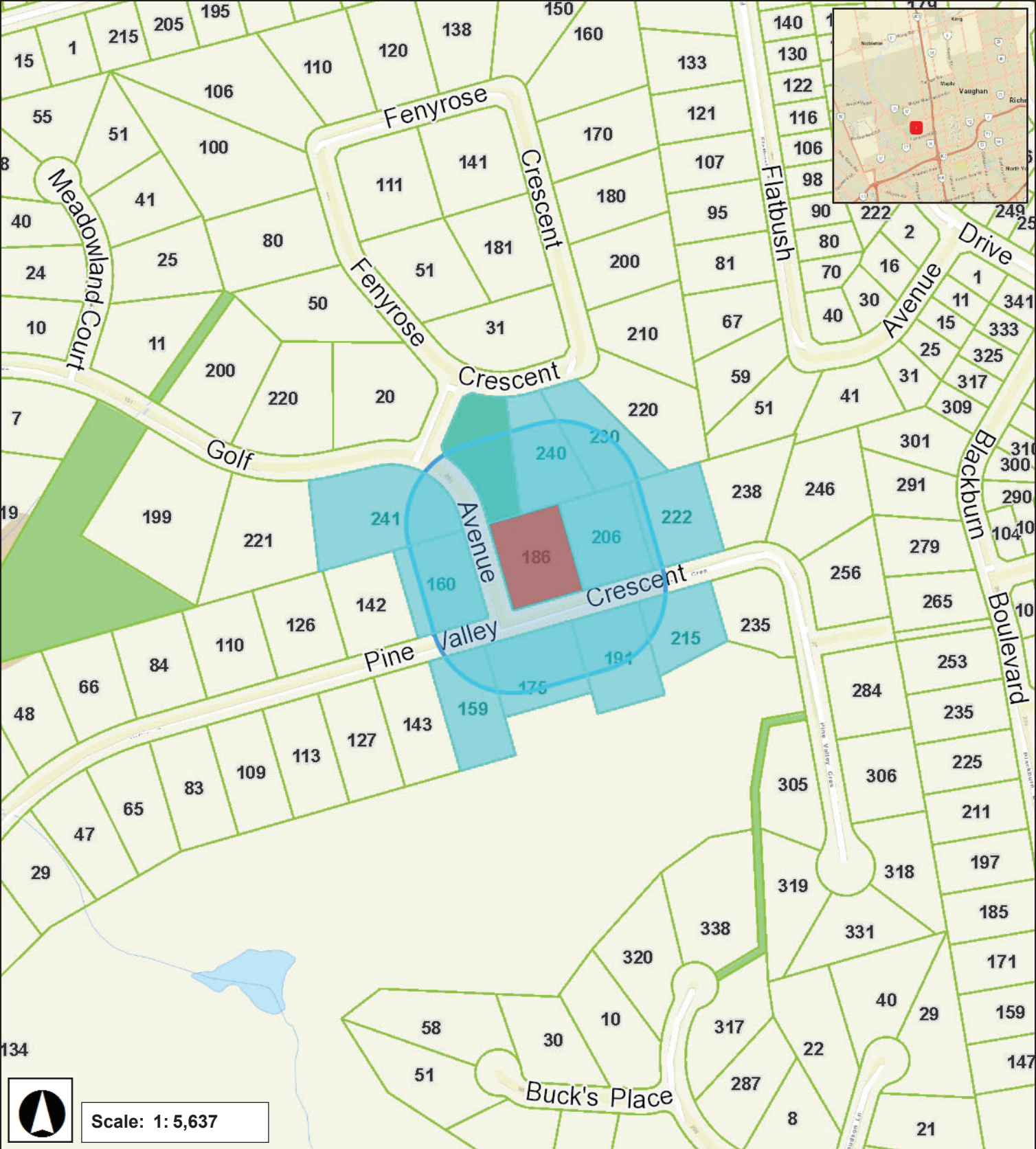




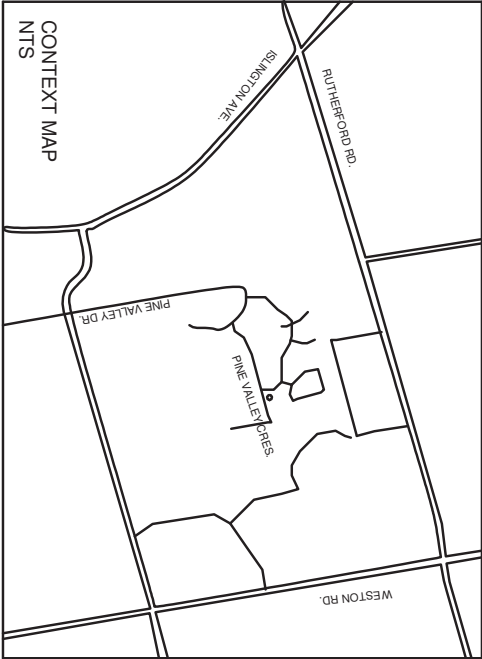
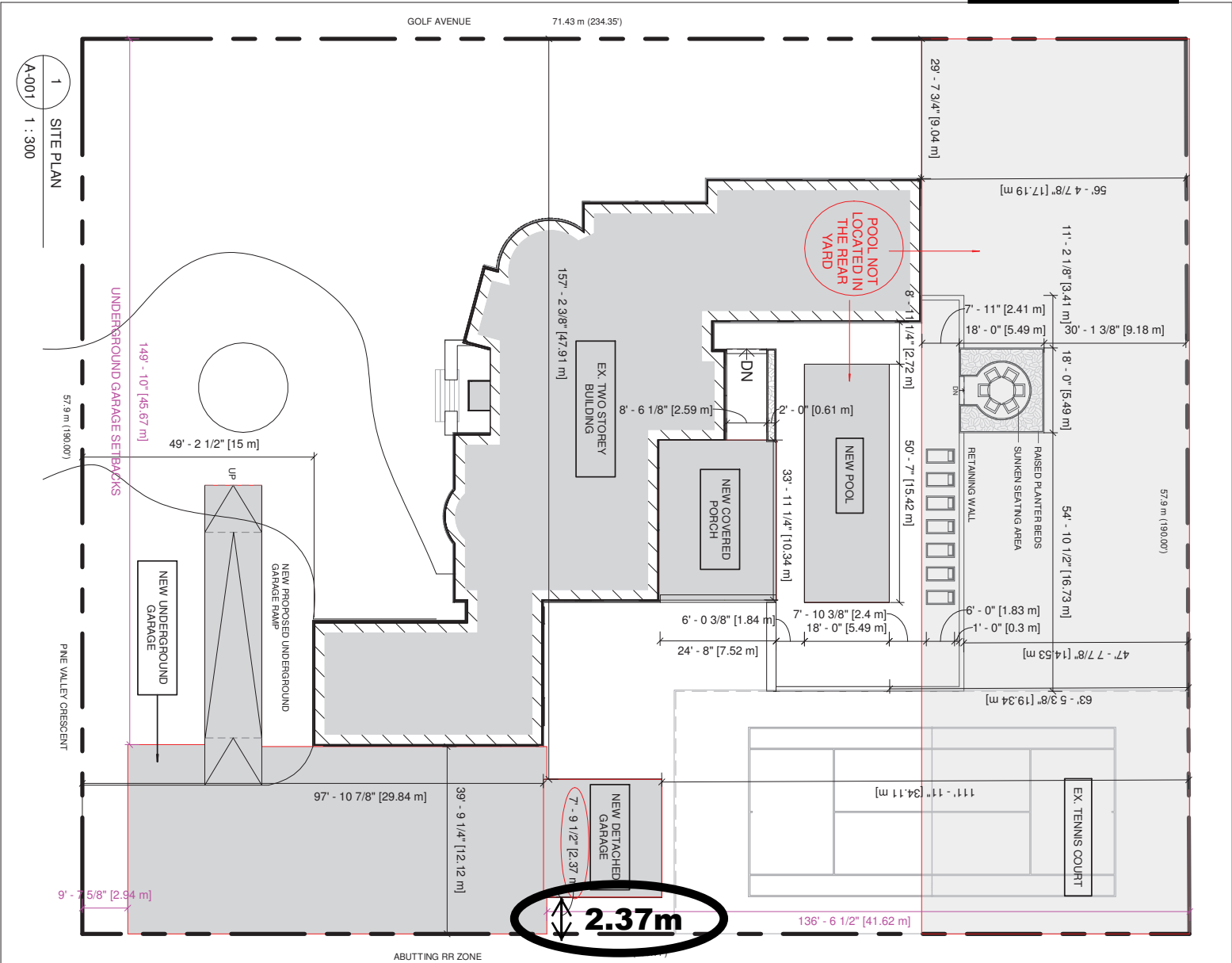
# A156/20 - Notification Map

186 Pine Valley Crescent, Woodbridge

Rutherford Road







REAR YARD LANDSCAPE CALCULATIONS		
AREA	PERCENTAGE	
HARD LANDSCAPING	356.8 m²	35.5%
SOFT LANDSCAPING	648.3 m²	64.5%

SITE STATISTICS - Schedule "A"					
ZONING DESIGNATION		LOT NUMBER	PLAN NUMBER		
RR					
LOT AREA	LOT FRONTAGE	LOT DEPTH			
44598.6 FT²	4142.46 M	57.9 M		71.66 M	
LOT COVERAGE (BUILDING ONLY)	EXISTING	PROPOSED		DIFFERENCE BETWEEN PROPOSED AND ALLOWED	
		MAX. ALLOWED			
10%	14.4%	4459.9 M²	6431 M²	4.4%	1972.1 M²
DETACHED GARAGE COVERAGE	N/A	4142 M²	597 M²	1.3%	182.8 M²
PATIO COVERAGE	N/A	N/A	N/A	1.9%	N/A
LOT COVERAGE TOTAL	EXISTING	PROPOSED		DIFFERENCE BETWEEN PROPOSED AND ALLOWED	
		10%	14.4%	4.4%	1972.1 M²
MAX. ALLOWABLE SQUARE FOOTAGE FOR ACCESSORY STRUCTURE	67 M²	N/A	58.5 M²	7.6%	316.4 M²
NO. OF STOREYS	N/A	2	2	N/A	
OVERALL HEIGHT	9.5 M	8.86 M	8.86 M	NOT EXCEED	
HEIGHT OF ACCESSORY STRUCTURE	4.5 M	N/A	5.50 M	2.55 M	
HEIGHT TO THE NEAREST PART OF THE ROOF	3.0 M	N/A	4.15 M	1.15 M	
DWELLING WIDTH	N/A	36.6 M	45.9 M	N/A	
DWELLING LENGTH	N/A	39.46 M	39.46 M	N/A	
FRONT YARD SETBACK (S)	EXISTING	PROPOSED		DIFFERENCE BETWEEN ALLOWED AND PROPOSED	
		15 M	15 M	NOT EXCEED	
REAR YARD SETBACK (N)	15 M	17.2 M	17.2 M	NOT EXCEED	
INTERIOR SIDE YARD SETBACK (E)	4.5 M	12.19 M	2.57 M	2.13 M	
INTERIOR SIDE YARD SETBACK (W)	9 M	9.11 M	9.11 M	NOT EXCEED	
FLOOR STATISTICS					
BASEMENT	N/A	4277 SF	4277 SF		
GARAGE	N/A	1235 SF	1747 SF		
GROUND FLOOR	N/A	4896 SF	4896 SF		
SECOND FLOOR	N/A	4150 SF	4150 SF		

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647.749.0567 | FRANK@FRANKRANCO.COM

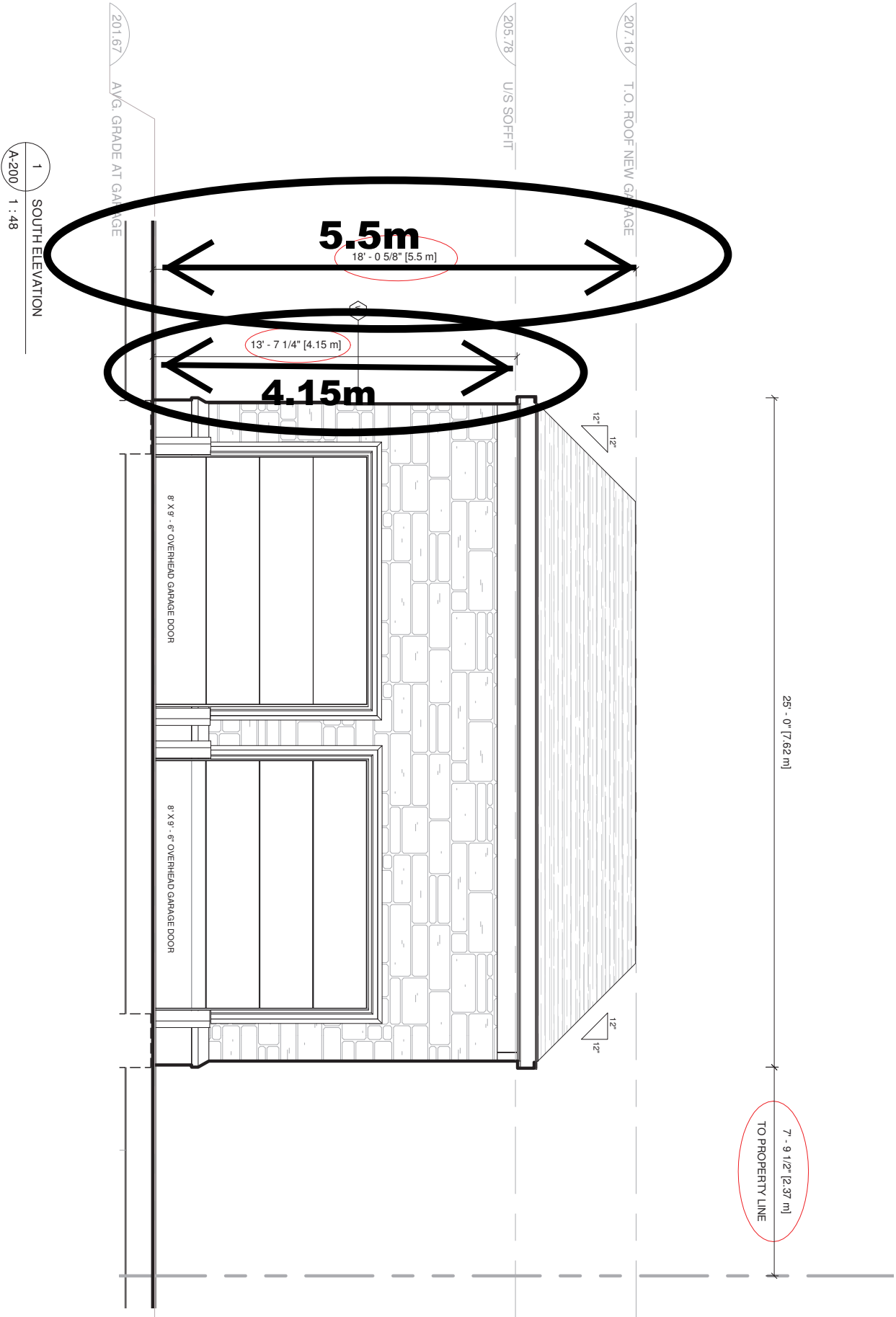
186 PINE VALLEY CRES  
VAUGHAN, ON

PROJECT MANAGER: FD  
DRAWN: MN  
SCALE: As indicated

SITE PLAN

A-001

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REV	DATE	ISSUED FOR
1	2020.12.14	ISSUED FOR C OF A
2	2021.01.27	ISSUED FOR C OF A



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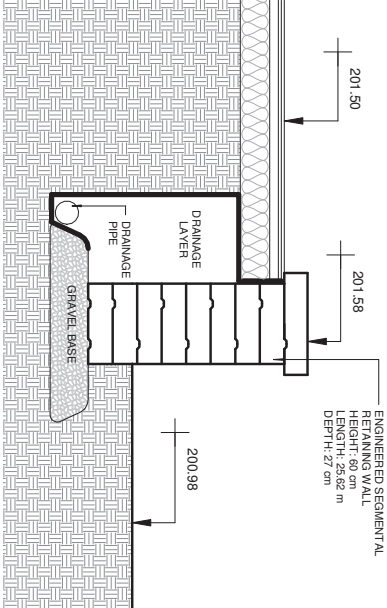
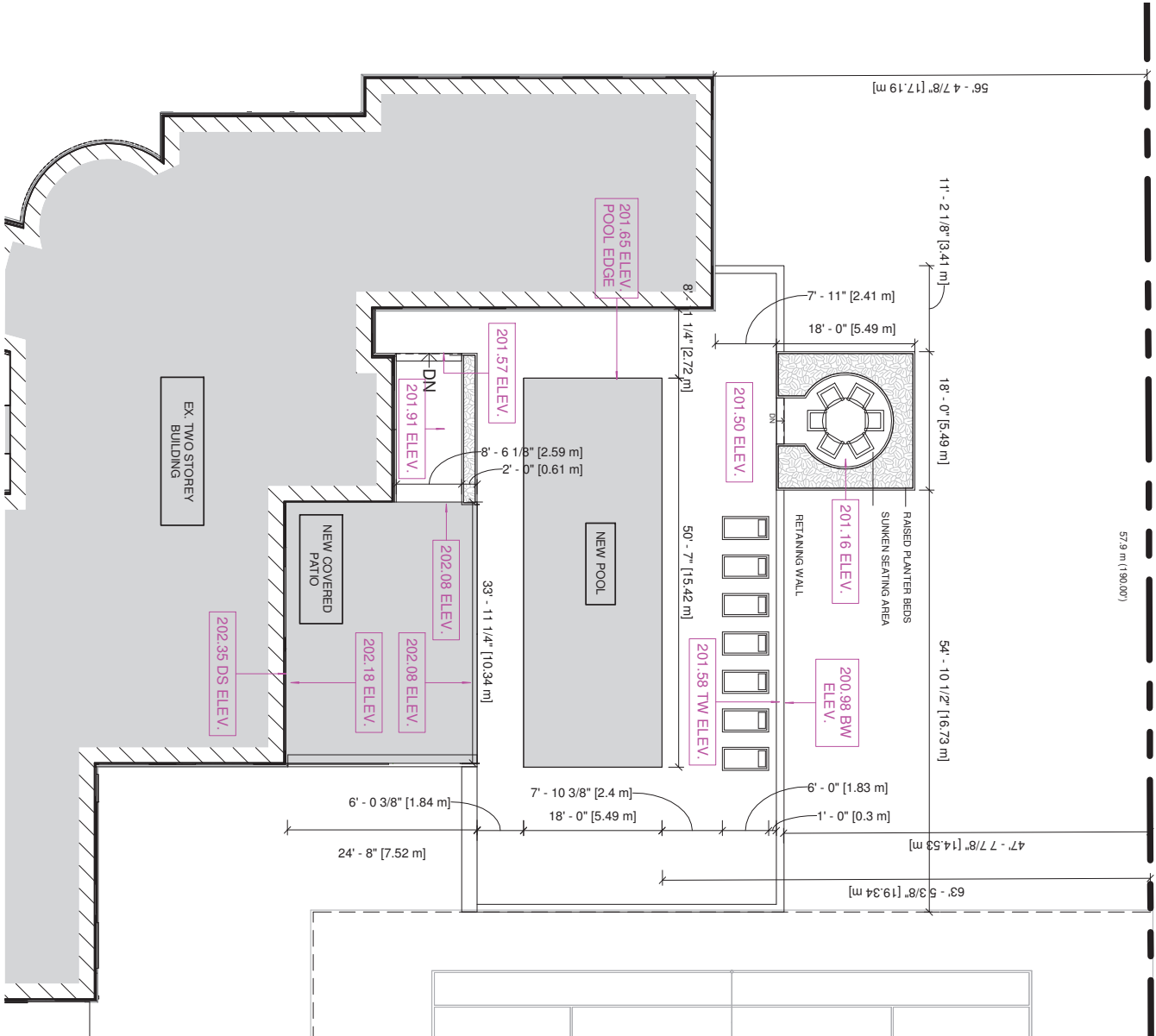
186 PINE VALLEY CRES  
VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	MN
SCALE	1 : 48

DETACHED GARAGE -  
SOUTH ELEVATION

A-200

2021-03-24 1:43:50 PM



2 RETAINING WALL SECTION  
A-002 1 : 20

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186 PINE VALLEY CRES  
VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	Author
SCALE	As indicated

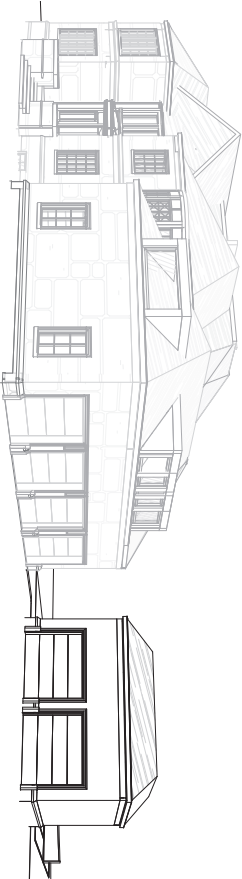
SITE PLAN - DETAILS

A-002

2021-03-24 1:43:49 PM

# 186 PINE VALLEY CRES.

ADDITIONAL DETACHED GARAGE, AN UNDERGROUND GARAGE, A COVERED PORCH, AND A SWIMMING POOL



## PROJECT PERSONNEL

PRINCIPAL DESIGNER: FRANCESCO DI SARRA

DRAWN BY: MATTHEW NESTICO

NO.	DRAWING
**	COVER SHEET
A-000	SPEC SHEET
A-001	SITE PLAN
A-002	SITE PLAN - DETAILS
A-100	DETACHED GARAGE - PLAN
A-101	DETACHED GARAGE - DRIVEWAY PLAN
A-200	DETACHED GARAGE - SOUTH ELEVATION
A-201	DETACHED GARAGE - NORTH ELEVATION
A-202	DETACHED GARAGE - EAST ELEVATION
A-203	DETACHED GARAGE - WEST ELEVATION
A-300	UNDERGROUND GARAGE - PLAN
A-301	UNDERGROUND GARAGE - SECTIONS
A-400	COVERED PATIO - ELEVATION

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NO	DATE	ISSUED FOR
1	2020.12.14	ISSUED FOR C OF A
2	2021.01.27	ISSUED FOR C OF A

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VAUGHAN, ON

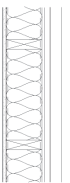
PROJECT MANAGER	FD
DRAWN	MN
SCALE	
COVER SHEET	
** *	

## CONSTRUCTION NOTES:

(UNLESS OTHERWISE NOTED)  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS & SPECS & TO CONFORM TO THE OBC & ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE NOTES ARE TO BE CONSIDERED MIN. SPECS.



STONE VENEER WALL CONSTRUCTION (2 X 6)



- 90 MM (4") FACE STONE (NATURAL OR CULTURED)
- 25 MM (1") MORTAR
- 22 X 180 X 276 MM (7/8" X 7" X 0.037) GALVANIZED METAL TIES @ 400 MM (16") O.C. HORIZONTALLY, 600 MM (24") O.C. VERTICALLY
- APPROVED SHEATHING PAPER, 9.5 MM (3/8") EXT.
- APPROVED INSULATION
- 38 X 140 (2" X 6") STUDS @ 400 MM (16") O.C.
- RS14.23 (R24) INSUL.
- APPROVED VAPOR BARRIER
- APPROVED CONCRETE FINISH
- PROVIDE WEEP HOLES @ 800 MM (32") O.C. BOTTOM COURSE & OVER OPENINGS
- PROVIDE BASE FLASHING UP MIN. 150 MM (6") BEHIND BLOCK PAPER
- FOR UNHEATED SPACES OMIT INSUL.

## EXCAVATION & BACKFILL

EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY & UTILITIES.

- THE TOPSOIL & VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BLDG SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL OBSTRUCTIONS.
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS & WOOD DEBRIS SHALL BE REMOVED TO A MIN. DEPTH OF 500 MM IN EXCAVATED AREAS UNDER A BLDG. & THE CLEARANCE BTWN UNTREATED STRUCTURAL WOOD ELEMENTS & THE GROUND SHALL BE NO LESS THAN 400 MM.
- BACKFILLING SHALL BE DONE WITH UNWEATHERED MATERIALS. FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS & BOULDERS OVER 250 MM IN DIAMETER.

## FN - FOUNDATION

ALL FOOTINGS SHALL ADHERE TO THE MIN. REQ. BELOW:

- MIN. 15 MPa POURED CONC.
- MIN. 1200 MM BELOW GRADE
- REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRAVEL
- MIN. BEARING CAPACITY OF 75 KPA OR 100 KPA FOR 1G

THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE DESIGN BEARING CAPACITY OF THE SOILS, AND OTHER NOTABLE SITE SPECIFIC CONDITIONS. THE OWNER SHALL REPORT TO THE DESIGNER ANY FINDINGS OR DISCREPANCIES.



STRIP FOOTING SUPPORTING EXTERIOR WALL - OBC 9.15.3.  
ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4 KPA (50 PSF) PER FLOOR & MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9 M (16'-1").

## FN - FOUNDATION WALL

REDUCTION IN FOUNDATION WALL THICKNESS

- THE FOUNDATION WALL SHALL NOT BE REDUCED TO LESS THAN 90 MM (3-7/8") THK TO A MAX. DEPTH OF 600 MM (24")
- MASONRY VENEER SHALL BE TIED TO THE FACING MATERIAL W/ METAL TIES SPACED 200 MM (8") O.C. VERTICALLY & 800 MM (38") O.C. HORIZONTALLY
- FILL SPACE BTWN WALL & FACING SOLD W/ MORTAR



CONCRETE BLOCK FOUNDATION WALL

- CONC. BLOCK WALL (12" x 8" x 8")
- BITUMINOUS DAMP PROOFING & DRAINAGE LAYER
- FILL TOP BLOCK COURSE W/ MORTAR OR CONC.
- MASONRY FOUNDATION WALLS SHALL BE PARGED WITH DAMP PROOFING OVER THE FOOTING
- BLOCK LOOK EVERY 2 COURSES

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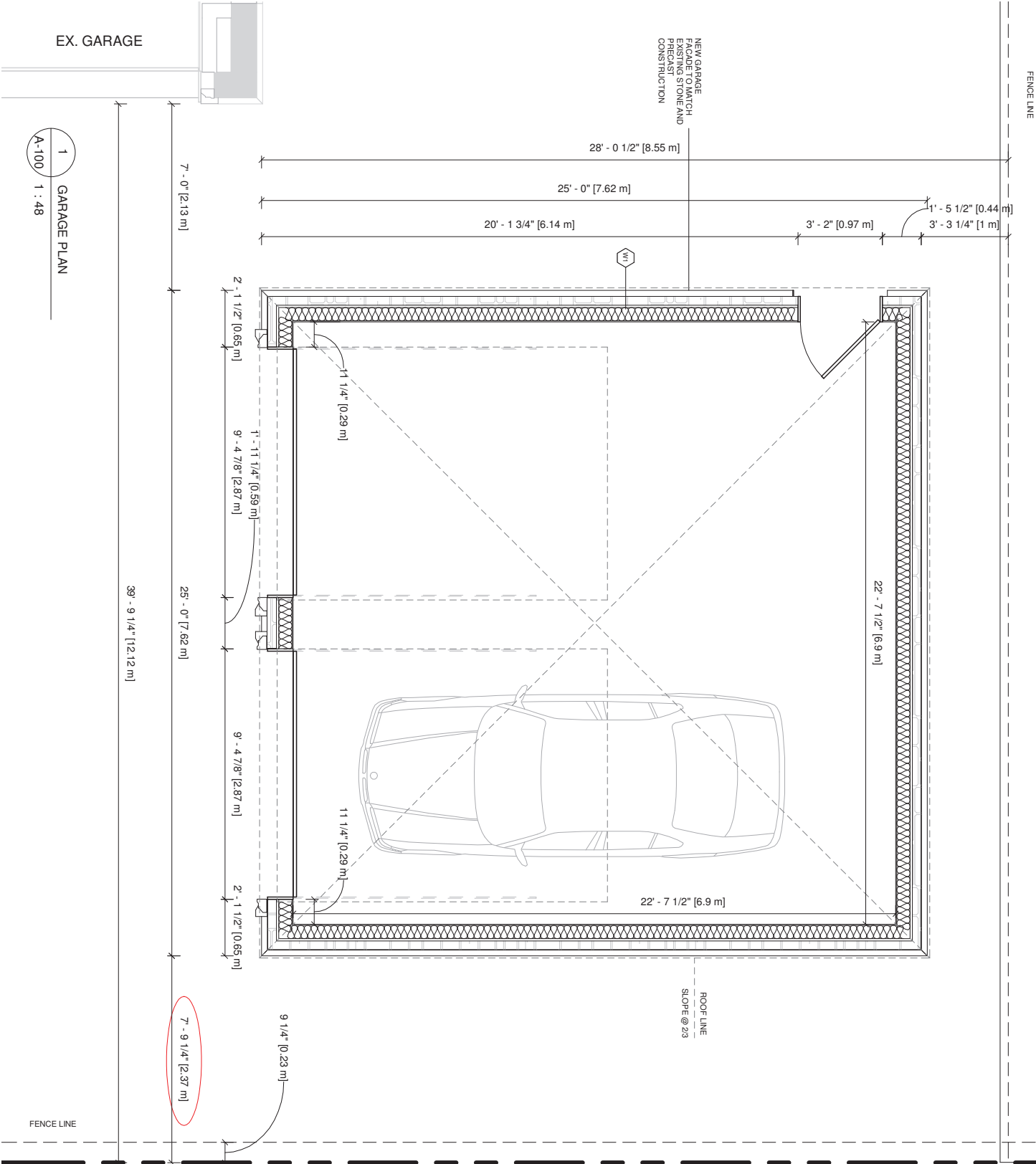
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SCALE	

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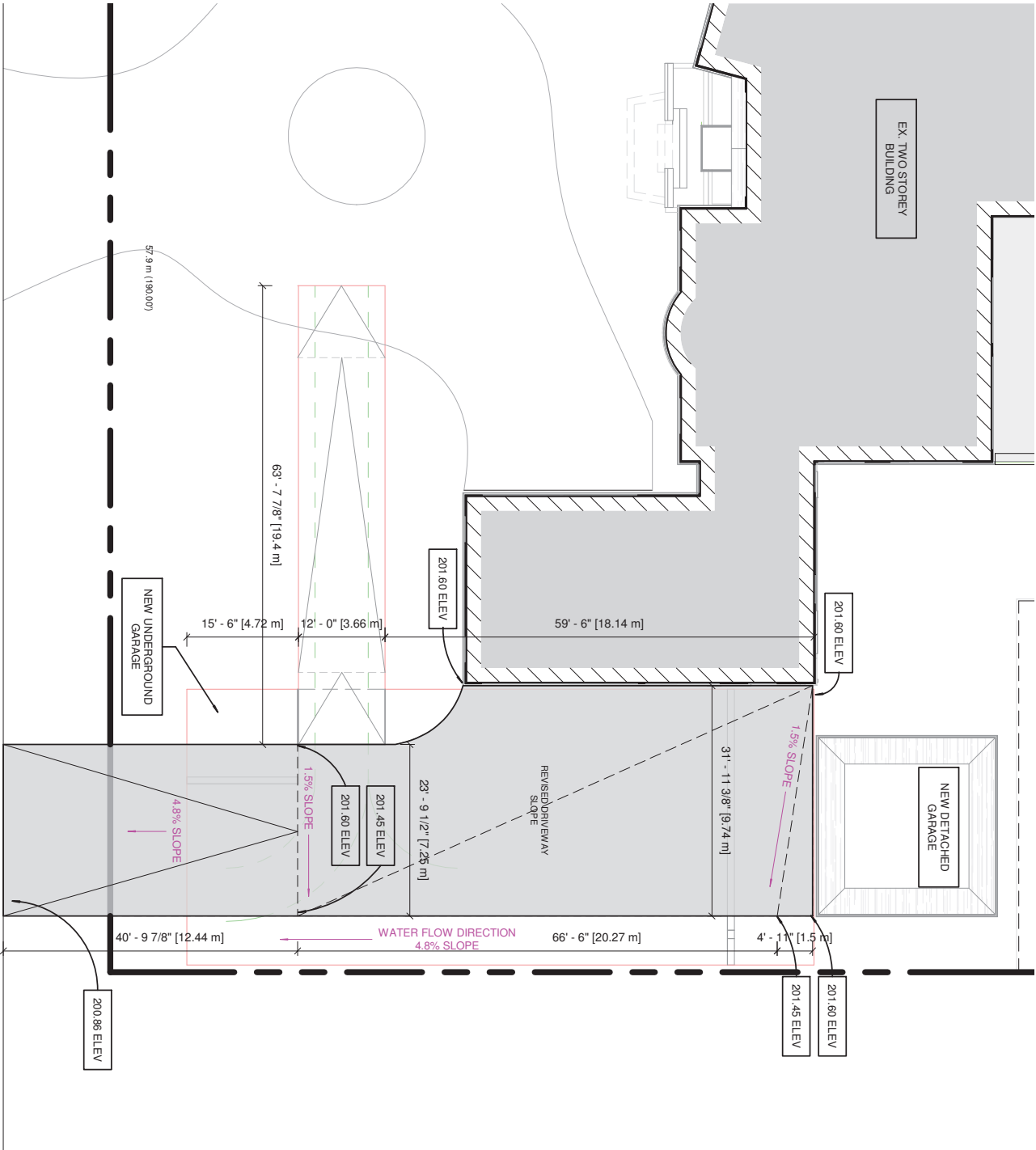
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DRAWN	Author
SCALE	1 : 48

DETACHED GARAGE - PLAN

1 GARAGE PLAN  
A-100 1 : 48

A-100

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VAUGHAN, ON

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DRAWN	MN
SCALE	1 : 200
DETACHED GARAGE - DRIVEWAY PLAN	

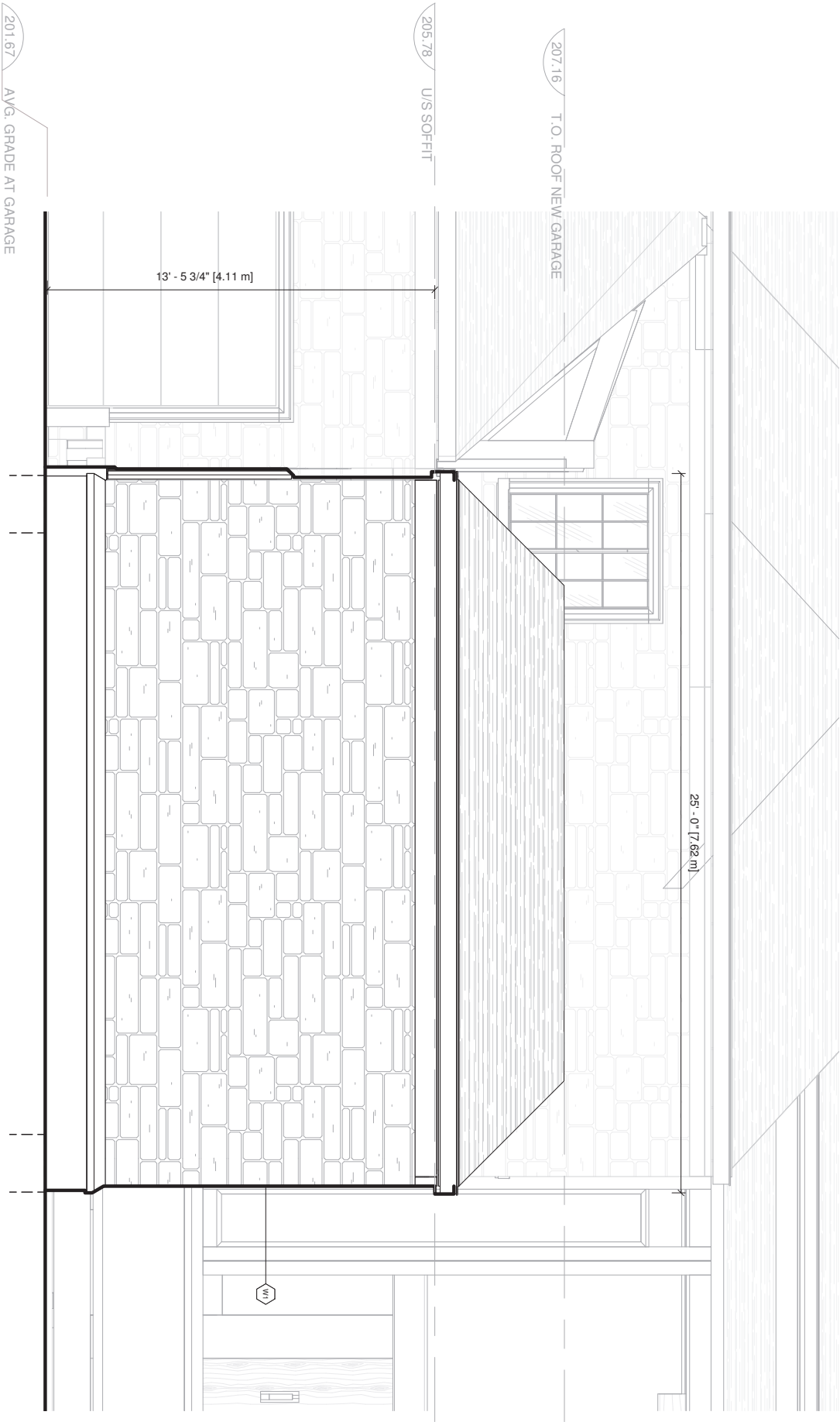
1 SITE PLAN - DRIVEWAY

A-101 1 : 200

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DETACHED GARAGE - EAST  
ELEVATION

A-202

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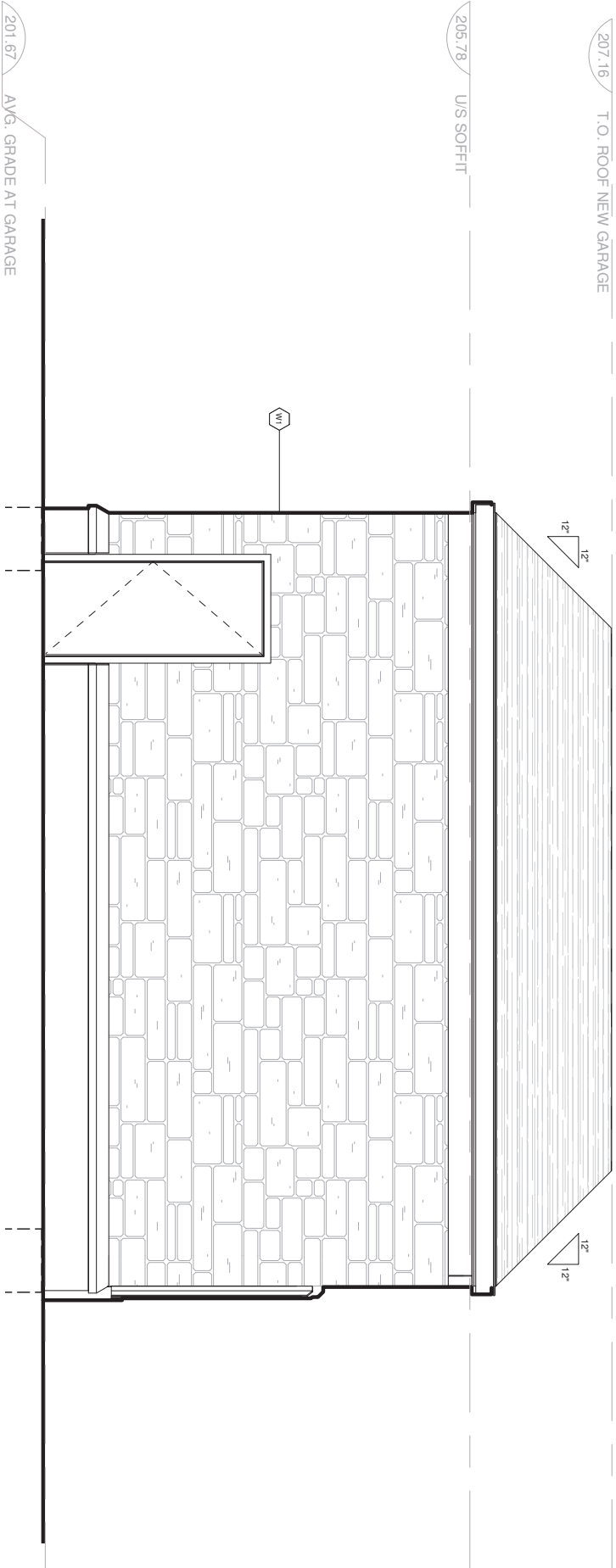
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VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	MN
SCALE	1 : 48

DETACHED GARAGE -  
WEST ELEVATION

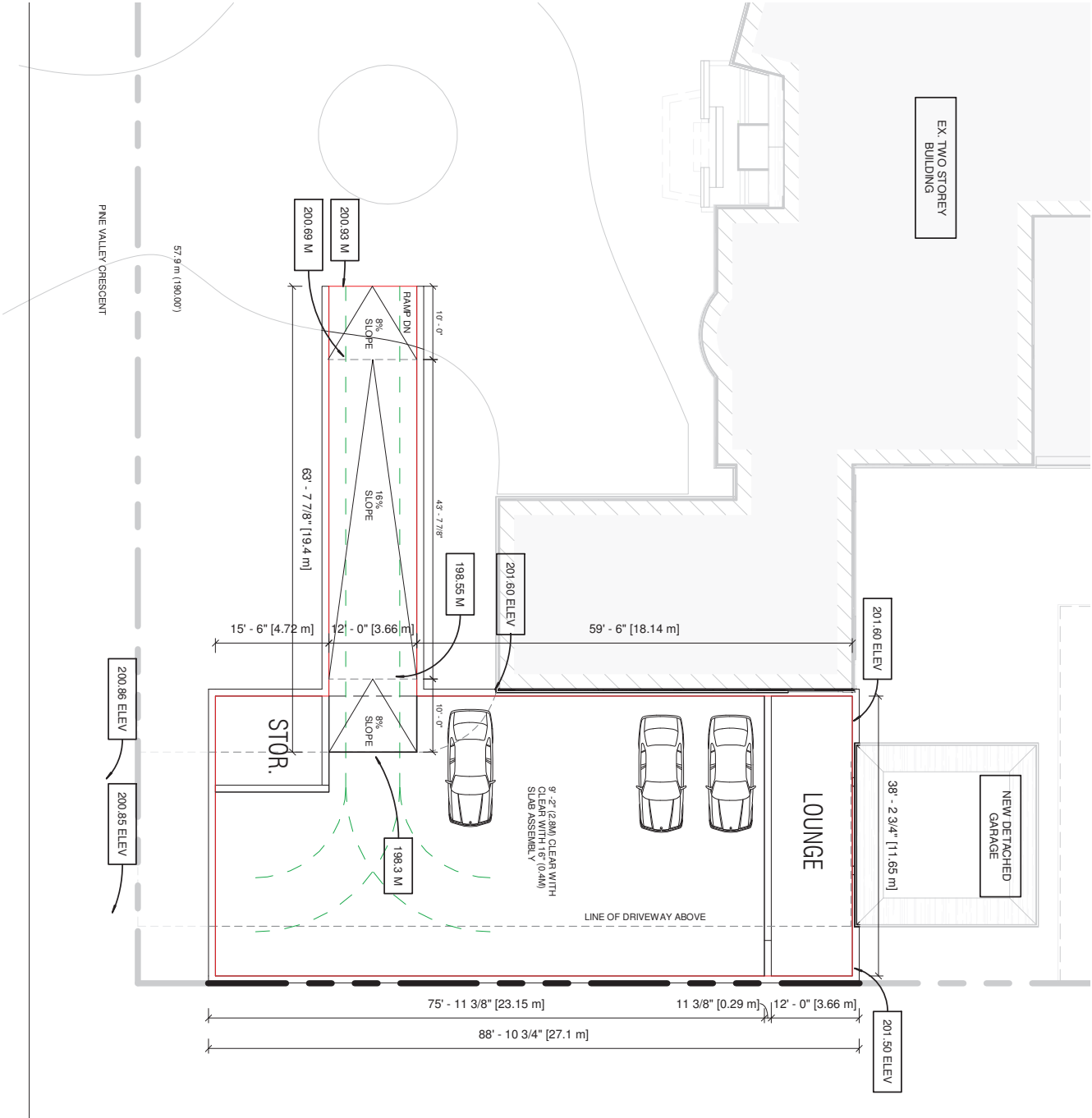
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1 WEST ELEVATION  
A-203 1 : 48





1 UNDERGROUND GARAGE PLAN

A-300 1 : 200

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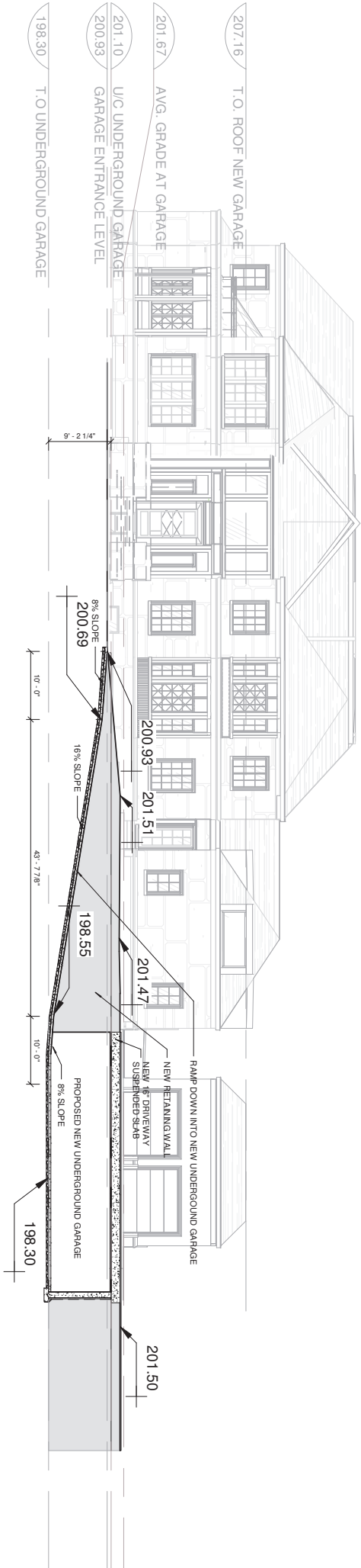
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VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	Author
SCALE	1 : 200

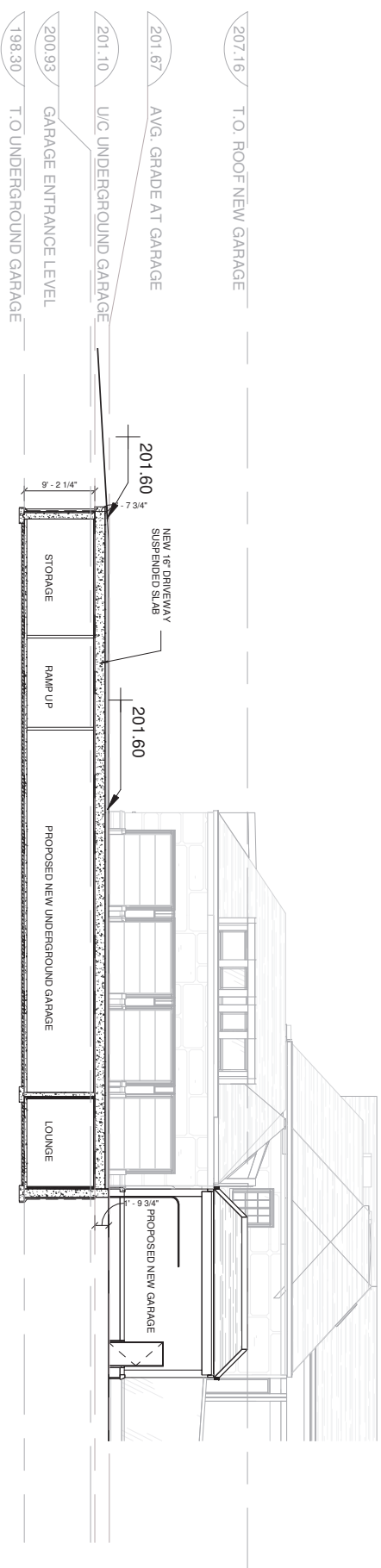
UNDERGROUND GARAGE -  
PLAN

A-300

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1 GARAGE SECTION 1  
A-301 1 : 200



2 GARAGE SECTION 2  
A-301 1 : 200

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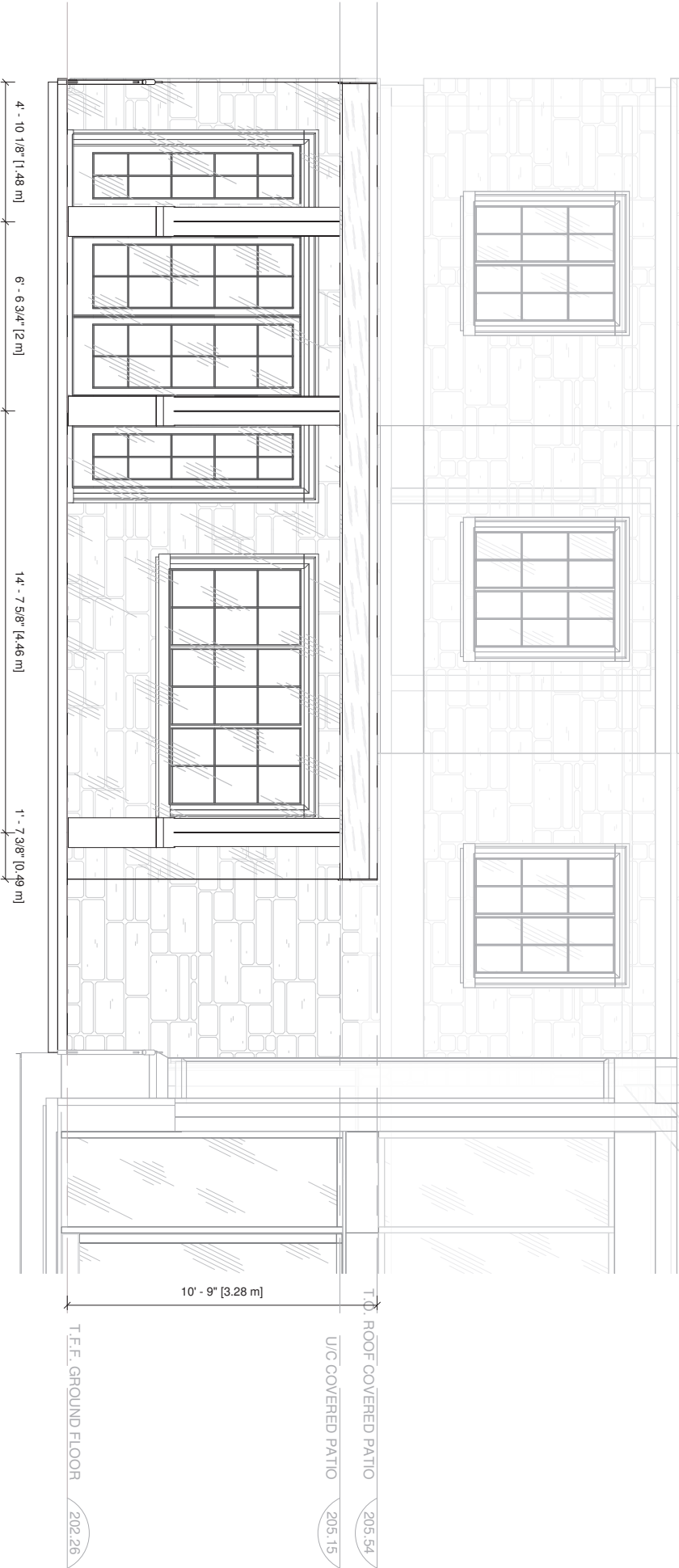
186 PINE VALLEY CRES  
VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	Author
SCALE	1 : 200

UNDERGROUND GARAGE -  
SECTIONS

A-301

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VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	Author
SCALE	1 : 50
COVERED PATIO - ELEVATION	

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**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**Applicant Correspondence – Application Cover Letter, includes reference to historical approval in area and a petition in support signed by residents at 11, 65, 92, 93, 109, 110, 127, 142, 206, 222, 284, 305 and 331 Pine Valley Crescent, 24 and 41 Meadowland Court.**



Hearing Date: April 8th, 2021

## Committee of Adjustment

### 186 Pine Valley Cres, Woodbridge

#### Prepared For:

Jason Gabriele  
186 Pine valley Cres.  
Woodbridge, Ontario  
L4L2W5

#### Prepared By:

Frankfranco Architects  
10320 Pine Valley Drive  
Vaughan, Ontario  
L4L 1A6

#### Subject Lands Description

The dwelling is located in the neighbourhood known as "Pine Wood States" also known as "The National" and is composed of rural residential dwellings. The neighbourhood has been redeveloped through the years to have a large cross section in styles, and scales. Each dwelling and property is planned carefully in an attempt to represent various style. This neighbourhood is one of Vaughan's most prestigious communities. The National Golf Course is a private golf course located on the North East corner of Langstaff and Pine Valley, and flanks the road access into this eclectic community. The nearest major intersection is Pine Valley Dr. and Langstaff Rd.

The property is a corner lot (Figure 1) with a frontage of 57.9m, and a lot area of 4142.46 SQ.M.

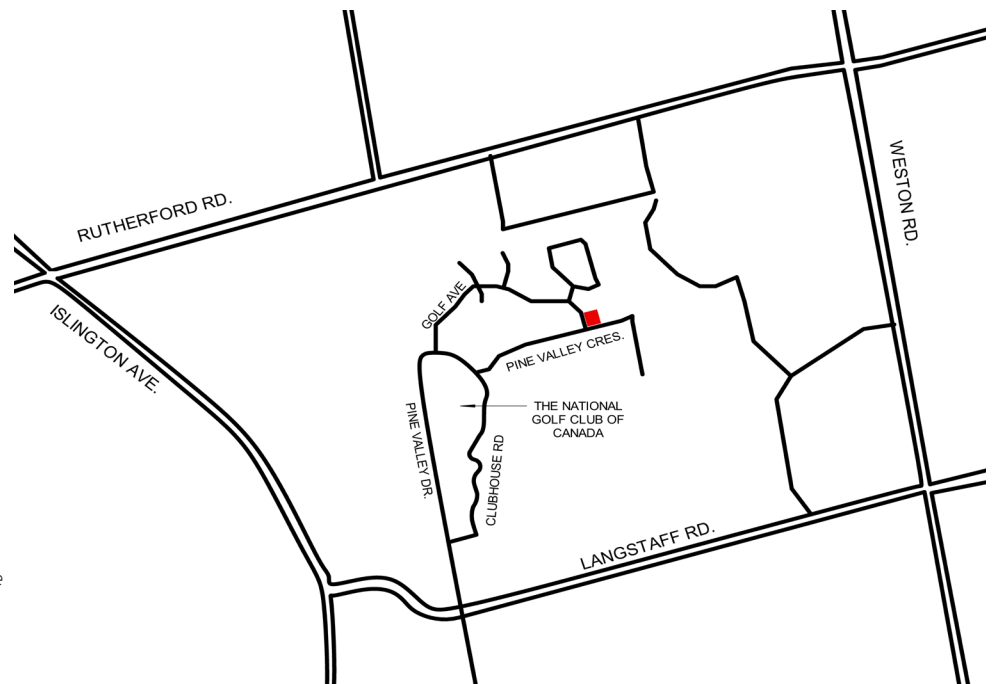


Fig. 1 – Context map - Red region indicates the subject lands location in the neighbourhood





### Official Plan & Official By-Law

The proposal for 186 Pine Valley Crescent is to construct a new detached two-car garage, a covered porch, an underground parking garage, and a swimming pool. The intent of the proposal is to provide two covered parking spaces to suit the owner's spatial needs. The design of this detached garage compliments the existing house and neighbourhood in scale, height, and materiality.

The covered porch is proposed to provide an enclosed transitional space between the interior and the rear yard landscape.

Figure 2 below demonstrates the placement, shape, and orientation of the proposed dwelling on the subject land in relation to the zoning setbacks.

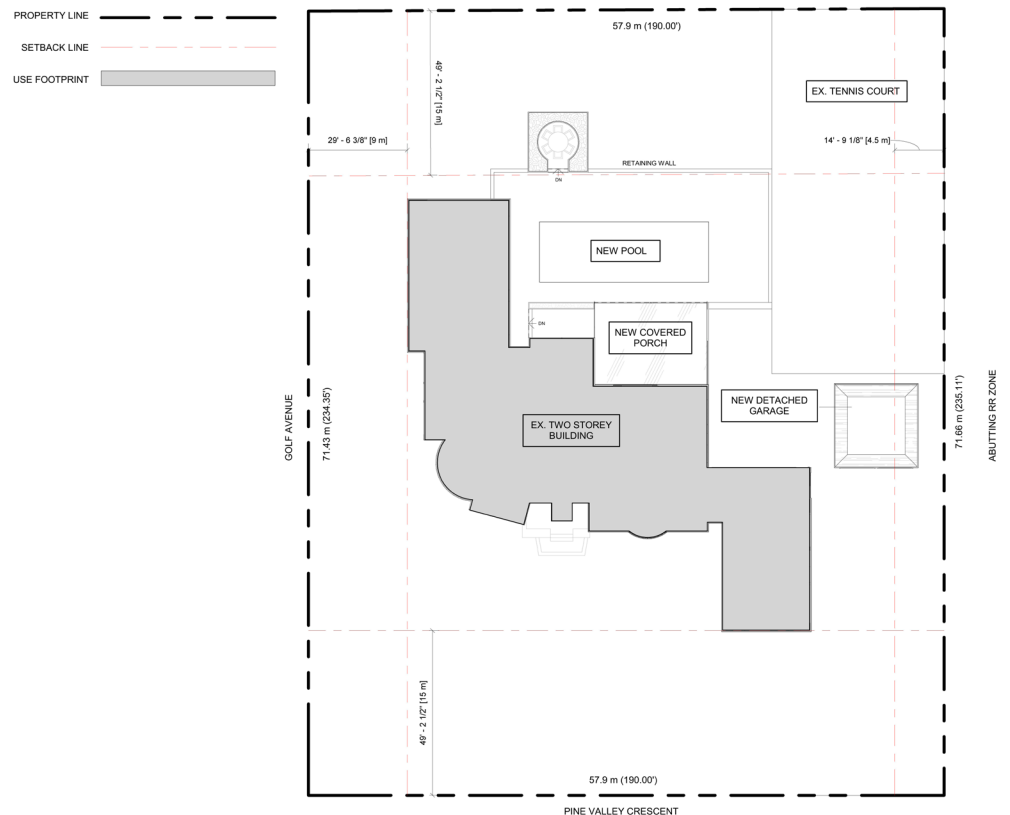


Fig. 2 – Proposed Development on lot with  
Zoning Setbacks



The subject property is designated as RR in the City of Vaughan By-law 1-88. The permitted uses for the lands are rural residential detached dwellings. The proposed land use and built-form complies with what is permitted in the By-law, except for lot coverage percentage, interior side setback, accessory building height, and the definition of the rear yard.

Table A provides an analysis of the zoning requirements and the proposed development.

Table A - Zoning Requirements and Proposed Development

	Zoning Standard	Required In RR Zone	Existing	Proposed
1	Min. Interior Side Yard Setback	4.5m	12.19m	2.37m
2	Max. Lot Coverage	10% (414.2 sq.m)	14.4% (597 sq.m)	17.6% (730.6 sq.m)
3	Max. Accessory Building Height	4.5m	N/A	5.5m
4	Max. Height to the nearest part of the roof	3.0m	N/A	4.15m

The zoning variances requested in this application are in response to the constraints posed by the By-law requirements. These restrictions include a 4.5m interior side setback, a 10% lot coverage allowance, maximum height of 4.5m for an accessory building, maximum height of 3.0m to the nearest part of the roof, and the definition of REAR YARD. Figure 3 demonstrates the buildable area on the site with the zoning setbacks imposed upon the new structure. Figure 4 shows the proposed elevation and heights regarding the detached garage which is in alignment with the existing dwelling heights.

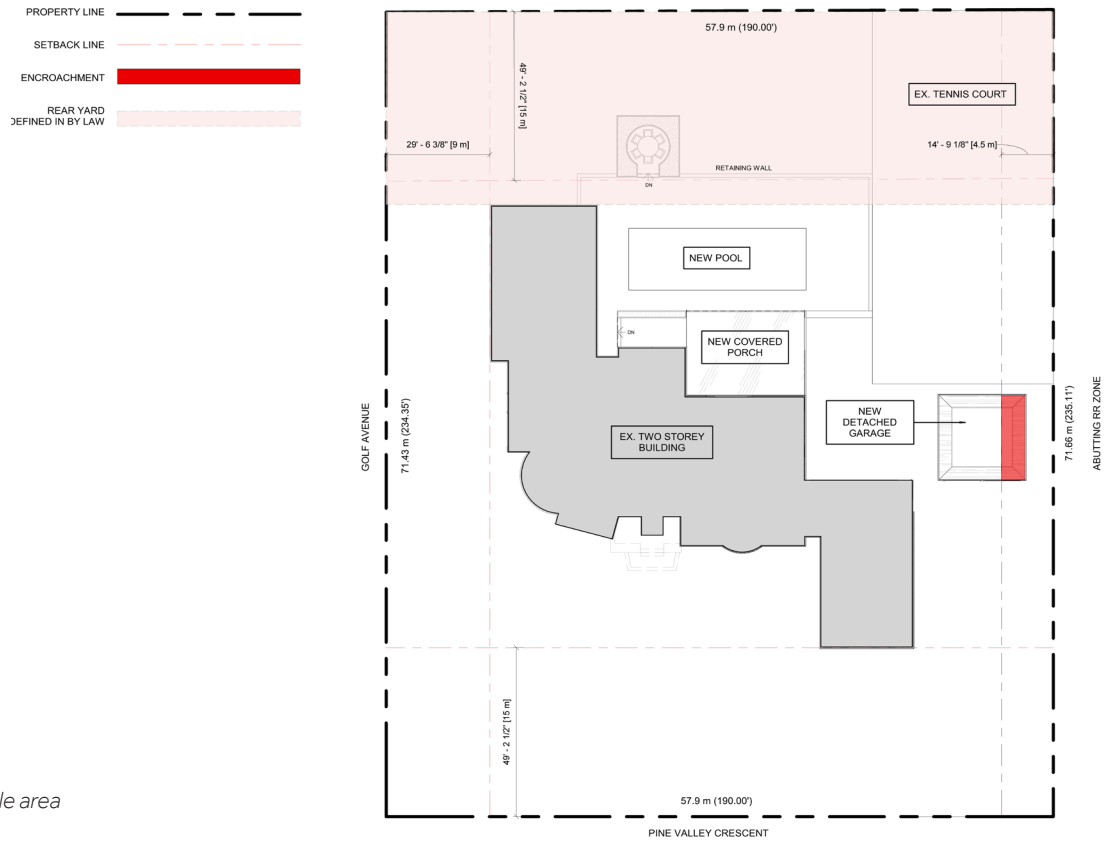


Fig. 3 – Site restrictions and buildable area

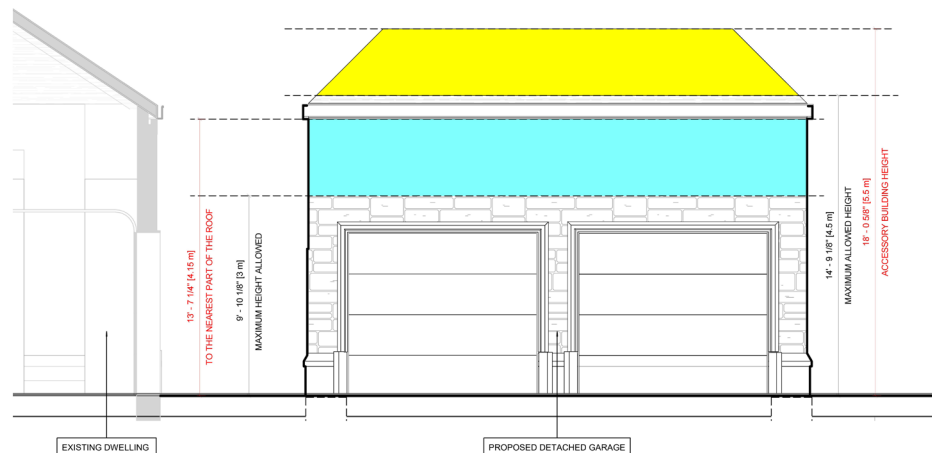
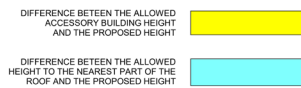


Fig. 4 – Height restrictions and the accessory building elevation



### **Requested Vriances**

A Minor Variance application has been submitted to permit construction to the existing site and requires relief of zoning provisions for the following items:

#### **City of Vaughan 1-88 By-Law**

1. Schedule 'A' Standards for the Rural Residential (RR) Zone Minimum Interior Side Yard Setback
  - The minimum permitted side yard setback is 4.5m
  - The proposed side yard setback is 2.37 m
2. Schedule 'A' Standards for the Rural Residential (RR) Zone Lot Coverage
  - The maximum permitted lot coverage is 10%.
  - The existing lot coverage is 14.4%.
  - The proposed lot coverage is 17.6%.
3. By law 4.1.1(b) for the maximum height of the accessory building
  - The maximum permitted height is 4.5m
  - The proposed height is 5.5m.
4. By law 4.1.1(b) for the maximum height of the accessory building to the nearest part of the roof
  - The maximum permitted height is 3.0m.
  - The proposed height is 4.15m.
5. By-Law 4.1.1.(i) Requires a swimming pool to reside in a Rear Yard.



### Planning Justification

#### SIDE YARD SETBACK

A separate detached garage from the attached garage is proposed to store seasonal cars and outdoor furnitures. Due to the current location of the house and the proposed detached garage with a minimum width for a two-car garage, a 2.13m encroachment is required in order to maintain a desired pedestrian and a minimum servicable access to the rear yard.

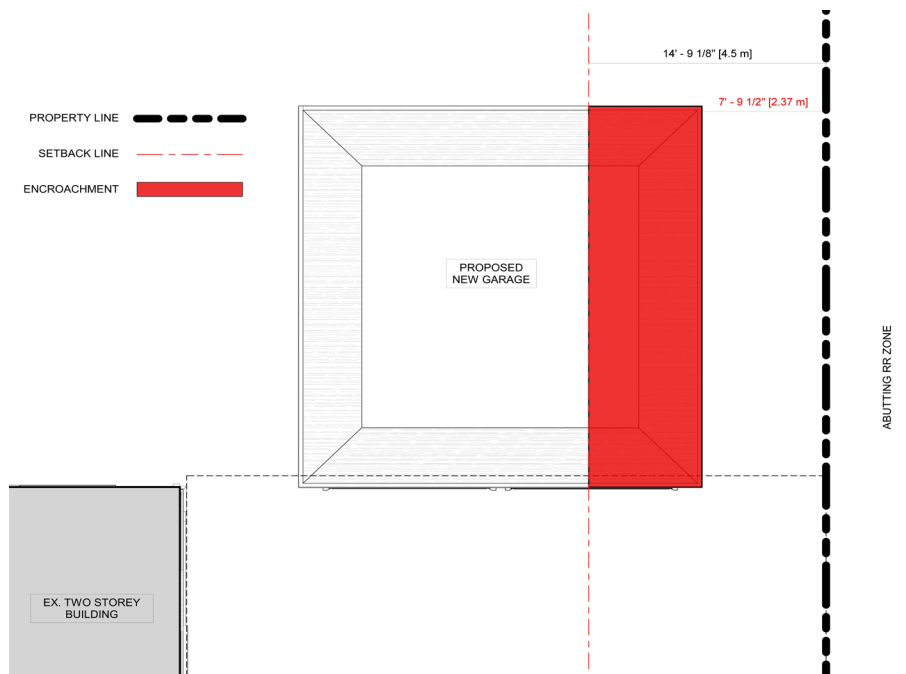


Fig. 5 – Portion Of Accessory building  
(Detached Garage) Impeding Side Yard Setback

Our proposal is consistent with similar applications that have been approved, including applications with smaller setbacks. Variances for side yard setback were granted and determined minor for the following properties:

- File A324/16 Item 6 (Required: 4.5m, Approved: 1.60m) **[+2.9m]**
- File A224/17 Item 13 (Required: 4.5m, Approved: 2.13m) **[+2.37m]**
- File A156/20 Item 1 (Required: 4.5m, Requested: 2.37m) **[+2.13m]**





## LOT COVERAGE

Our proposal includes two elements that are impacting the lot coverage. The new detached garage adds 1.3% to the lot coverage and the new rear covered porch occupies 1.9% of the lot. The covered patio is proposed in order to provide an enclosed outdoor entertaining space in relation to the rear yard landscape. Outdoor gathering spaces have become more important in recent months and should be supported by planning in reaction to health Canada CDC and Covid protocols. In total, these two proposed covered structures will add 3.2% to the existing lot coverage

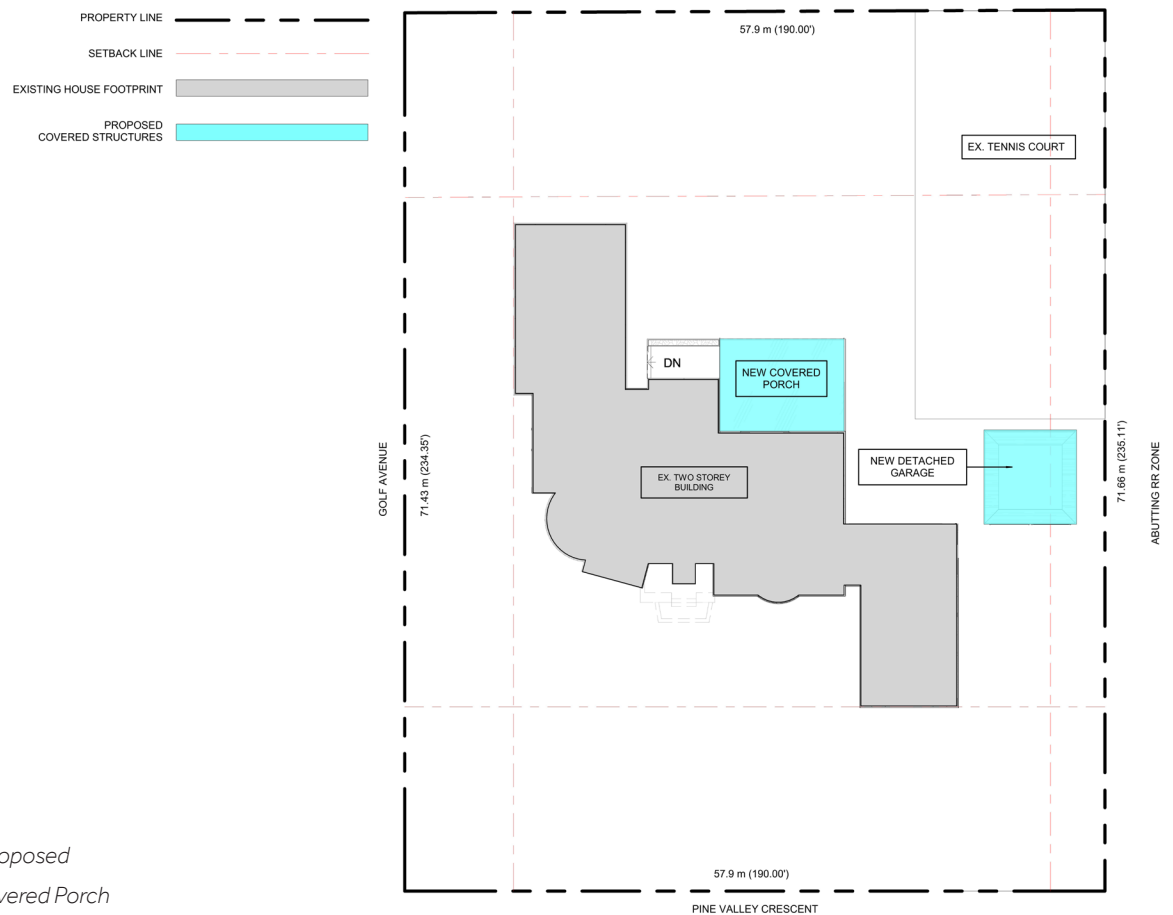


Fig. 6 – Existing Dwelling + Proposed  
Detached Garage + New Covered Porch



Similar coverage variances have been historically supported. Here are some examples of applications that have greater coverages than our request:

- File A095/18 Item 1 (Required: 10%, Approved: 21.98%) **[+11.98%]**
- File A152/13 Item 2 (Required: 10%, Approved: 21.56%) **[+11.56%]**
- File A224/17 Item 1 (Required: 10%, Approved: 20.5%) **[+10.5%]**
- File A205/16 Item 1 (Required: 10%, Approved: 17.75%) **[+7.75%]**
- File A199/15 Item 1 (Required: 10%, Approved: 17.68%) **[+7.68%]**
- File A156/20 Item 2 (Required: 10%, Requested: 17.6%) **[+7.6%]**

The proposed detached garage is designed adjacent to an existing attached garage and the look must complement the existing massing so it does not look foreign.



Fig. 7 – EXISTING ATTACHED GARAGE + PROPOSED DETACHED GARAGE



### ACCESSORY BUILDING HEIGHT

In order to align the detached garage with the main building, the proposed height of the accessory building to the nearest part of the roof is 4.15m which leads to 5.5m for the total building height of the accessory building due to the pitched roof slope.

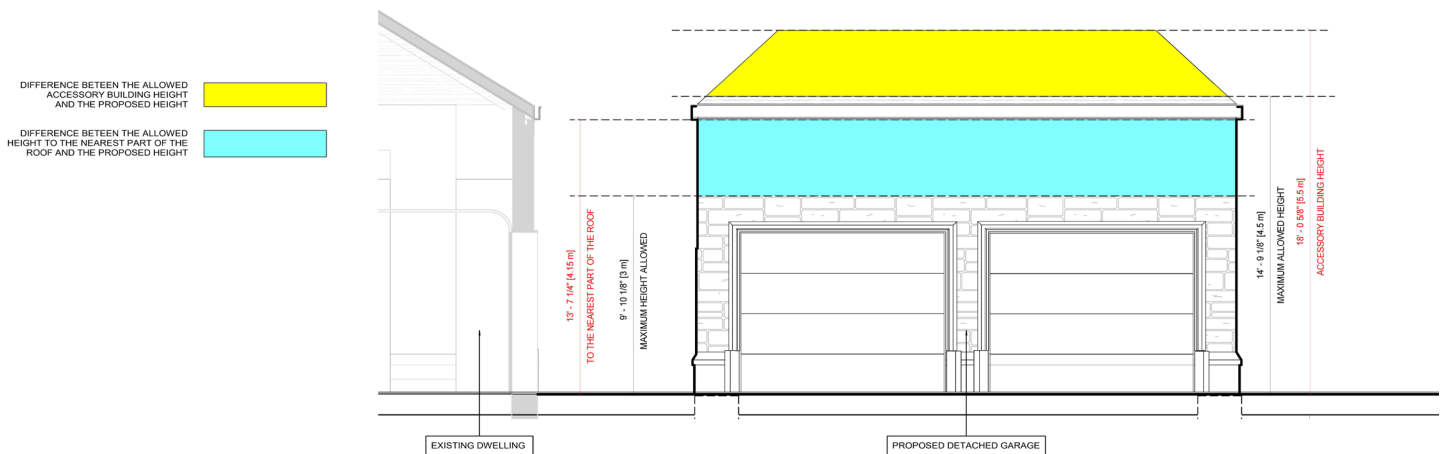


Fig. 8—Existing Dwelling + Detached Garage Elevation

Our original proposal for the overall height of the accessory building was 6.85m as can be seen below.

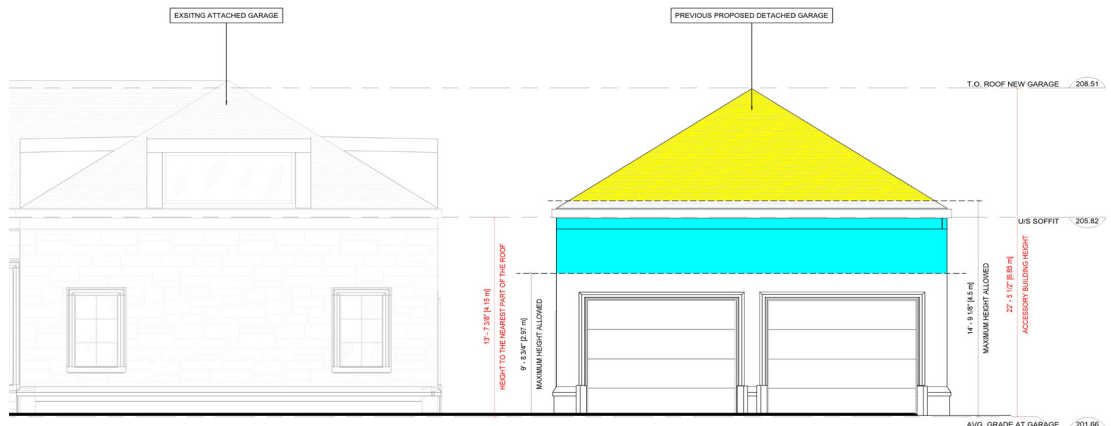


Fig. 9—Original design  
(Existing Attached Garage +  
Proposed Detached Garage)



Hearing Date: April 8th, 2021

We recieved comments from the city staff (Attached letter below) that the application would not be supported. So we took the input from the staff and made adjustments reducing to where staff would not need to connect. With that said here is a list of approved applications with higher accessory building and nearest part of the roof heights:

- File A082/14 Item 1 (Required: 4.5m, Approved: 9.15m) **[+9.15m]**
- File A152/13 Item 4 (Required: 4.5m, Approved: 7.95m) **[+3.45m]**
- File A323/17 Item 3 (Required: 4.5m, Approved: 6.77m) **[+6.77m]**
- File A323/17 Item 2 (Required: 4.5m, Approved: 5.7m) **[+5.7m]**
- File A156/20 Item 3 (Required: 4.5m, Requested: 5.5m) **[+1.0m]**
- File A082/14 Item 5 (Required: 3.0m, Approved: 5.61m) **[+2.61m]**
- File A156/20 Item 4 (Required: 3.0m, Requested: 4.15m) **[+1.15m]**



APPLICATION  
**A156/20**

Tuesday, March 23, 2021

Jason Gabriele  
186 PINE VALLEY CRES  
WOODBIDGE ON L4L 2W5

**Delivered by Email:** jagabriele@rogers.com; frank@frankfranco.com

**Re: Minor Variance Application A156/20 (186 Pine Valley Crescent, Woodbridge)**

---

The Development Planning Department has reviewed the above noted application and provides the following information:

The Development Planning ('DP') Department has completed their review of minor variance application File A156/20 and is requesting adjournment. As it pertains to the construction of a garage, underground garage, covered porch and pool, the Development Planning staff provide you with the following comments:

- 1) The Development Planning Department is not in position to support to support a maximum height of 6.85m (variance 3) for an accessory structure (detached garage). We would like to work with you but DP recognizes accessory structures over 5.5m are typically not supported especially when it does not comply with the interior yard setback.
- 2) DP staff recommends you slightly reduce the height of the nearest part of the roof (variance 4) to maintain the general intent and purpose of Zoning By-law 1-88
- 3) No concerns with respect to variances 1,2, and 5.

In order to address the outstanding issues, please forward any correspondence and revised drawings to [CofA@vaughan.ca](mailto:CofA@vaughan.ca).



#### REAR YARD DEFINITION - POOL PLACEMENT

Corner lots offer many different challenges and one of them is creating privacy.. The proposed New Pool is not in violation of any setbacks, but rather a definition grey area. Section 4.1.1.(i) in By-Law 1-88 denotes that "A private swimming pool shall be constructed only in the rear yard." Due to the L-Shaped construction of the home, the Rear Yard is defined as seen in Figure 10. In reality, the shape of the dwelling permits a much larger area to be used as the Rear Yard and should be considered a more favourable private location for a pool (Figure 11.)

PROPERTY LINE ———  
DEFINED REAR YARD

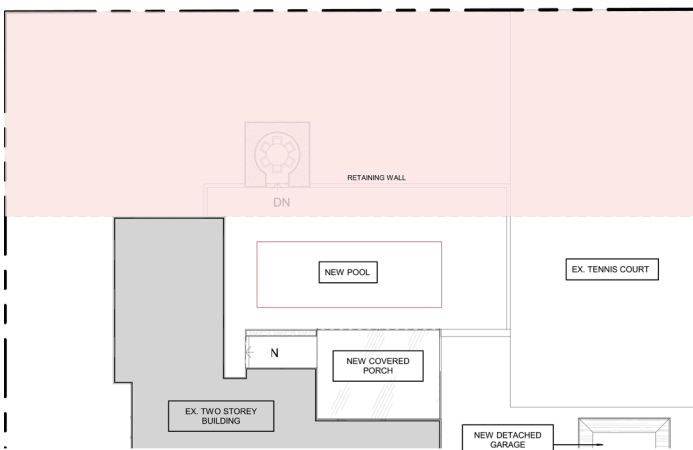


Fig. 10 – Defined Rear Yard

PROPERTY LINE ———  
PROPOSED REAR YARD

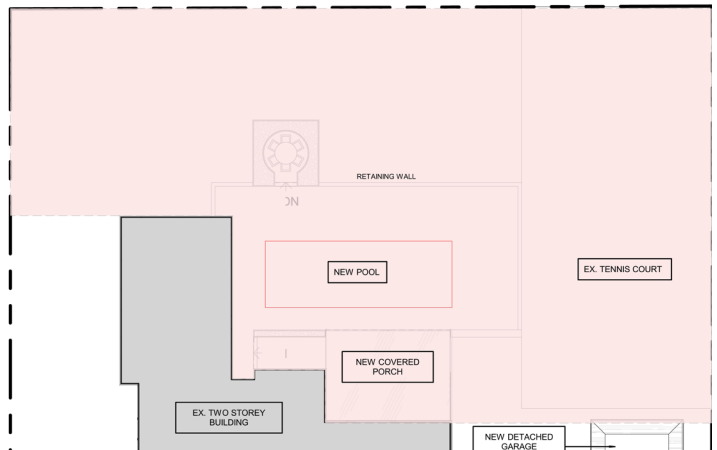


Fig. 11 – Actual Rear Yard

Variances for pool placement were granted and determined minor for the following properties:

- File A095/18 Item 3 (A private swimming pool not entirely located in the rear yard)
- File A224/17 Item 5 (An inground pool not to be located in the rear yard)
- [File A156/20 Item 5 \(Requested: The proposed pool not to be located in the rear yard\)](#)



### Conclusion

We feel the evidence contained within this report proves that the requested variances pass each of the four tests required under Subsection 45(1) of the Planning Act.

TEST 1  
THE GENERAL INTENT OF THE OFFICIAL PLAN  
IS MAINTAINED:

The proposal is in keeping with the intent of the Official Plan. The intent of the proposal is to update the subject property to contemporary dwelling standards. The proposal is similar in size to many other new construction homes in the neighbourhood, is consistent with the city's Official Plan to intensify and improve buildings in existing neighbourhoods, and maintains land use designations.

TEST 2  
THE GENERAL INTENT OF THE ZONING BY-  
LAW IS MAINTAINED:

The proposal is in keeping with the intent of the City of Vaughan By-laws in effect. The required variances are only proposed where it is functionally necessary. The variances do not represent significant departures from the regulations of the zoning by-law and are consistent with the intent and purpose of the by-law.

TEST 3  
THE VARIANCE IS MINOR:

The variances are minor in nature and where applicable are supported by previously accepted variances. The proposed variances do not impede the function of the by-laws, nor do they negatively impact the neighbourhood, and should thus be considered minor.

TEST 4  
THE VARIANCE IS DESIRABLE:

The variances are desirable because it will produce a proposal that is similar to and compatible with other dwellings in the community. The proposed detached garage is respectful of the existing site, and is comparable in scale to the other garages in the neighbourhood.



### Addendum

All the approved applications that has been used as a reference in the previous pages are listed here with details:

- Application A152/13 - 246 Pine Valley Cres, Woodbridge - Applicant Giovanna Hunter
- Application A082/14 - 246 Pine Valley Cres, Woodbridge - Applicant Giovanna Hunter
- Application A199/15 - 210 Fenyrose Cres, Woodbridge - Applicant Pia and Andrew Famiciletti
- Application A205/16 - 11 Pine Valley Cres, Woodbridge - Applicant Giuseppina Morelli
- Application A324/16 - 114 Clubhouse Rd, Woodbridge - Applicant Sandra Tonietto
- Application A224/17 - 284 Pine Valley Cres, Woodbridge - Applicant Tone De Marco
- Application A323/17 - 80 Fenyrose Cres, Woodbridge - Applicant Elden Forskin
- Application A095/18 - 92 Clubhouse Rd, Woodbridge - Applicant William Everard Clubine





FRANKFRANCO  
ARCHITECTS

Hearing Date: April 8th, 2021

#### **Addendum**

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- Application A323/17 - 80 Fenyrose Cres, Woodbridge - Applicant Elden Forskin
- Application A095/18 - 92 Clubhouse Rd, Woodbridge - Applicant William Everard Clubine

To the Board Members of the City of Vaughan Committee of Adjustment,

I have reviewed the proposal for the 186 Pine Valley Cres, Woodbridge Application Number A156/20, and I support Jason Gabriele's application for minor variances and I am aware that the application is being heard before the Committee of Adjustment on April 8, 2021.

Name	Address	Date	Signature
Chris Temovsky	142 Pine Valley Cres.	April 6, 2021	
Susan Niczowski	222 Pine Valley Cres.	April 6, 2021	
Domenic Valela	93 Clubhouse Rd.	April 6/21	
Antonio Pellegrini	305 Pine Valley Cres	April 6, 2021	
Carlo DeGasperi	127 Pine Valley Cres.	April 6 / 202	
TONY DE MARCO	284 PINE VALLEY CRES	APRIL 6, 2021	
Michael DeGasperi	65 Pine Valley Crescent	April 6th, 2021	

RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

To the Board Members of the City of Vaughan Committee of Adjustment,

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Name

ARMANDO BAWASSACCA

Address

206 Pine Valley Cres.

Date

APRIL 7/2021

Signature



RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

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Name

C-STAR CORP.


Address

24 MEADOWLAND CRT.,  
WOODBRIDGE, ON L4L 2Z1

Date

APRIL 07, 2021

Signature



RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

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Name

C-STAR CORP.


Address

41 MEADOWLAND CRT.,  
WOODBRIDGE, ON L4L 2Z1

Date

APRIL 07, 2021

Signature

A handwritten signature in black ink, consisting of several overlapping loops and a long vertical stroke, is written over a rectangular box.

RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

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Name

Michael DeGasperis

Address

65 Pine Valley Crescent

Date

April 6th, 2021

Signature



RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

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Name

C-STAR CORP.


Address

109 PINE VALLEY CRES.,  
WOODBRIDGE, ON L4L 2W3

Date

APRIL 07, 2021

Signature

A handwritten signature in black ink, appearing to be 'J. Gabriele', is written over a rectangular box. The signature is stylized and extends below the box.



RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

To the Board Members of the City of Vaughan Committee of Adjustment,

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Name

GIUSEPPE DI MANNO

Address

110 PINE VALLEY CRESENT WOODBRIDGE ONT

Date

APRIL 6/2021

Signature



RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

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Name

MORILL

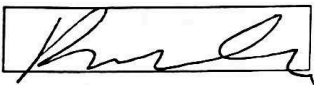
Address

11 PINE VALLEY CRES.

Date

APR 6, 2021

Signature



RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES. WOODBRIDGE, ON L4L 2W5

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Name

IACOROLI

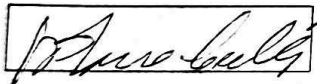
Address

92 CLUBHOUSE RD.

Date

APR 6, 2021

Signature



RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

To the Board Members of the City of Vaughan Committee of Adjustment,

I have reviewed the proposal for the 186 Pine Valley Cres, Woodbridge Application Number A156/20, and I support Jason Gabriele's application for minor variances and I am aware that the application is being heard before the Committee of Adjustment on April 8, 2021.

Name

Domenic Dell'Elce

Address

331 Pine Valley Cres

Date

04/06/21

Signature



RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

To the Board Members of the City of Vaughan Committee of Adjustment,

I have reviewed the proposal for the 186 Pine Valley Cres, Woodbridge Application Number A156/20, and I support Jason Gabriele's application for minor variances and I am aware that the application is being heard before the Committee of Adjustment on April 8, 2021.

Name

TONY DE MARCO

Address

284 PINE VALLEY CRES

Date

APRIL 6, 2021

Signature

A handwritten signature in black ink, appearing to read 'Tony De Marco', with a horizontal line drawn underneath.

RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

To the Board Members of the City of Vaughan Committee of Adjustment,

I have reviewed the proposal for the 186 Pine Valley Cres, Woodbridge Application Number A156/20, and I support Jason Gabriele's application for minor variances and I am aware that the application is being heard before the Committee of Adjustment on April 8, 2021.

Name

**Antonio Pellegrini**

Address

**305 Pine Valley Cres**

Date

**April 6, 2021**

Signature



RE: PROPOSED MINOR VARIANCE FOR 186 PINE VALLEY CRES, WOODBRIDGE, ON L4L 2W5

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Name

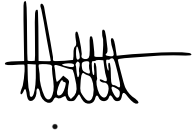
**Domenic Valela**

Address

**93 Clubhouse Rd.**

Date

Signature

A handwritten signature in black ink, appearing to read 'Domenic Valela', with a horizontal line extending to the right from the end of the signature.

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections  
Region of York – No concerns or objections



### COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## MacPherson, Adriana

---

**Subject:** FW: A156/20 - Request for Comments

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>  
**Sent:** March-11-21 3:20 PM  
**To:** MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A156/20 - Request for Comments

Good afternoon Adriana,  
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877  
464 9675 ext 71538 | [Gabrielle.hurst@york.ca](mailto:Gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)