

**File:** A054/21

**Applicant:** Giancarlo & Tracie Staffieri

**Address:** 19 Trinita Ave Woodbridge

**Agent:** None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning		
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala  
 Hearing Date: Thursday, April 29, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



**Minor Variance Application**

Agenda Item: 24

**A054/21**

Ward: 3

**Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer**

**Date & Time of Live Stream Hearing:** Thursday, April 29, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

- Applicant:** Giancarlo & Tracie Staffieri
- Agent:** None
- Property:** **19 Trinita Ave Woodbridge**
- Zoning:** The subject lands are zoned RV3(WS) and subject to the provisions of Exception 9(1024) under By-law 1-88 as amended.
- OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
- Related Files:** None
- Purpose:** Relief from by-law 1-88, as amended, is being requested to permit the construction of a proposed cabana and loggia. The cabana is to be located in the westerly side yard and the loggia is to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. An accessory building or structure shall be located in the rear yard.	1. To permit an accessory building in the interior side yard.
2. The minimum rear yard setback required is 6.0 metres to a Loggia.	2. To permit a minimum rear yard setback of 3.32 metres to a Loggia.
3. The minimum rear yard setback required is 2.82 metres to an eaves or gutter of an Accessory Building (Loggia).	3. To permit a minimum rear yard setback of 2.71 metres to an eaves or gutter to an Accessory Building (Loggia).

**Background (previous applications approved by the Committee on the subject land): N/A**

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

**Adjournment History: N/A**

**Staff & Agency Comments**

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**

Public notice was mailed on April 14, 2021

Applicant confirmed posting of signage on April 15, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2005 (Purchased 2015)

Applicant has advised that they cannot comply with By-law for the following reason(s): The current lot and setback by-law limit building structures.

**Adjournment Request:** N/A

**Building Standards (Zoning Review):**

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 21-100733 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued).

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.

**Building Inspections (Septic):**

No response

**Development Planning:**

Official Plan: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Application under review

**Development Engineering:**

The Development Engineering (DE) Department does not object to variance application A054/21.

**Parks Development - Forestry:**

Tree protection & preservation methods must be followed according to City of Vaughan's Tree Protection By-law 052-2018. Tree protection shall be installed as outlined in the arborist report prior to the commencement of any construction/demolition activities.

No construction activity, grade changes, surface treatment, excavations of any kind or material storage is permitted within the Tree Protection Zone.

Applicant shall notify Vaughan Forestry once Tree Protection (Hoarding) has been installed, to allow Vaughan Forestry to inspect and approve according to By-law 052-2018.

Recommended condition of approval:

Applicant is required to apply for a Private Property Tree Removal & Protection Permit (Construction/Infill). This is required for the injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.

**By-Law and Compliance, Licensing and Permit Services:**

No comments or concerns.

**Financial Planning and Development Finance:**

No comment no concerns

**Fire Department:**

No comments received to date.

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

None

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections  
 Region of York – No concerns or objections  
 MTO – Located outside of MTO permit control area

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: N/A

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	<b>Department/Agency</b>	<b>Condition</b>
1	Parks, Forestry and Horticulture Operations Zachary Guizzetti  905-832-8585 x 3614 <a href="mailto:Zachary.Guizzetti@vaughan.ca">Zachary.Guizzetti@vaughan.ca</a>	Applicant is required to apply for a Private Property Tree Removal & Protection Permit (Construction/Infill). This is required for the injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.
2	Development Planning Michael Torres / Roberto Simbana  905-832-8585 x 8933 <a href="mailto:Michael.Torres@vaughan.ca">Michael.Torres@vaughan.ca</a>	Application under review

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

## Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8002  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

## **Schedule A: Plans & Sketches**

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

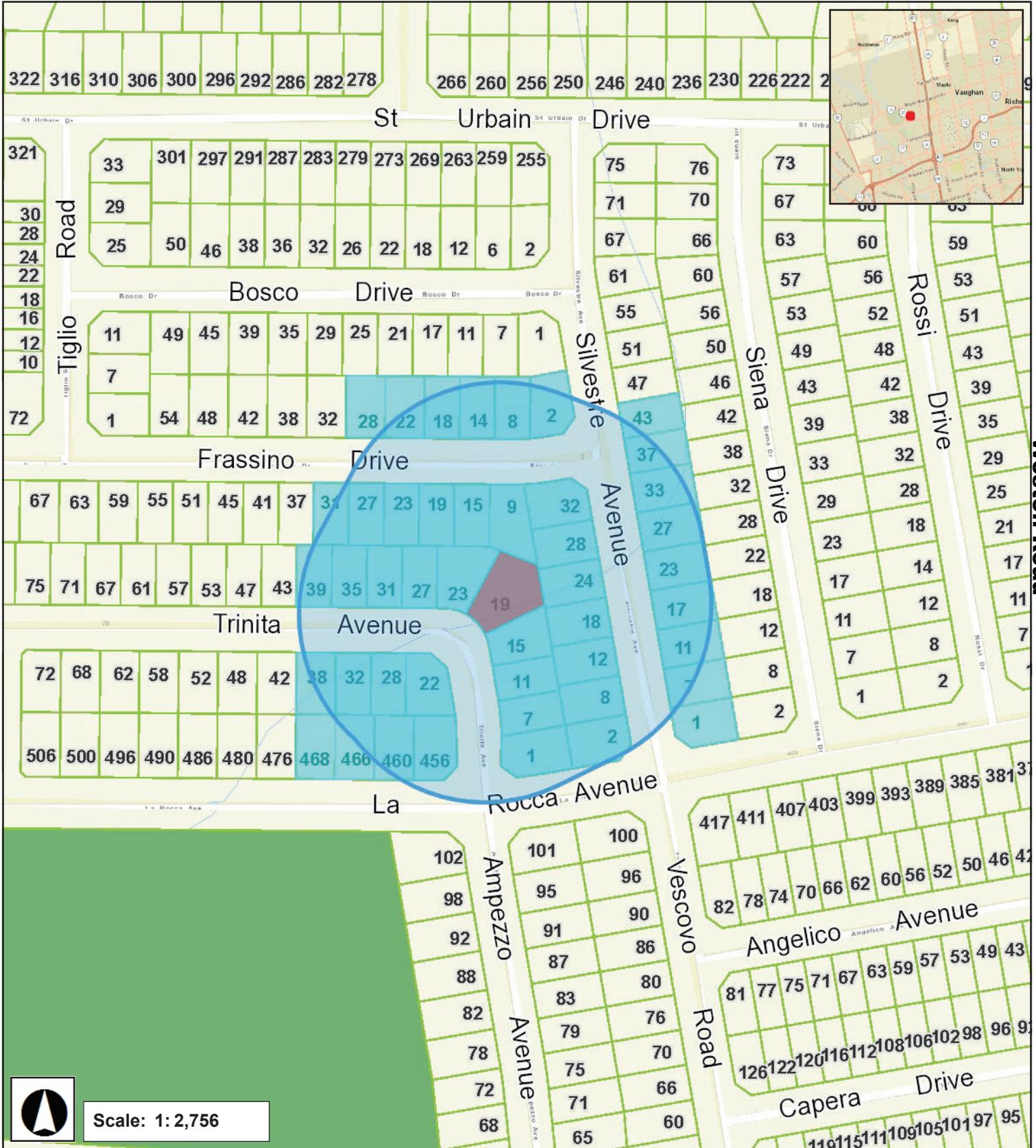
**Location Map**  
**Plans & Sketches**



# LOCATION MAP - A054/21

19 TRINITA AVENUE, WOODBRIDGE

**Major Mackenzie Drive**



Pine Valley Drive

Weston Road



Scale: 1: 2,756

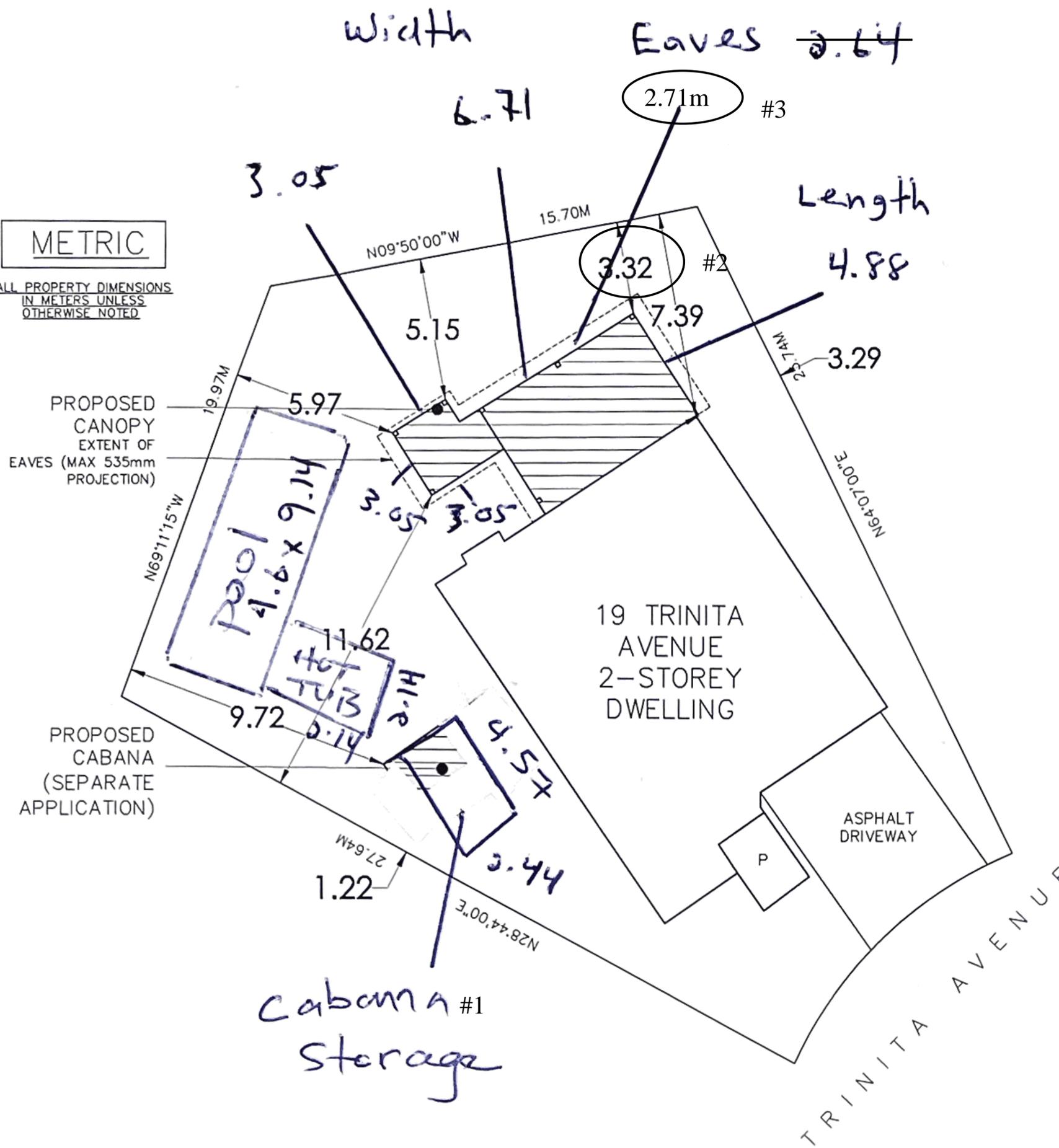
**Rutherford Road**

April 1, 2021 5:20 PM

**RECEIVED**

April 22, 2021  
Committee of Adjustment

**METRIC**  
ALL PROPERTY DIMENSIONS  
IN METERS UNLESS  
OTHERWISE NOTED



SCOPE OF WORK:  
CONSTRUCTION OF REAR YARD CANOPY  
OVER NEW PORCH AREA.  
AND  
CONSTRUCTION OF NEW CABANA.

INFORMATION TAKEN FROM SURVEY:  
SURVEYOR'S REAL PROPERTY REPORT  
PART 1  
LOTS 318 TO 328 BOTH INCLUSIVE  
REGISTERED PLAN 65M-3811  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK  
BY P. SALNA CO. LTD. O.L.S.  
DATED 2006 APRIL 12

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE  
FIELD. ANY DISCREPANCIES MUST BE REPORTED  
BEFORE PROCEEDING WITH THE WORK.  
ALL CONSTRUCTION TO ADHERE TO THESE PLANS  
AND/OR SPECIFICATIONS AND TO CONFORM TO THE  
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE  
CODES AND AUTHORITIES HAVING JURISDICTION. THESE  
REQUIREMENTS ARE TO BE TAKEN AS MINIMUM  
SPECIFICATIONS. OHT REG. 332/12.

BUILDING STATISTICS:  
SITE AREA: 581.63 SM (APPROXIMATE)  
DWELLING COVERAGE: 147.18 SM (APPROXIMATE)  
CANOPY COVERAGE: 36.23 SM  
CANOPY HEIGHT: 3.63M  
CABANA COVERAGE: 11.15SM  
CABANA HEIGHT: 3.14SM  
BUILDING HEIGHTS TAKEN FROM APPROX. EXIST  
ESTABLISHED GRADE.

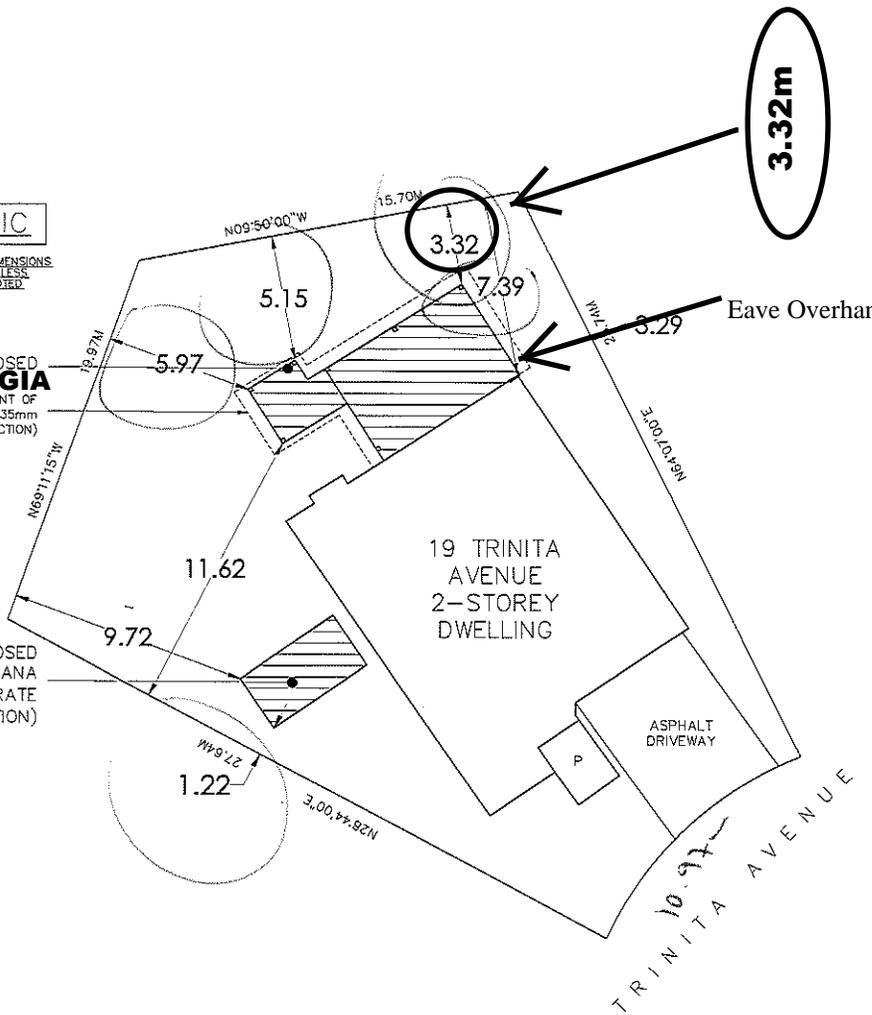
**A054/21**

**Permit accessory building in the interior side yard**

**METRIC**  
 ALL PROPERTY DIMENSIONS  
 IN METERS UNLESS  
 OTHERWISE NOTED

**PROPOSED LOGGIA**  
 EXTENT OF  
 EAVES (MAX 535mm  
 PROJECTION)

**PROPOSED CABANA**  
 (SEPARATE  
 APPLICATION)



**3.32m**

Eave Overhang 2.71m



SCOPE OF WORK:  
 CONSTRUCTION OF REAR YARD CANOPY  
 OVER NEW PORCH AREA.  
 AND  
 CONSTRUCTION OF NEW CABANA.

INFORMATION TAKEN FROM SURVEY:  
 SURVEYOR'S PICAL PROPERTY REPORT  
 PART 1  
 LOT 318 TO 324 BOTH INCLUSIVE  
 REGISTERED PLAN 694-3803  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK  
 BY P. SALHA CO. LTD. O.L.C.  
 DATED 2006 APRIL 12

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE  
 FIELD. ANY DISCREPANCIES MUST BE REPORTED  
 BEFORE PROCEEDING WITH THE WORK.  
 ALL CONSTRUCTION TO ADHERE TO TRUCE PLANS  
 AND/OR SPECIFICATIONS AND TO CONFORM TO THE  
 OFFICIAL BUILDING CODE AND ALL OTHER APPLICABLE  
 CODES AND AUTHORITIES HAVING JURISDICTION. THESE  
 REQUIREMENTS ARE TO BE TAKEN AS MINIMUM  
 SPECIFICATIONS. OHT. REG. 332/12.

SUBMITTALS:  
 SITE AREA: 281.02 SQ (APPROXIMATE)  
 ENCLING COVERAGE: 147.18 SQ (APPROXIMATE)  
 CANOPY COVERAGE: 36.23 SQ  
 CANOPY HEIGHT: 3.02M  
 CABANA COVERAGE: 11.15M  
 CABANA HEIGHT: 2.10M  
 BUILDING HEIGHTS TAKEN FROM APPROX. EXIST  
 ESTABLISHED GRADE.

General Notes



**LASONNE ENGINEERING LTD.**  
 KLENSBURG 416.882.2875

No.	Revision/Issue	Date

**SITE PLAN**

**19 TRINITA AVENUE  
 REAR YARD CANOPY**  
 Vaughan, Ontario

Project	2090	Sheet	S1
Date	JUNE '20		
Scale	1:100		

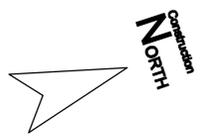
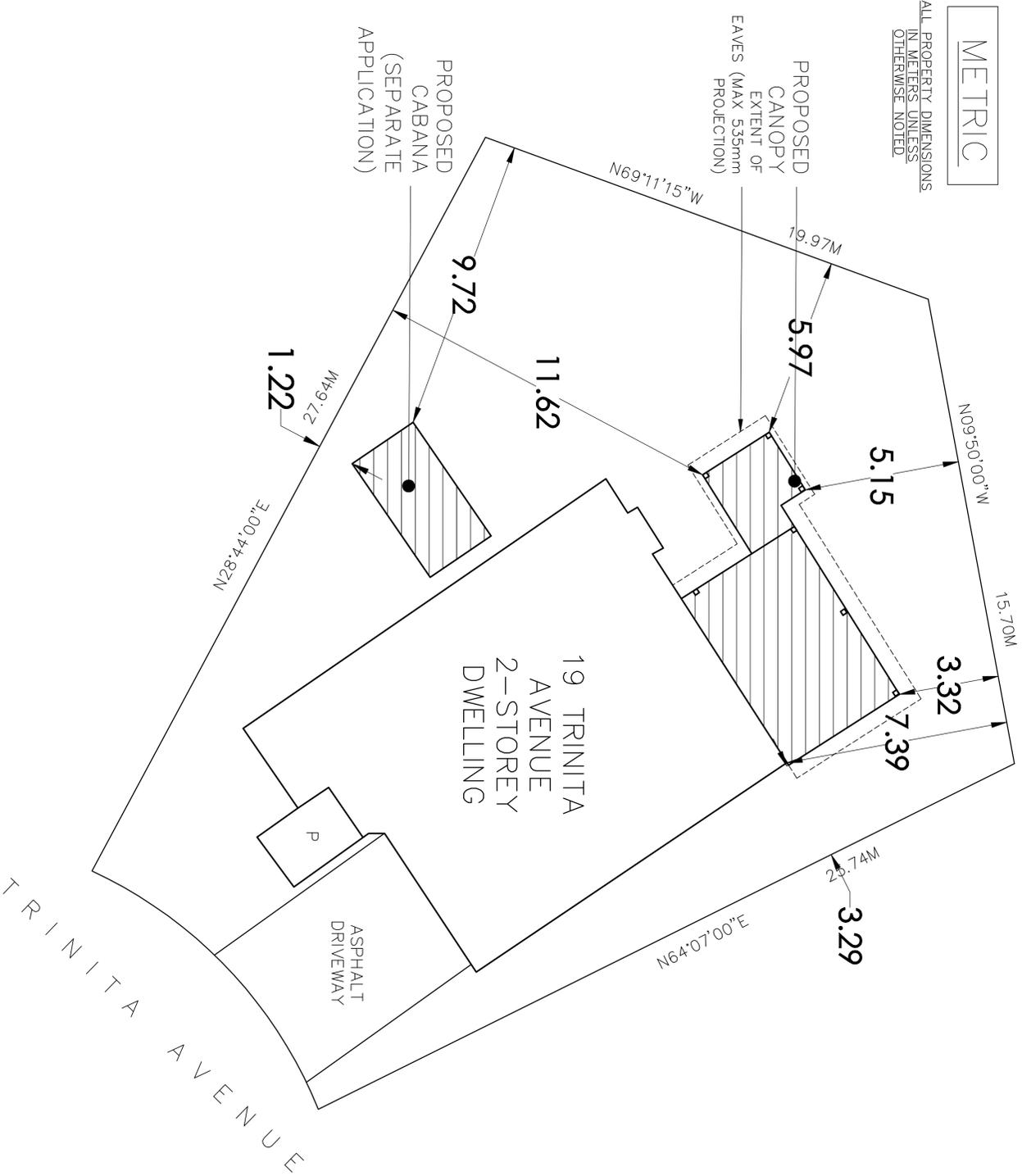






**METRIC**

ALL PROPERTY DIMENSIONS IN METERS UNLESS OTHERWISE NOTED



**SCOPE OF WORK:**  
 CONSTRUCTION OF REAR YARD CANOPY OVER NEW PORCH AREA.  
 AND  
 CONSTRUCTION OF NEW CABANA.

**INFORMATION TAKEN FROM SURVEY:**  
 SURVEYOR'S REAL PROPERTY REPORT PART 118 TO 126 BOTH INCLUSIVE REGISTERED PLAN 69M-3811 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK  
 BY P. SALVA CO. LTD. O.L.S.  
 DATED 2006 APRIL 12

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.  
 ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ZONING BY-LAW AND THE ZONING BY-LAW CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.

**BUILDING STATISTICS:**  
 SITE AREA: 581.63 SM (APPROXIMATE)  
 DWELLING COVERAGE: 147.18 SM (APPROXIMATE)  
 CANOPY COVERAGE: 36.23 SM  
 CANOPY HEIGHT: 3.63M  
 CABANA COVERAGE: 111.55M  
 CABANA HEIGHT: 3.145M  
 BUILDING HEIGHTS TAKEN FROM APPROX. EXIST ESTABLISHED GRADE.



**LASONNE ENGINEERING LTD.**  
 KLEINBURG 416.882.2873

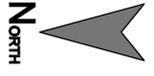
No.	Revision/Issue	Date

**SITE PLAN**

**19 TRINITA AVENUE  
 REAR YARD CANOPY  
 Vaughan, Ontario**

Project	2090	Sheet	S1
Date	JUNE '20		
Scale	1:100		

General Notes



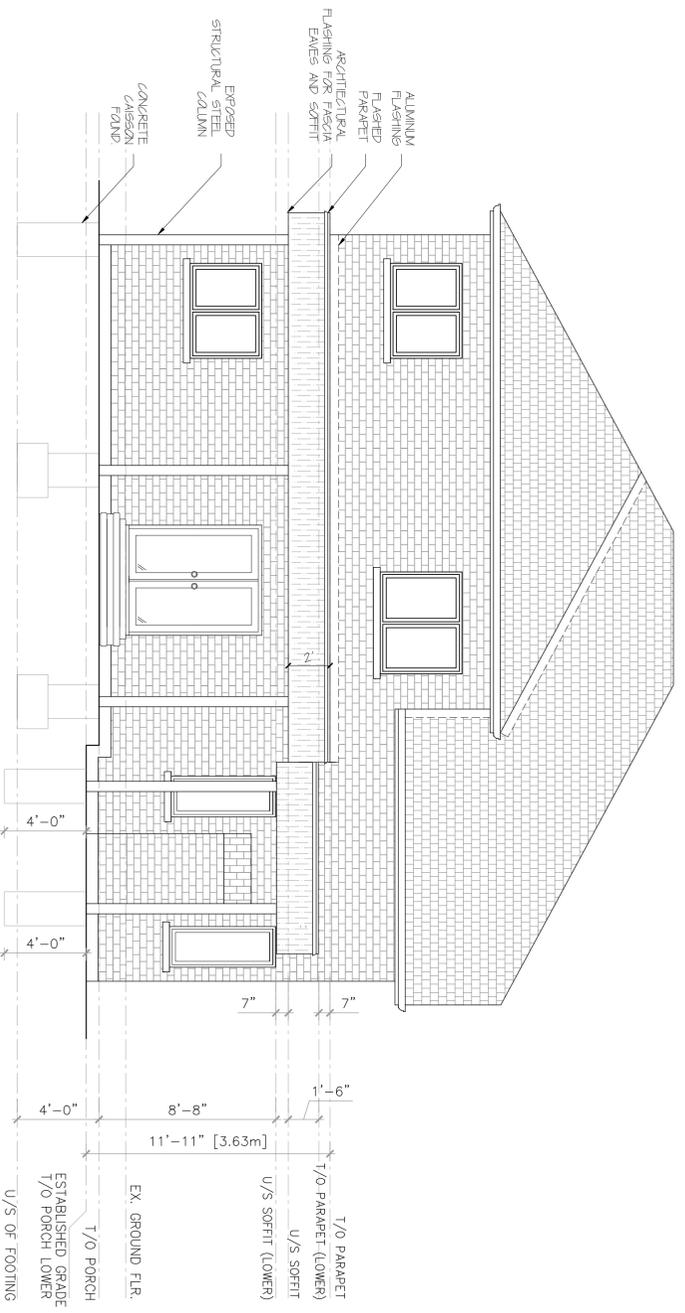
**LASONNE**  
ENGINEERING LTD.  
KLEINBURG 416.982.2873

No.	Revision/Issue	Date

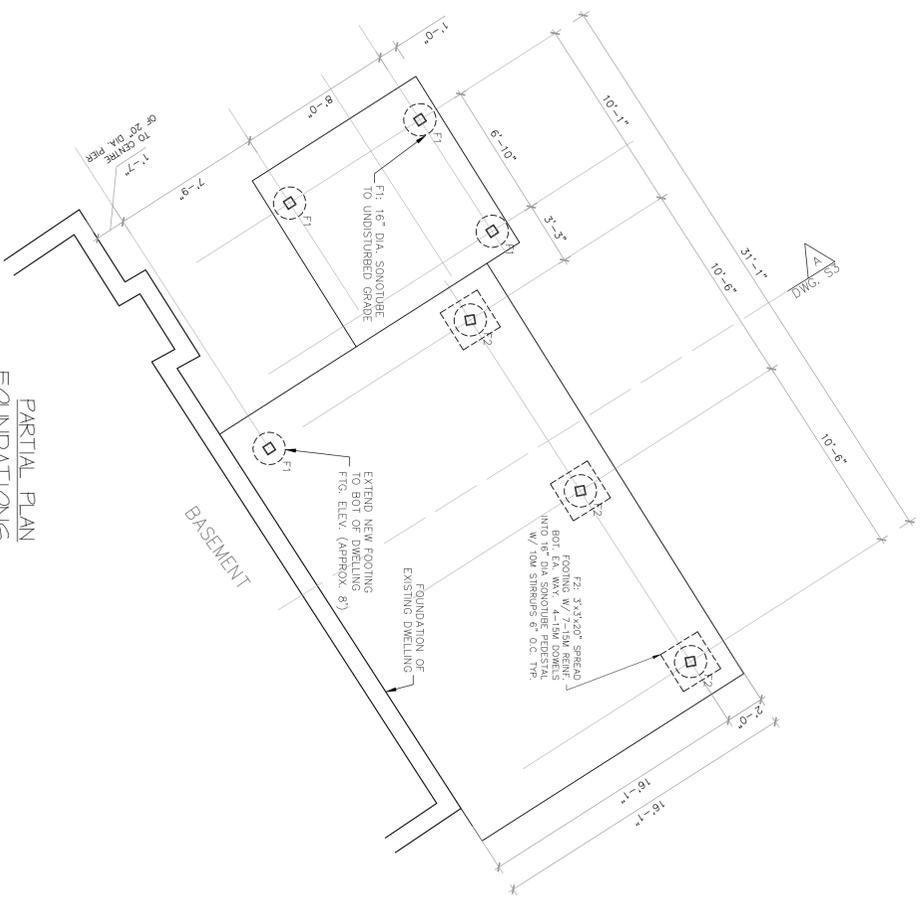
**ELEVATION AND PLANS**

**19 TRINITY AVENUE**  
REAR YARD CANOPY  
Vaughan, Ontario

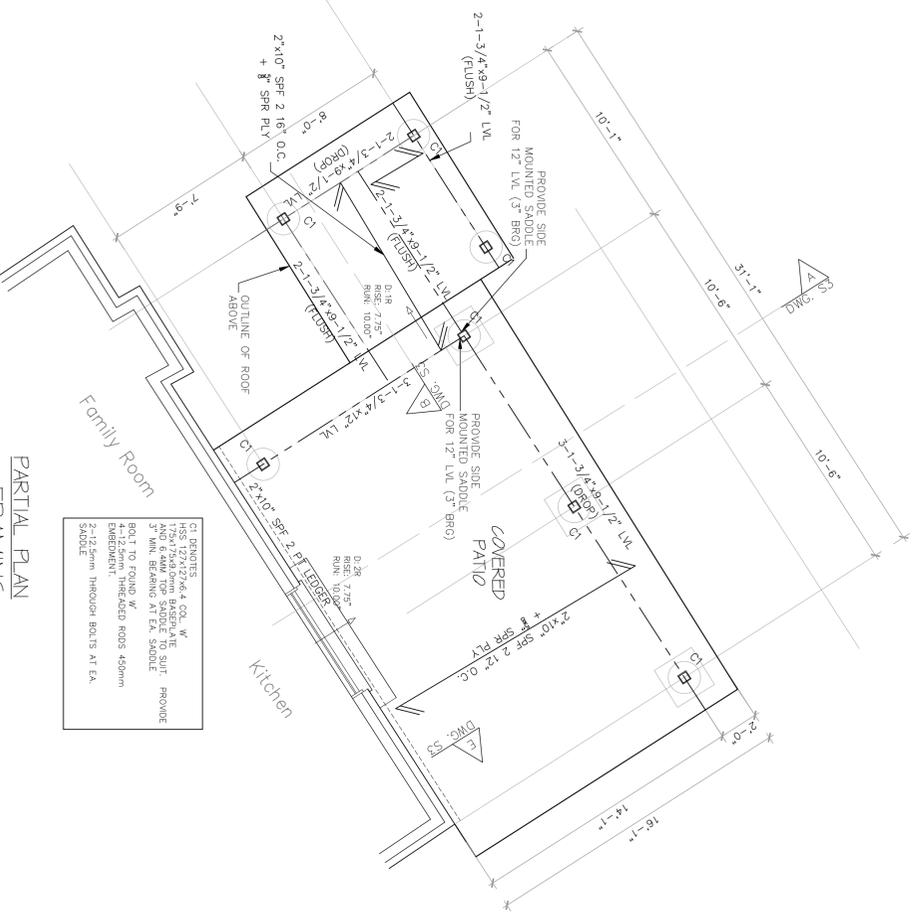
Project	2090	Sheet	S2
Date	OCT '20	Scale	1/4" = 1'-0"



ELEVATION RENOVATED NORTH



PARTIAL PLAN FOUNDATIONS



PARTIAL PLAN FRAMING

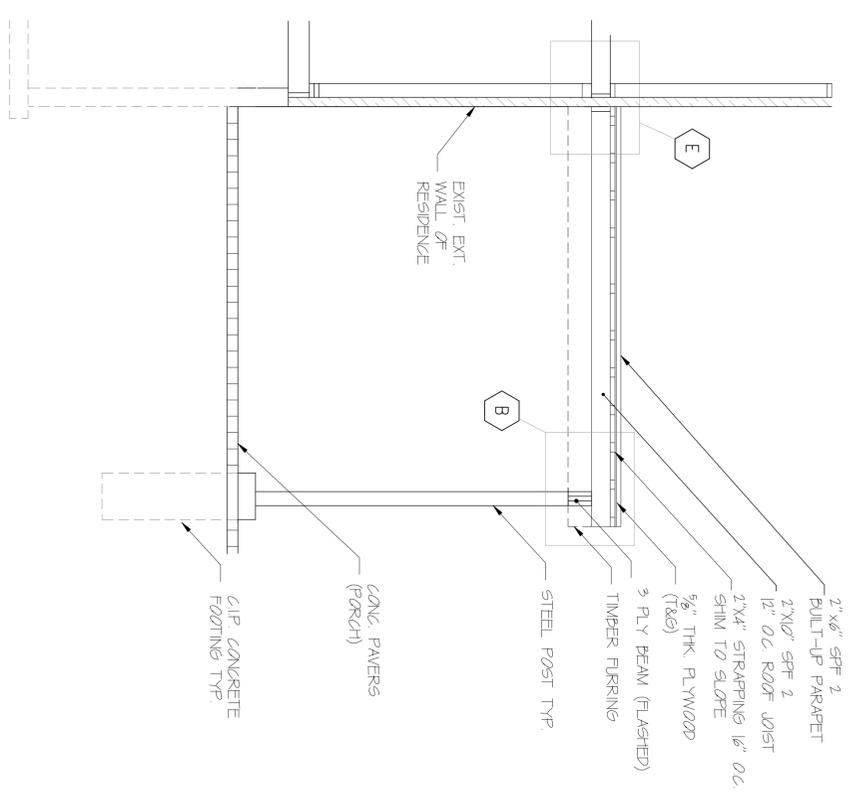
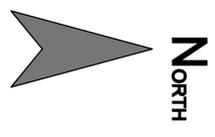
LVL BEAMS SHALL BE 2.0E MIN BY MANUFACTURER OR APPROVED EQUIV. NAIL EACH PLY OF LVL WITH BIRCH L.G. BOLTS FOR DEPTHS UP TO 11'-7\"/>

- LEGEND**
- EXHAUST FAN - SOON VENTED TO OUTSIDE
  - CARBON MONOXIDE DETECTOR
  - ⊗ CEILING MOUNTED SMOKE ALARM (NITE-CONNECTED)
  - ⊘ SOLID BEARING TO BE AS W/RE AS SHOWN (SEE SPEC. FOR DETAILS)
  - ⊙ SOLID WOOD BEARING TO MATCH FROM ABOVE
  - ⊚ DOUBLE JOIST
  - TJ TRIPLE JOIST
  - T/L LAMINATED VENEER LUMBER
  - PT PRESSURE TREATED LUMBER
  - GT GROUND TRUSS BY MANU.
- ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING DEMONSTRATION

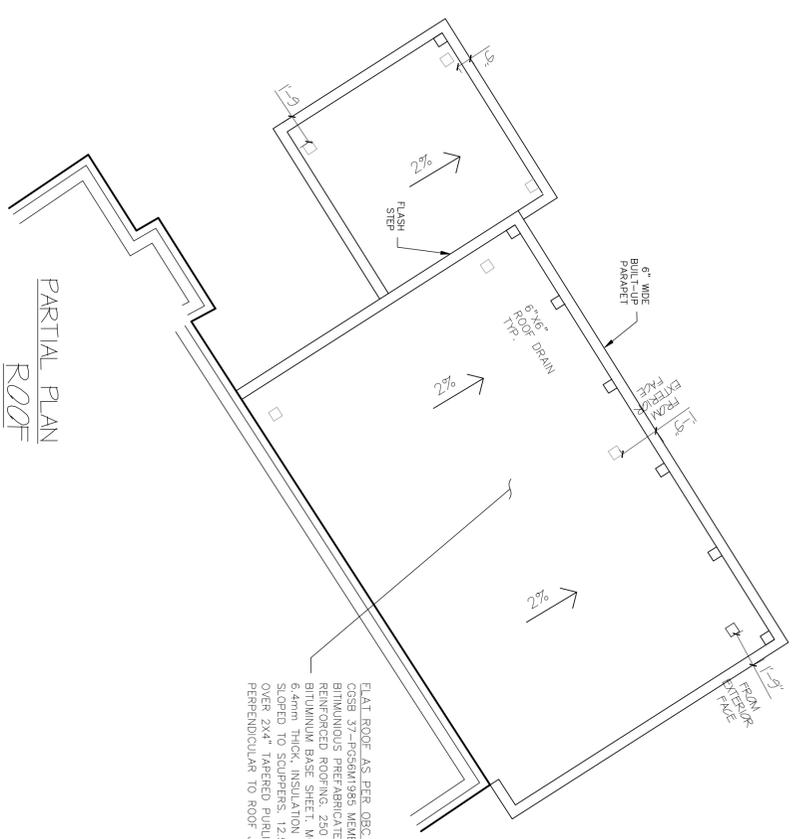
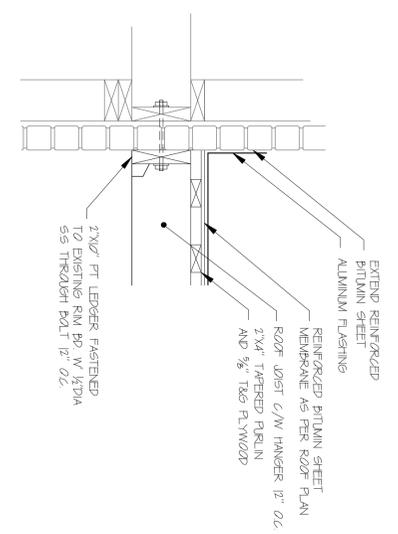
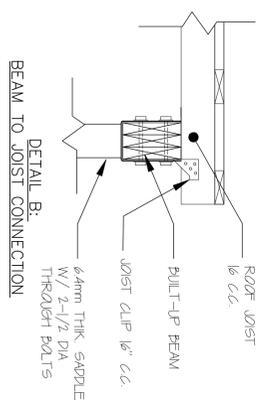
**DOOR SCHEDULE**

NO.	SIZE	TYPE
D1	34\"/>	

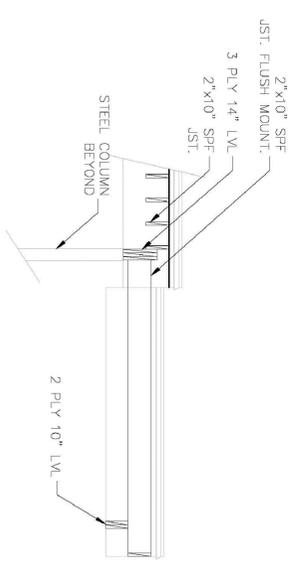
- LEGEND**
- REMOVALS
  - ▨ REMOVALS (APPROXIMANCES)



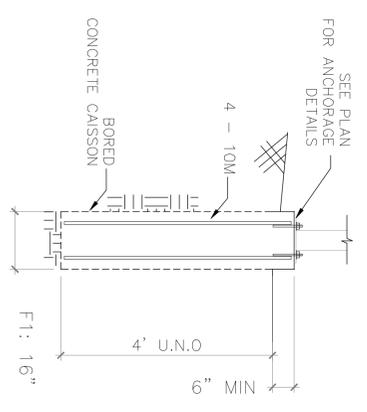
CROSS SECTION: A-A  
STRUCTURAL



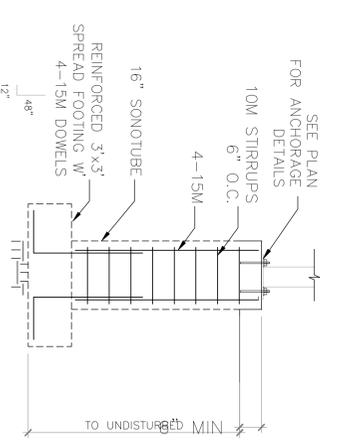
FLAT ROOF AS PER OBC 9.26.2.1(1).  
CSB 37-PROSOLUBS MEMBRANE MODIFIED  
BITUMINOLS PREFABRICATED AND  
REINFORCED ROOFING. 250 MODIFIED  
BITUMINUM BASE SHEET. MOPPED TO  
6.4mm THICK. INSULATION OVERLAY BOARD  
SLOPED TO SQUARES. 12.5MM PLYWOOD  
OVER 2x4" TAPERED PURLINS AT 12" O.C.  
PERPENDICULAR TO ROOF JOISTS.



SECTION B



CAISSON - COLUMNS 'F1'  
DETAILS  
NTS



CAISSON - COLUMNS 'F2'  
DETAILS  
NTS



**LASONNE**  
ENGINEERING LTD.  
KLEINBURG 416.982.2873

No.	Revision/Issue	Date

**DETAILS**

**19 TRINITA AVENUE**  
REAR YARD CANOPY  
Vaughan, Ontario

Project	2090	Sheet	S3
Date	OCT '20	Scale	



**SURVEYOR'S REAL PROPERTY REPORT**

PART 1) PLAN OF  
**LOTS 318 TO 326 BOTH INCLUSIVE**  
 REGISTERED PLAN 65M-3811  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK  
 SCALE 1:500

P. SALNA Co. LTD., O.L.S.

PART 8, PLAN 65R-27431  
 PIN 03328-4312(LT)

LOT 17

CONCESSION 6

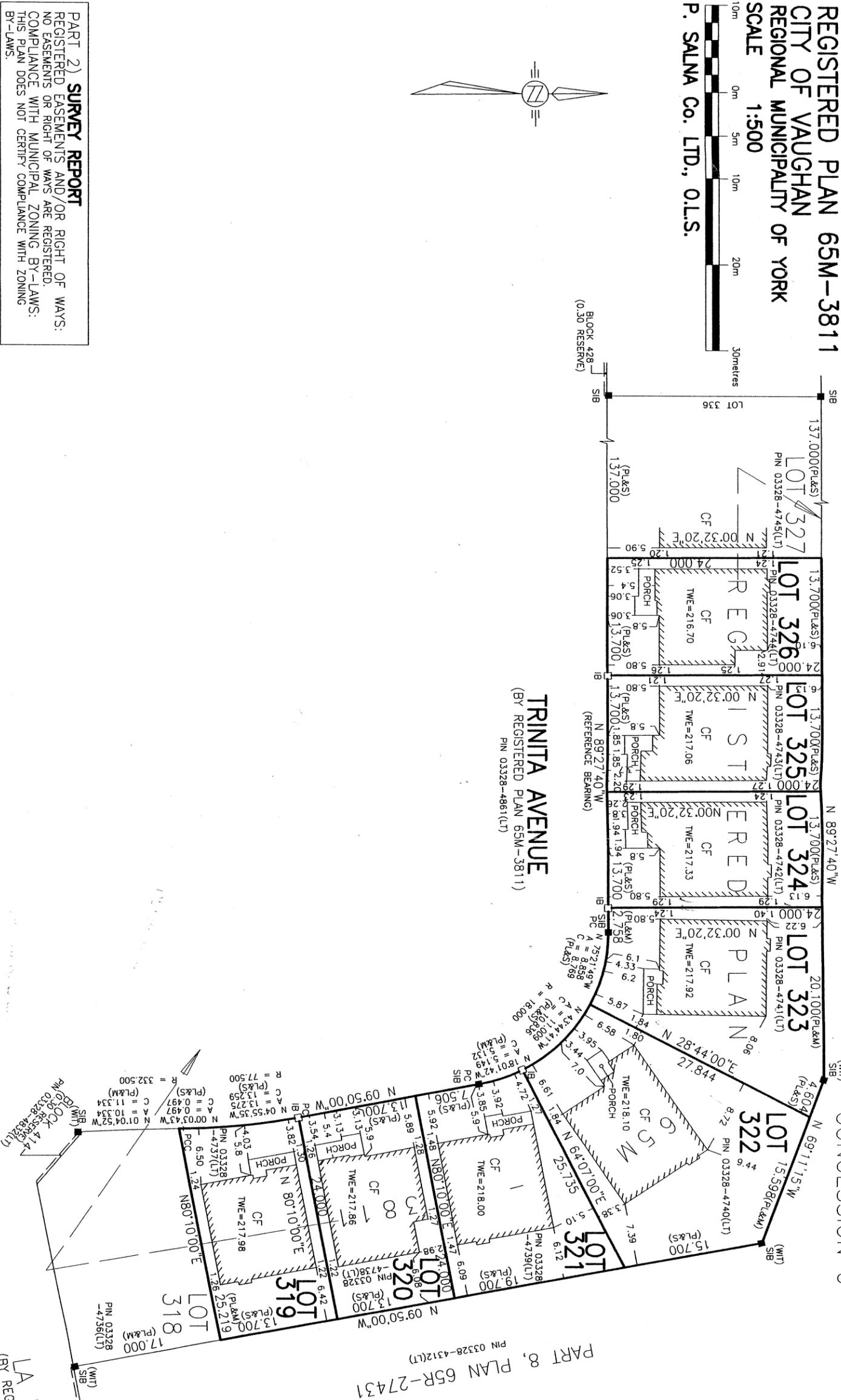
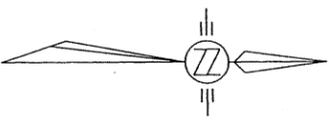
**METRIC**  
 DISTANCES SHOWN ON THIS  
 PLAN ARE IN METRES AND  
 CAN BE CONVERTED TO  
 FEET BY DIVIDING BY 0.3048

THIS REPORT WAS PREPARED FOR  
 VENETO PINES ESTATES INC. (GREENPARK)  
 AND THE UNDERSIGNED ACCEPTS NO  
 RESPONSIBILITY FOR USE BY  
 OTHER PARTIES

NOTE:  
 ALL FOUND MONUMENTS SHOWN HEREON WERE PLANTED BY  
 HOLDING JONES VANDERVEEN INC., O.L.S.  
 UNLESS NOTED OTHERWISE.

**ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 1597026**

THIS PLAN IS NOT VALID  
 UNLESS IT IS AN EMBOSSED  
 ORIGINAL COPY  
 ISSUED BY THE SURVEYOR  
 In accordance with  
 Regulation 1026, Section 29(3).



Block 427  
 (0.30 Reserve)  
 PIN 03328-4856(LT)  
**LA ROCCA AVENUE**  
 REGISTERED PLAN 65M-3811  
 PIN 03328-4856(LT)

**PART 2) SURVEY REPORT**  
 REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:  
 NO EASEMENTS OR RIGHT OF WAYS ARE REGISTERED.  
 COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:  
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING  
 BY-LAWS.

- LEGEND**
- DENOTES SURVEY MONUMENT PLANTED
  - DENOTES SURVEY MONUMENT FOUND
  - SIB DENOTES STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - WIT DENOTES WITNESS
  - OU DENOTES ORIGIN UNKNOWN
  - CC DENOTES CUT CROSS
  - S DENOTES SET
  - M DENOTES MEASURED
  - N DENOTES NOTES BY CURVATURE
  - PC DENOTES POINT OF CURVATURE
  - PRC DENOTES POINT OF REVERSE CURVATURE
  - CF DENOTES CONCRETE FOUNDATION WALLS
  - TWE DENOTES TOP OF WALL ELEVATION
  - GSE DENOTES GARAGE SILL ELEVATION
  - PL DENOTES REGISTERED PLAN 65M-3811
  - BR DENOTES 2 STOREY BRICK DWELLING
  - C DENOTES CALCULATED
  - PCC DENOTES POINT OF CURVATURE

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS  
 PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION  
 OF R.SALNA O.L.S.

**NOTES**

BEARINGS ARE ASTRONOMIC AND ARE  
 DERIVED FROM THE NORTHERLY  
 LIMIT OF TRINITA AVENUE  
 AS SHOWN ON REGISTERED PLAN 65M-3811  
 HAVING A BEARING OF N 89°27'40\"/>

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
 WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND  
 TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE  
 15th DAY OF FEBRUARY 2006

APRIL 12th, 2006

DATE  
 VLADIMIR DOSEN, B.S.C.  
 ONTARIO LAND SURVEYOR

*V. Dosen*

**P. SALNA COMPANY LTD.**  
 ONTARIO LAND SURVEYORS  
 10225 YONGE STREET  
 RICHMOND HILL, ONTARIO  
 PHONE: (905) 884-3988 FAX: (905) 737-7516

FIELD: PAT  
 DRAWN: JASNA  
 CHECKED: SRI  
 CAD FILE: 3811J  
 FILE: 04-124

## **Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None**

## **Schedule C: Agency Comments**

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

**Alectra (Formerly PowerStream) – No concerns or objections**

**Region of York – No concerns or objections**

**MTO – Located outside of MTO permit control area**



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### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

**Attwala, Pravina**

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**Subject:** FW: A054/21 - REQUEST FOR COMMENTS

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**From:** Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>  
**Sent:** March-24-21 3:45 PM  
**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>  
**Cc:** Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>  
**Subject:** [External] Re: A054/21 - REQUEST FOR COMMENTS

Good afternoon,

This site 19 Trinita Ave. is not within MTO permit control area and MTO has no concerns.

**Colin Mulrenin | Corridor Management Officer | York**

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7<sup>th</sup> Floor, Building D | Downsview, Ontario | M3M 0B7

[Colin.Mulrenin@ontario.ca](mailto:Colin.Mulrenin@ontario.ca)

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## Attwala, Pravina

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**Subject:** FW: A054/21 - REQUEST FOR COMMENTS

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**From:** Development Services <developmentsservices@york.ca>

**Sent:** March-29-21 3:02 PM

**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A054/21 - REQUEST FOR COMMENTS

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877  
464 9675 ext 71538 | [Gabrielle.hurst@york.ca](mailto:Gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)