

**File:** A028/21

**Applicant:** Vincenzo & Maria Galifi

**Address:** 154 Hailsham Ct Woodbridge

**Agent:** Pro-Land Landscape Construction

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Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

| Commenting Department                       | <input checked="" type="checkbox"/> Positive Comment | Condition(s)<br><input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
|---|--|---|
|   | <input checked="" type="checkbox"/> Negative Comment |   |
| Committee of Adjustment                     | <input checked="" type="checkbox"/>                  |   |
| Building Standards                          | <input checked="" type="checkbox"/>                  |   |
| Building Inspection                         |  |   |
| Development Planning                        | <input checked="" type="checkbox"/>                  |   |
| Development Engineering                     | <input checked="" type="checkbox"/>                  |   |
| Parks, Forestry and Horticulture Operations | <input checked="" type="checkbox"/>                  |   |
| By-law & Compliance                         |  |   |
| Financial Planning & Development            | <input checked="" type="checkbox"/>                  |   |
| Fire Department                             |  |   |
| TRCA  |  |   |
| Ministry of Transportation                  | <input checked="" type="checkbox"/>                  |   |
| Region of York                              | <input checked="" type="checkbox"/>                  |   |
| Alectra (Formerly PowerStream)              | <input checked="" type="checkbox"/>                  |   |
| Public Correspondence (see Schedule B)      |  |   |

Adjournment History: N/A

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Background History: N/A

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Staff Report Prepared By: Pravina Attwala  
 Hearing Date: Thursday, April 29, 2021

**\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).**



**Minor Variance Application**

Agenda Item: 10

**A028/21**

Ward: 3

**Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer**

**Date & Time of Live Stream Hearing:** Thursday, April 29, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

- Applicant:** Vincenzo & Maria Galifi
- Agent:** Pro-Land Landscape Construction
- Property:** **154 Hailsham Ct Woodbridge ON**
- Zoning:** The subject lands are zoned RD1, Residential and subject to the provisions of Exception 9(1333) under By-law 1-88 as amended.
- OP Designation:** Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
- Related Files:** None
- Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana and pool equipment shed in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

| By-law Requirement  | Proposal  |
|---|---|
| 1. A minimum rear yard setback of 7.5 metres is required. [Subsection 4.1.1]  | 1. To permit a minimum rear yard setback of 3.67 metres to an accessory structure (cabana). |
| 2. A maximum building height of 2.5 metres from finished grade to the highest point of the structure is permitted. [Subsection 4.1.1] | 2. To permit a maximum building height of 3.0 metres for an accessory structure (shed).     |

**Background (previous applications approved by the Committee on the subject land): N/A**

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

**Adjournment History: N/A**

**Staff & Agency Comments**

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

**Committee of Adjustment:**

Public notice was mailed on April 14, 2021

Applicant confirmed posting of signage on April 14, 2021

| Property Information |                  |
|----------------------|------------------|
| Existing Structures  | Year Constructed |
| Dwelling             | 2012             |

Applicant has advised that they cannot comply with By-law for the following reason(s): We are not able to locate the accessory structure further away from the back property line in order to meet the functionality the client needs for a proper gathering space in their backyard. We wanted to create some distance from the walkout basement staircase as well. We feel due to there being no dwellin in close proximity to the back property line we are not obstructing anyone’s views.

**Adjournment Request:** None

**Building Standards (Zoning Review):**

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued for the cabana. The Ontario Building Code requires a building permit for structures that exceed 10m2.

A permit shall be obtained from the Engineering Department for the private swimming pool.

The applicant proposes a 7.44 m2 shed with a height of 3.0 metres. A variance has been added for the height of the accessory structure. Note: Eaves and gutters appurtenant to the shed shall not extend more than 0.3 metres into all required yards.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure (cabana) measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three (3) metres above finished grade.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

**Building Inspections (Septic):**

No comments received to date.

**Development Planning:**

Official Plan: Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"

The Development Planning Department has reviewed the proposal and is of the opinion that it is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

**Development Engineering:**

The Development Engineering (DE) Department does not object to variance application A028/21.

**Parks Development - Forestry:**

No comments or concerns.

**By-Law and Compliance, Licensing and Permit Services:**

No comments received to date.

**Financial Planning and Development Finance:**

No comment no concerns

**Fire Department:**

No comments received to date.

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

None

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections  
 Region of York – No concerns or objections  
 MTO – Located outside of MTO permit control area

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required: N/A

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended: N/A

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Please Note:**

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Notice to the Applicant – Development Charges**

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8002  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

## **Schedule A: Plans & Sketches**

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

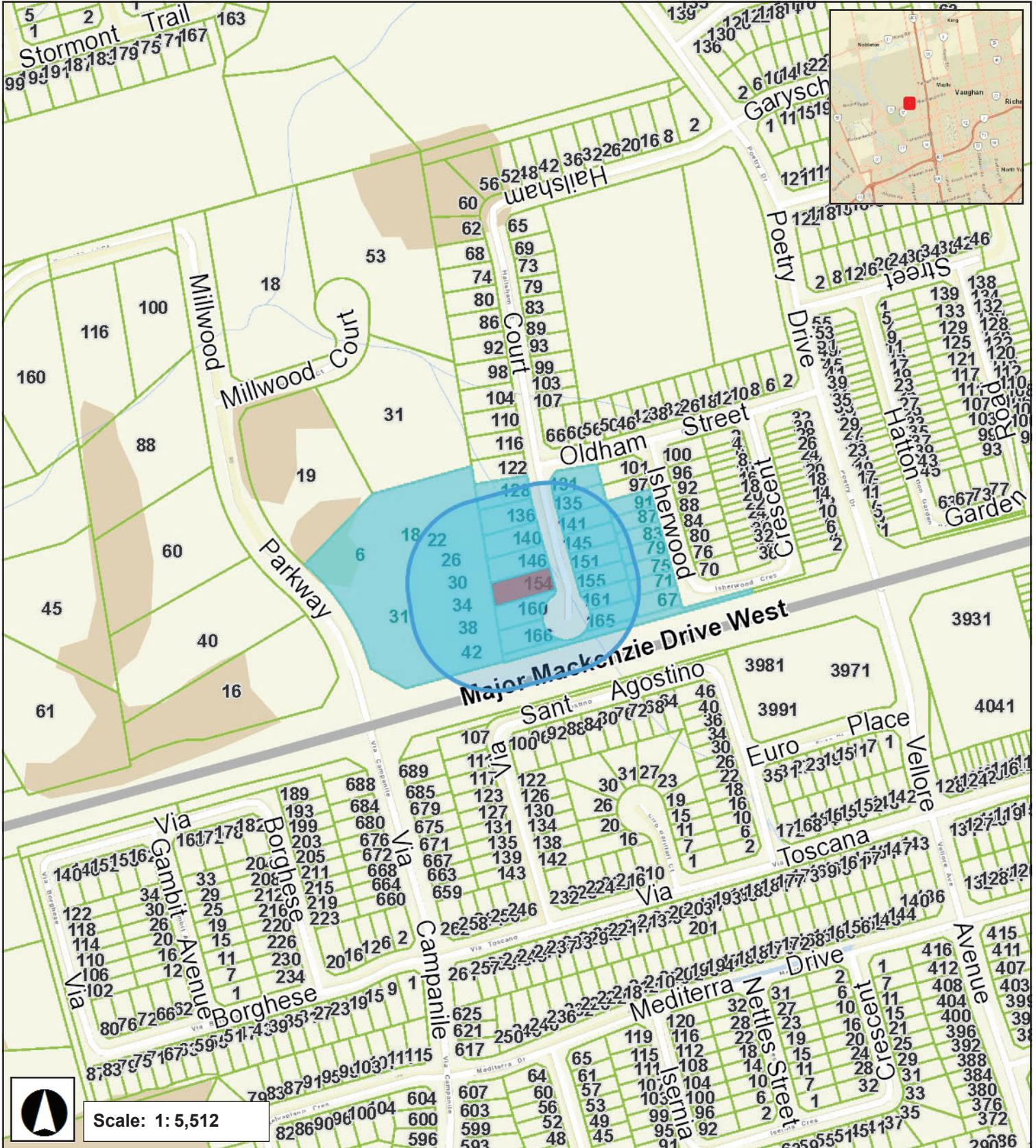
**Location Map**  
**Plans & Sketches**



# LOCATION MAP - A028/21

154 HAILSHAM COURT, WOODBRIDGE

## Teston Road



Pine Valley Drive

Weston Road

# A028/21

R1(H)

### LEGEND:

-  EXISTING HARDSCAPE
-  SOFTSCAPE (SOD/GARDEN BEDS)
-  PROPOSED HARDSCAPE (INTERLOCK)
-  PROPERTY LINE
-  EXISTING FENCE
-  PROPOSED FENCE
-  EXISTING TREES
-  DRAINAGE DIRECTION

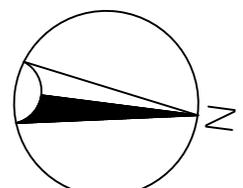
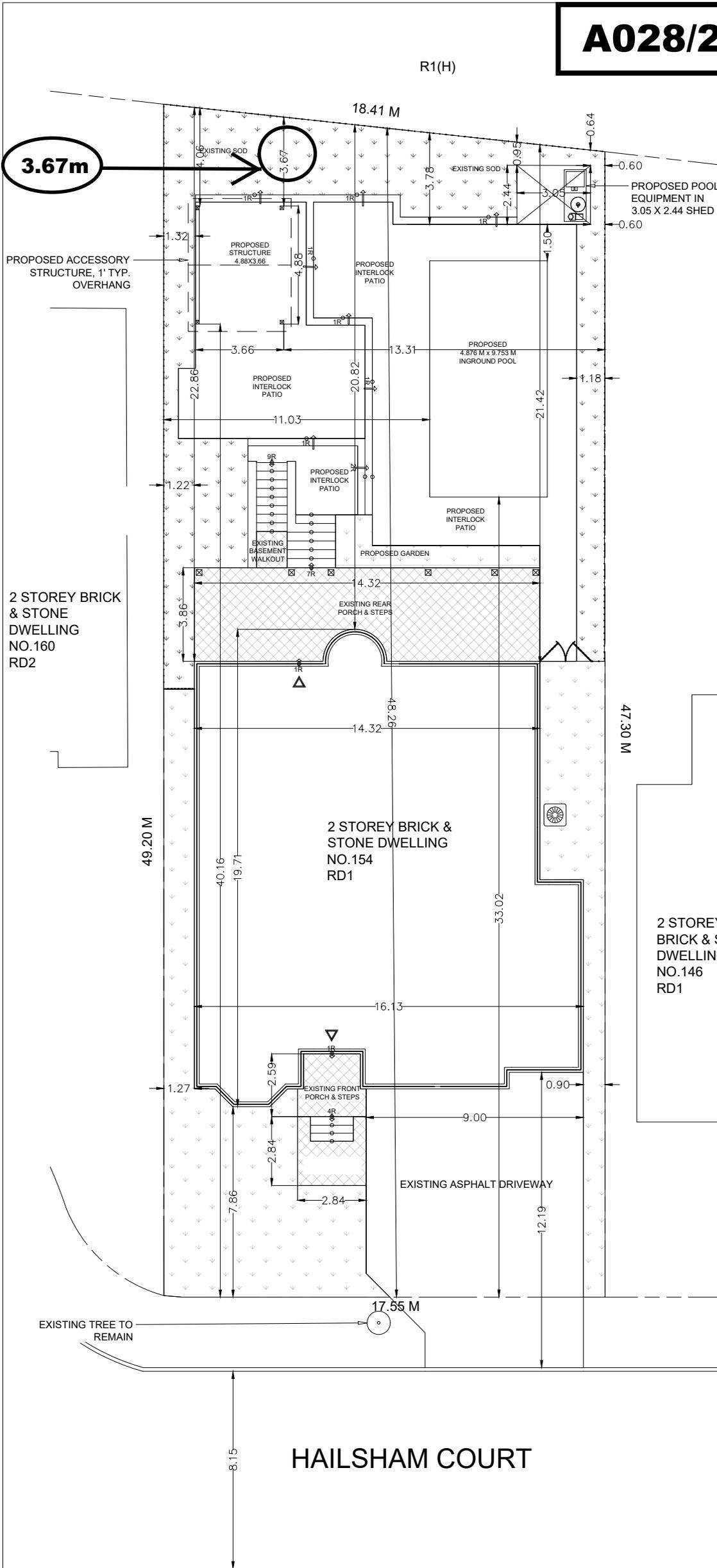
### SOFTSCAPE CALCULATIONS

REAR YARD: 331.9 M<sup>2</sup>  
 MINIMUM SOFTSCAPE CALCULATION:  
 331.9M<sup>2</sup> - 135 M<sup>2</sup> = 196.9 M<sup>2</sup>  
 60% OF 196.9M<sup>2</sup> = 118.14 M<sup>2</sup> (REQ. SOFTSCAPE)

PROPOSED REAR YARD SOFTSCAPE= 166.0 M<sup>2</sup>

### STRUCTURE CALCULATIONS

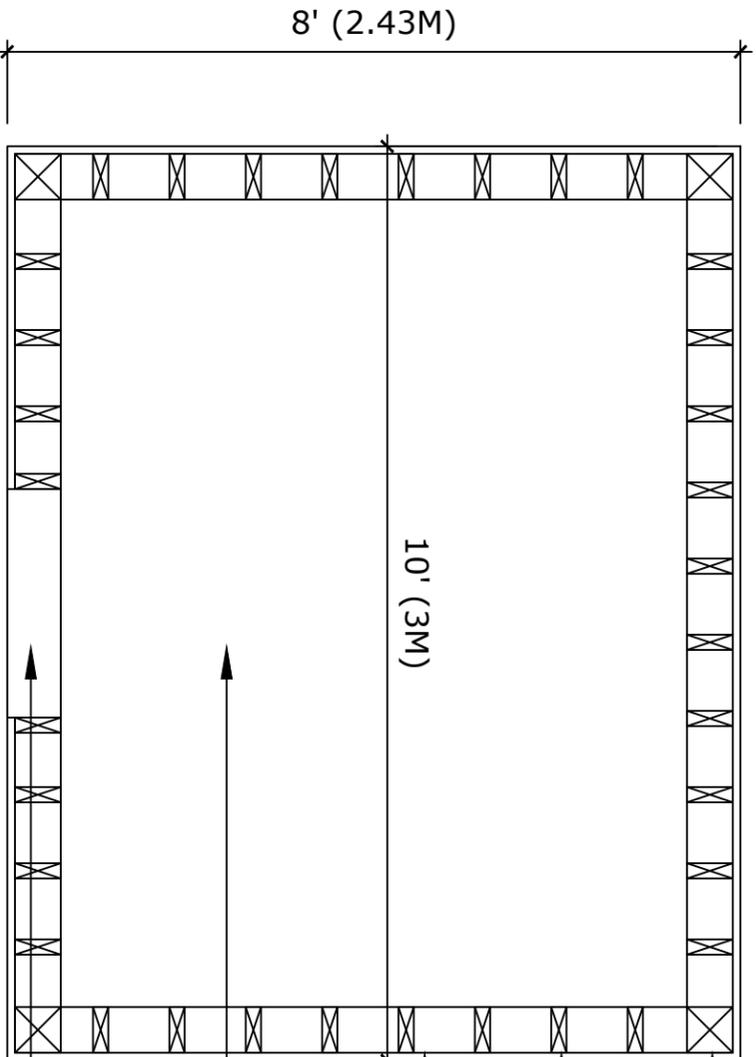
LOT AREA: 882.3 M<sup>2</sup>  
 DWELLING SIZE: 267.44 M<sup>2</sup> / 30%  
 STRUCTURE SIZE: 17.86 M<sup>2</sup> / 2%  
 POOL EQUIPMENT SHED: 7.44M<sup>2</sup>/0.8%  
 TOTAL LOT COVERAGE=292.74/ 32.8%



**RECEIVED**  
 By RECEIVED at 3:46 pm, Mar 08, 2021

**CITY OF VAUGHAN**  
 154 HAILSHAM COURT, WOODBRIDGE  
 PART OF LOT 26 DATE: MARCH 8, 2021  
 P.I.N. 03327-7242  
 REGISTERED PLAN 65M-4250  
 SCALE: 1:200M

**1 POOL EQUIP. SHED**  
PLAN  
SCALE: 1/2 = 1'0"



6X6 PT POST AT EACH CORNER

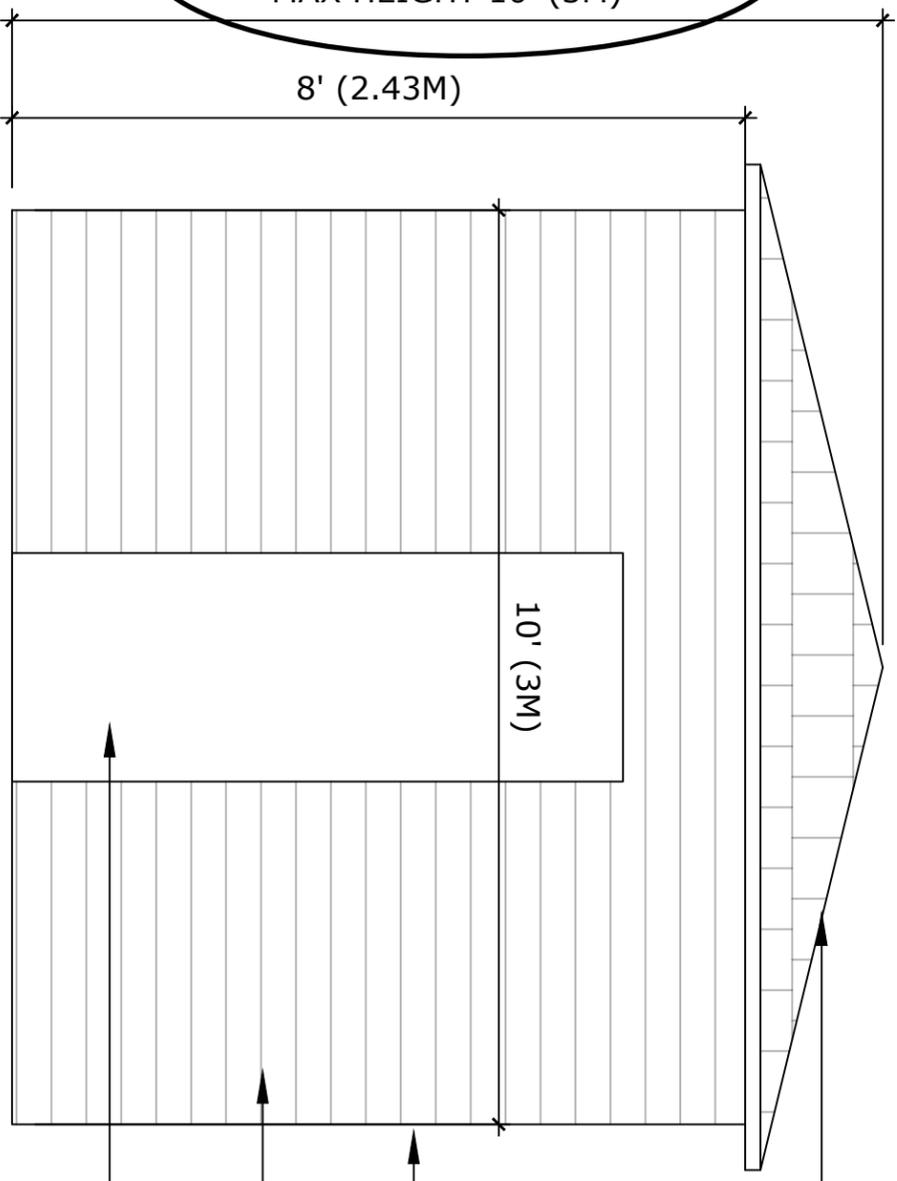
FRAMED WITH 2X6 PT STUDS @ MINIMUM 16" O/C

EXTERIOR FACED WITH SIDING

INTERIOR LEFT UNFINISHED

30" DOOR

**1 POOL EQUIP. SHED**  
ELEVATION SCALE: 1/2 = 1'0"



ROOF WITH DRIP EDGE, 6" OVERHANG

FRAMED WITH 2X6 PT STUDS @ MINIMUM 16" O/C

EXTERIOR FACED WITH SIDING

30" DOOR

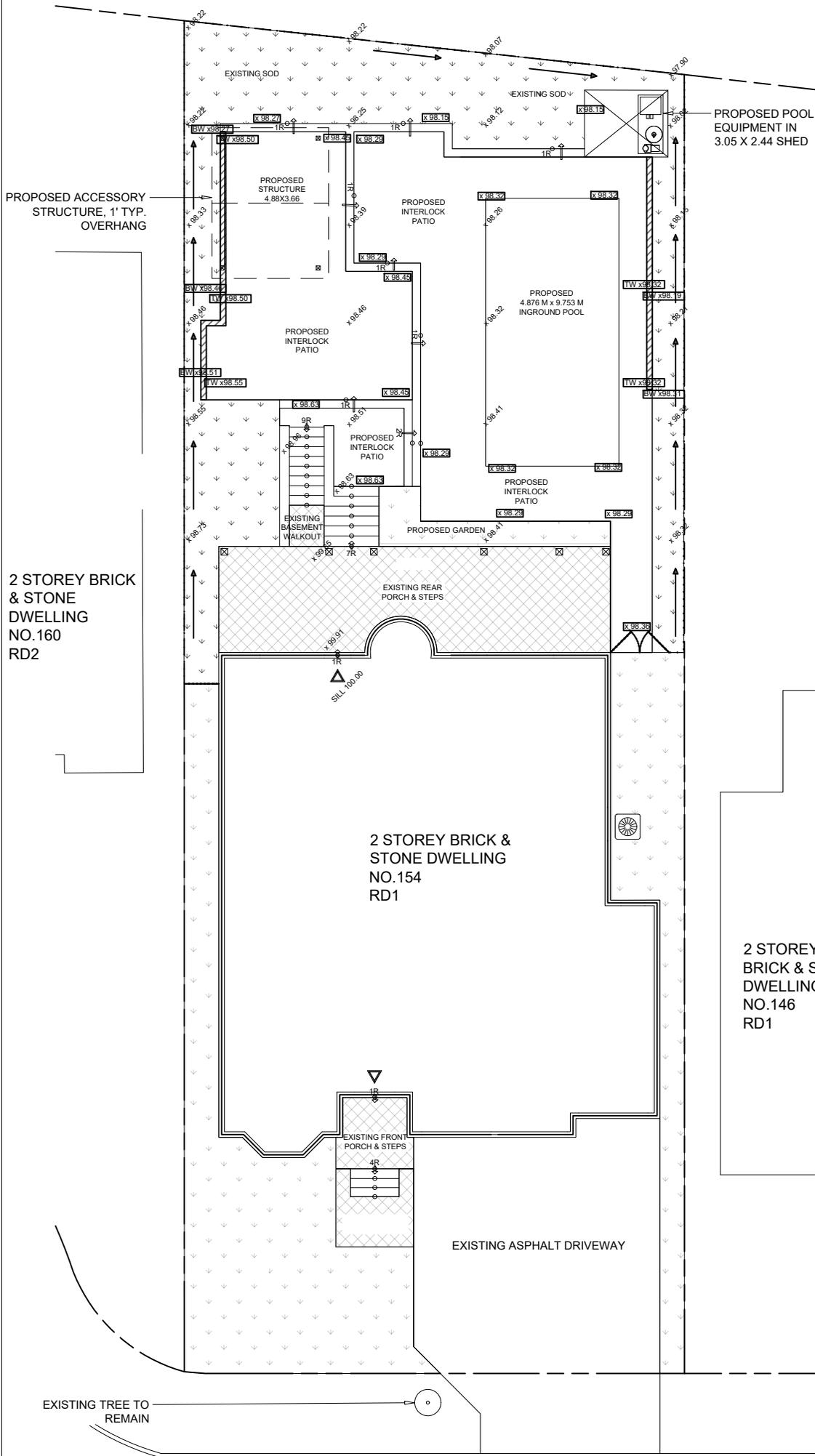
MAX HEIGHT 10' (3M)

**NOTES**  
ALL DRAWINGS ARE ARTISTS' IMPRESSIONS. ALL MATERIALS (STONE, PAVERS, FURNITURE, ACCESSORIES, PLANTINGS, ARCHITECTURAL FINISHINGS, ETC.) ARE CONCEPTUAL REPRESENTATIONS AND MAY NOT REFLECT THE EXACT DESIGN INTENT.

CLIENT: VINCE & MARY GALIFI  
ADDRESS: 154 HALLSHAM CRT, VAUGHAN ON  
DATE: MARCH 22 2021  
DRAWN BY: N.FORCO  
CHECKED BY: JOHN DAMBROSIO

PRO-LAND LANDSCAPE CONSTRUCTION INC.  
19 KENVIEW BLVD, UNIT 58  
BRAMPTON, ON  
L6T 5G6  
T: (905) 799-6100  
F: (905) 799-6125  
WWW.PROLAND.CA

R1(H)



**LEGEND:**

-  EXISTING HARDSCAPE
-  SOFTSCAPE (SOD/GARDEN BEDS)
-  PROPOSED HARDSCAPE (INTERLOCK)
-  PROPERTY LINE
-  EXISTING FENCE
-  PROPOSED FENCE
-  EXISTING TREES
-  DRAINAGE DIRECTION

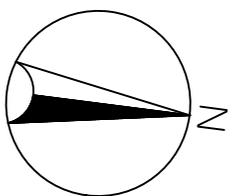
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 POOL EQUIPMENT SHED: 7.44M<sup>2</sup>/0.8%  
 TOTAL LOT COVERAGE=292.74/ 32.8%



HAILSHAM COURT

**RECEIVED**  
 By RECEIVED at 3:46 pm, Mar 08, 2021



**Project Address:**  
154 Hallslam Court,  
Woodbridge, ON  
L4H 3N9

**Timber Frame**

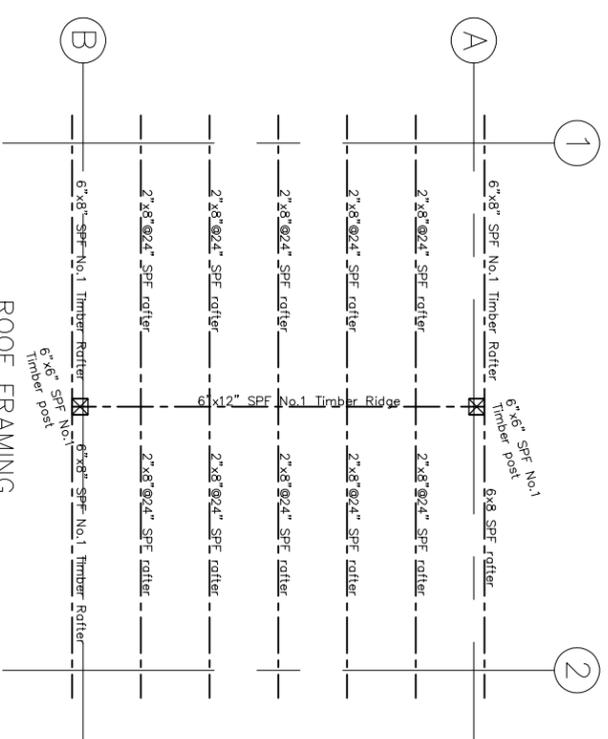
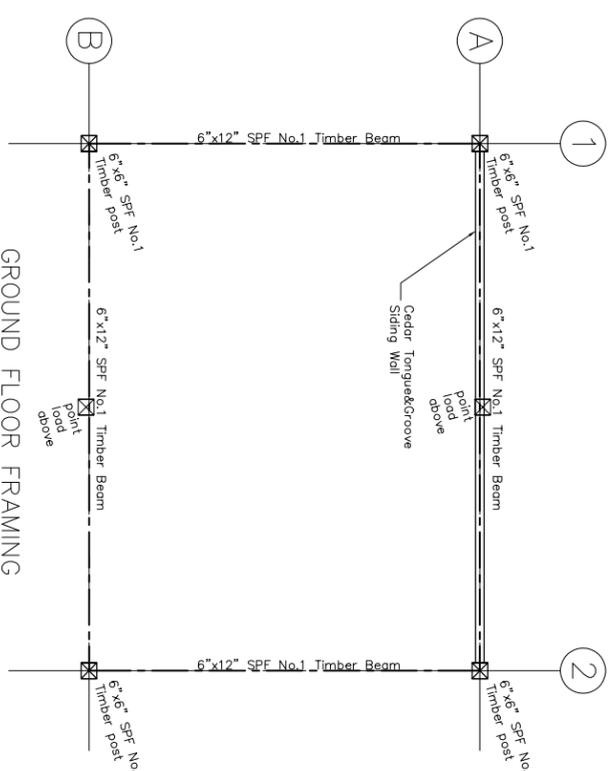
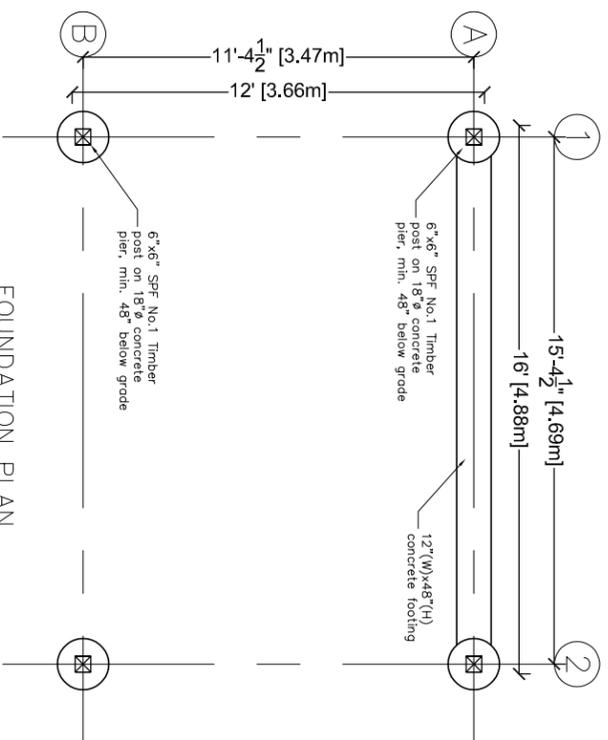
**Date** 2021-02-24 **Issued for:** Building Permit

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

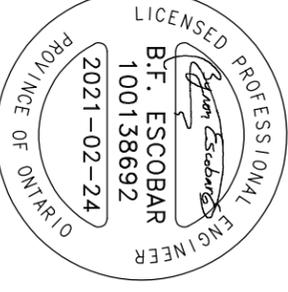
**Scale:**  
 $\frac{3}{16}'' = 1'-0''$  (1:64)

**Drawing No.**

**S-01**  
1 of 3



**RECEIVED**  
By RECEIVED at 2:16 pm, Feb 24, 2021



**Project Address:**  
154 Hallsam Court,  
Woodbridge, ON  
L4H 3N9

**Timber Frame**

**Date** 2021-02-24 **Issued for:** Building Permit

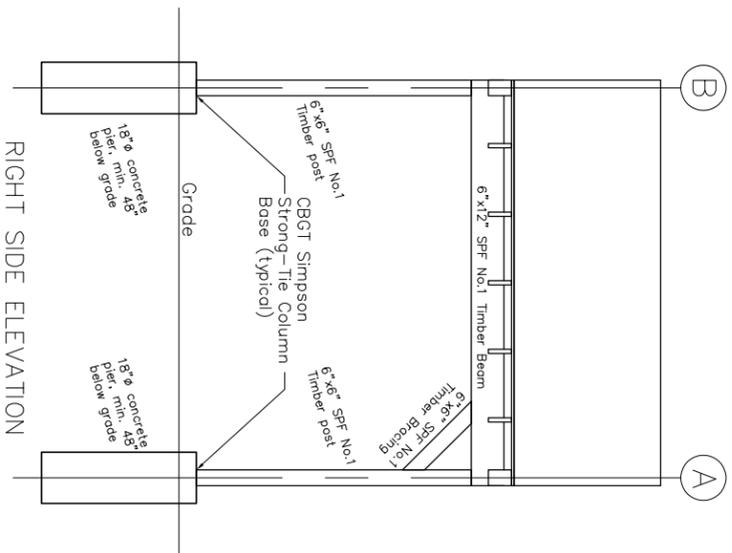
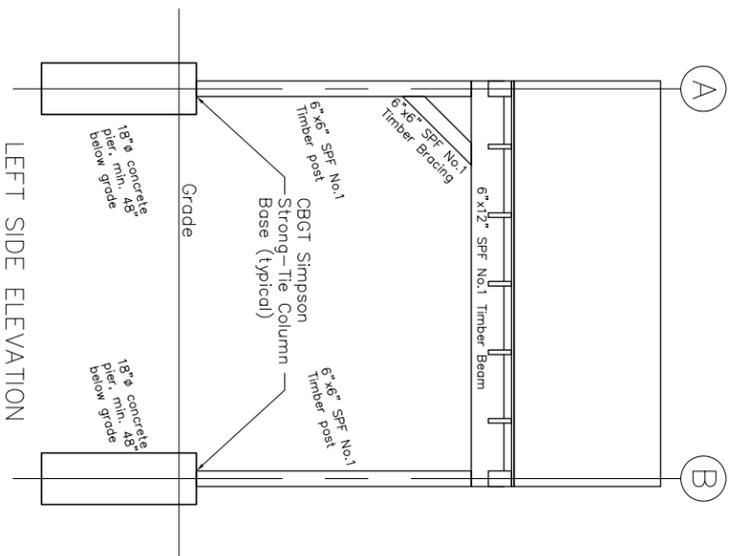
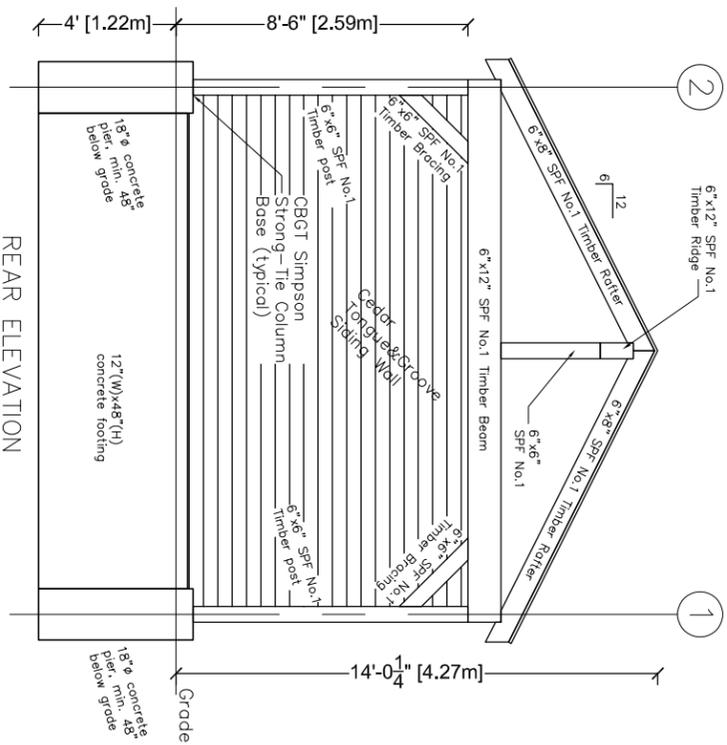
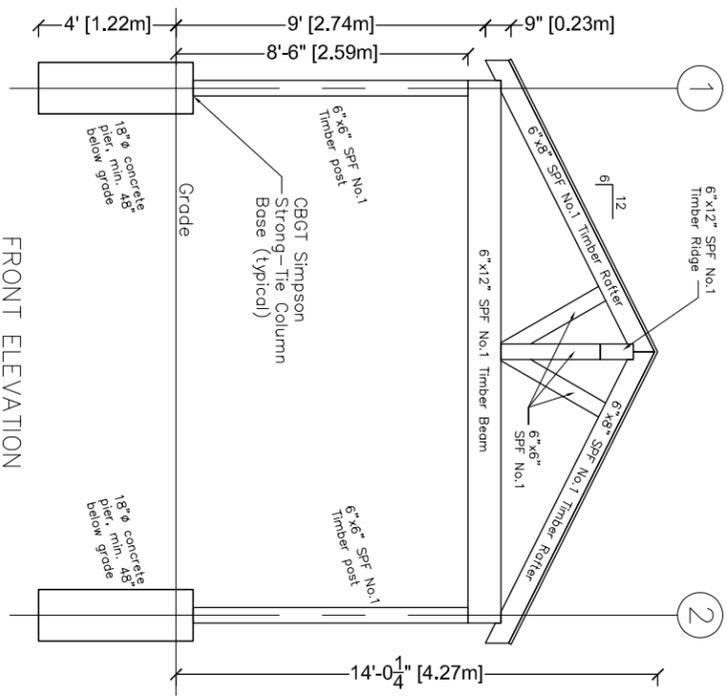
These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

**Scale:**  
3/16" = 1'-0" (1:64)

Drawing No.

**S-02**

2 of 3



Timber Frame — Elevations

**RECEIVED**  
By RECEIVED at 2:16 pm, Feb 24, 2021

**GENERAL NOTES:**

- All work according to Ontario Building Code and Municipal by-laws and standards
- All dimensions and locations to be verified on site prior construction
- Contractor to provide all temporary bracing and shoring necessary for the safe execution of this work
- All footing to be minimum 48" below finish grade, on natural undisturbed soil, rock, or 6" of compacted granular fill with minimum bearing capacity of 100 kPa
- All lumber to be No. 1 & 2 spruce or better
- All plywood shall be stamped exterior grade
- All members shall be so framed, fastened, tied, braced, and anchored to provide the necessary strength, rigidity, and stability OBC 9.23.2.1 and 4.1.1.3
- All loads must be supported and transferred to foundation or adequate support
- All exterior wood to be pressure treated

**CONCRETE:**

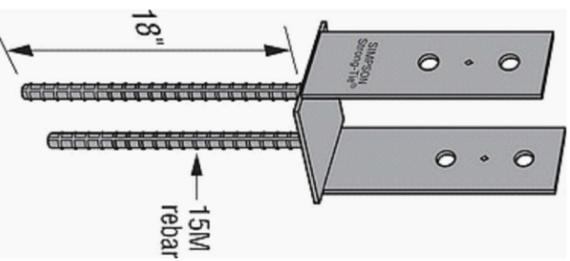
Unreinforced and reinforced concrete shall be designated, mixed, placed, cured and tested in accordance with the requirements for "R" class concrete stated in Clause 8.13 of CSA A23.1, "Concrete Materials and Methods of Concrete Construction", with a maximum aggregate size of 19 mm. For strip footings, footing pads and foundation walls, use 20 MPa. For concrete exposed to cold weather, use 32 MPa concrete with 5%–8% air entrainment.

**STEEL REINFORCEMENT:**

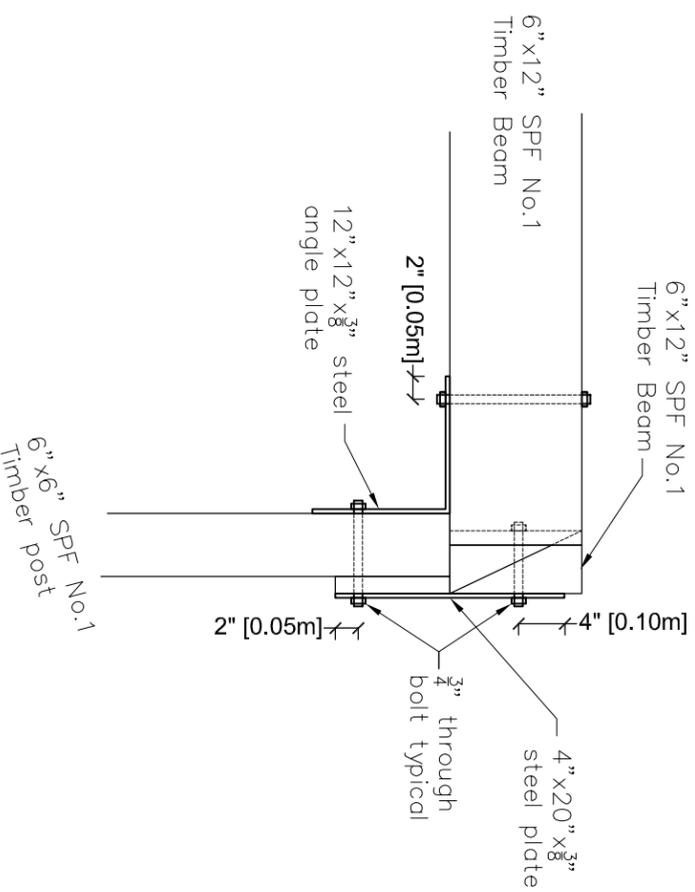
Reinforcement shall conform to CAN/CSA-G30.18-M "Billet-Steel Bars for Concrete Reinforcement" with a minimum specified yield strength of 400 MPa, and be lapped a minimum of 450 mm for 10M bars and 650 mm for 15 M bars.

**STRUCTURAL STEEL:**

Structural steel shall conform to CAN/C.S.A.-G40.20/G40.21 Grade 350W to be shop painted (primed). Structural steel connections to be welded on site. Contractor to submit stamped shop drawings for approval prior fabrication.



CBGT Simpson  
Strong-Tie  
Column Base



Column/beam  
Connection  
Detail

## **Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None**

## **Schedule C: Agency Comments**

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

**Alectra (Formerly PowerStream) – No concerns or objections**

**Region of York – No concerns or objections**

**MTO – Located outside of MTO permit control area**

**COMMENTS:**

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

**Attwala, Pravina**

---

**Subject:** FW: A028/21 - REQUEST FOR COMMENTS

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**From:** Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>  
**Sent:** March-31-21 3:20 PM  
**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>  
**Cc:** Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>  
**Subject:** [External] RE: A028/21 - REQUEST FOR COMMENTS

Good afternoon,

The property at 154 Hailsham Ct is not within the MTO permit control area and MTO has no comments.

**Colin Mulrenin | Corridor Management Officer | York**  
Highway Corridor Management Section – Central Operations  
159 Sir William Hearst Avenue | Ministry of Transportation  
7<sup>th</sup> Floor, Building D | Downsview, Ontario | M3M 0B7  
[Colin.Mulrenin@ontario.ca](mailto:Colin.Mulrenin@ontario.ca)

**Attwala, Pravina**

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**Subject:** FW: A028/21 - REQUEST FOR COMMENTS

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**From:** Development Services <developmentsservices@york.ca>

**Sent:** April-07-21 9:45 AM

**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A028/21 - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle