

**File:** A047/21

**Applicant:** Daniele & Felicia Mariani

**Address:** 33 Tremblant Cr Kleinburg

**Agent:** Fausto Cortese Architects Inc.

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment <input checked="" type="checkbox"/> Negative Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
Committee of Adjustment	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning		
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Pravina Attwala  
Hearing Date: Thursday, April 8, 2021

*\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance  
Application

Agenda Item: 19

A047/21

Ward: 1

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Thursday , April 8, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Daniele & Felicia Mariani

**Agent:** Fausto Cortese Architects Inc.

**Property:** 33 Tremblant Cr Kleinburg

**Zoning:** The subject lands are zoned RD3 and subject to the provisions of Exception 9(1376) under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana, swimming pool to be located in the rear yard. Relief is also being requested to permit the construction of a proposed walkout stairwell in the easterly side yard to facilitate access from basement to rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 7.50 metres to the proposed Cabana is required.	1. To permit a minimum rear yard setback of 1.22 metres to the proposed Cabana.
2. A minimum interior side yard setback of 1.20 metres to the proposed Cabana is required.	2. To permit a minimum interior side yard setback of <b>1.0 metres</b> to the proposed Cabana. * <b>Variance was revised prior to the issuance of public notice to address staff comments.</b>
3. A minimum rear yard setback of 1.50 metres to the proposed Pool is required.	3. To permit a minimum rear yard setback of <b>1.0 metres</b> to the proposed Pool. * <b>Variance was revised prior to the issuance of public notice to address staff comments.</b>
4. A minimum interior side yard setback of 1.50 metres to the proposed Pool is required.	4. To permit a minimum interior side yard setback of 1.04 metres to the proposed Pool.
5. A minimum interior side yard setback of 1.20 metres to the proposed Stairway is required.	5. To permit a minimum interior side yard setback of 0.70 metres to the proposed Stairway.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on March 24, 2021

Applicant confirmed posting of signage on March 24, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2017

Applicant has advised that they cannot comply with By-law for the following reason(s): The size of the rear yard is too small to allow for a properly sized pool, walkout and cabana as per client’s needs.

Adjournment Request: Prior to the issuance of public notice the applicant was advised the following:

1. Development Planning staff recommend you slightly increase the interior side yard setback (variance 2) to the cabana to at least 1.0m to meet the general intent and purpose of the Zoning By-law 1-88

**\*Applicant revised variance #2 to 1.0 m.**

2. The Development Planning Department is not in position to support a rear yard setback of 0.91m (variance 3) to a pool. We would like to work with you but note properties within an RD3 zone have been approved with setbacks (rear and interior) to a pool between 1m-1.2m. It is the opinion of DP staff that reducing it below that standard will set an unwanted precedence.

**\*Applicant revised variance #3 to 1.0m**

3. DP have no concerns with variances 1,4 and 5.

The revised proposal submitted by the applicant on March 23, 2021 was subject to a zoning review. Zoning staff have requested additional information to confirm variances required:

1. Eaves and gutters are permitted to encroach into a required yard a maximum of 0.5 metres (Section 3.14, By-law 1-88a.a.). Applicant to provide the dimension of the proposed overhang.
2. Applicant to provide setback dimensions perpendicular to the lot lines to ensure the shortest distance is being captured.
3. Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and are permitted to encroach a maximum of 1.5 metres into the required rear yard (Section 3.14, By-law 11-88a.a.). Applicant to confirm the location of the proposed pool equipment.
4. The proposed building height shall be measured from average finished ground level to the highest point of the building or structure (Section 4.1.1, By-law 1-88a.a.). Applicant to revise the plans to include the height from average finished ground level.

Should the application require additional variances based on a review of the requested information, staff are recommending adjournment in order to accommodate statutory public notice.

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Eaves and gutters are permitted to encroach into a required yard a maximum of 0.5 metres (Section 3.14, By-law 1-88a.a.). Applicant to provide the dimension of the proposed overhang.

Applicant to provide setback dimensions perpendicular to the lot lines to ensure the shortest distance is being captured.

Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and are permitted to encroach a maximum of 1.5 metres into the required rear yard (Section 3.14, By-law 11-88a.a.). Applicant to confirm the location of the proposed pool equipment.

The proposed building height shall be measured from average finished ground level to the highest point of the building or structure (Section 4.1.1, By-law 1-88a.a.). Applicant to revise the plans to include the height from average finished ground level.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

**Building Inspections (Septic):**

No comments to date.

**Development Planning:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Application under review.

**Development Engineering:**

The Development Engineering (DE) Department does not object to variance application A047/21. subject to the following condition(s):

- 1) The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for lot grading and/or servicing approval.
- 2) Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for the pool permit.

**Parks Development - Forestry:**

The boulevard tree requires 1.2m of TPZ on all sides, applicant to install light duty (MLA107B/ULA110B) hoarding to prevent damage to newly planted tree. If this area hasn't been assumed, the developer/builder is responsible for the health of all boulevard trees, Forestry will inspect trees at time of assumption inspections.

**By-Law and Compliance, Licensing and Permit Services:**

No comments or concerns

**Financial Planning and Development Finance:** Prepared by: Nelson Pereira

No comment no concerns

**Fire Department:**

No comments to date.

**Schedule A – Plans & Sketches****Schedule B – Public Correspondence**

None

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections  
Region of York – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval. 2. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.
3	Development Planning Roberto Simbana  905-832-8585 x 8810 <a href="mailto:roberto.simbana@vaughan.ca">roberto.simbana@vaughan.ca</a>	Application under review

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8002  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map  
Plans & Sketches

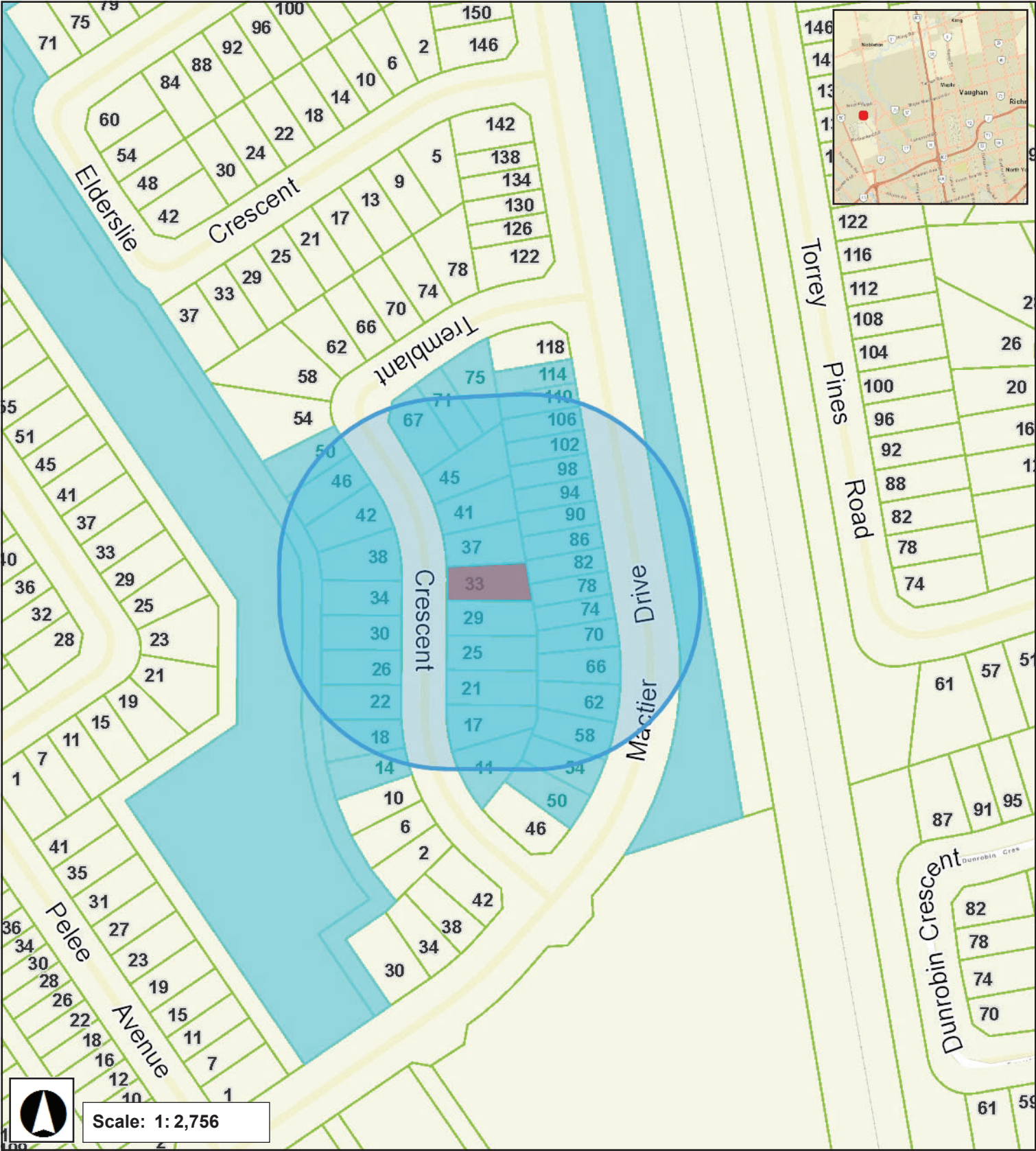




# LOCATION MAP - A047/21

33 TREMBLANT CRESCENT, KLEINBURG

Nashville Road

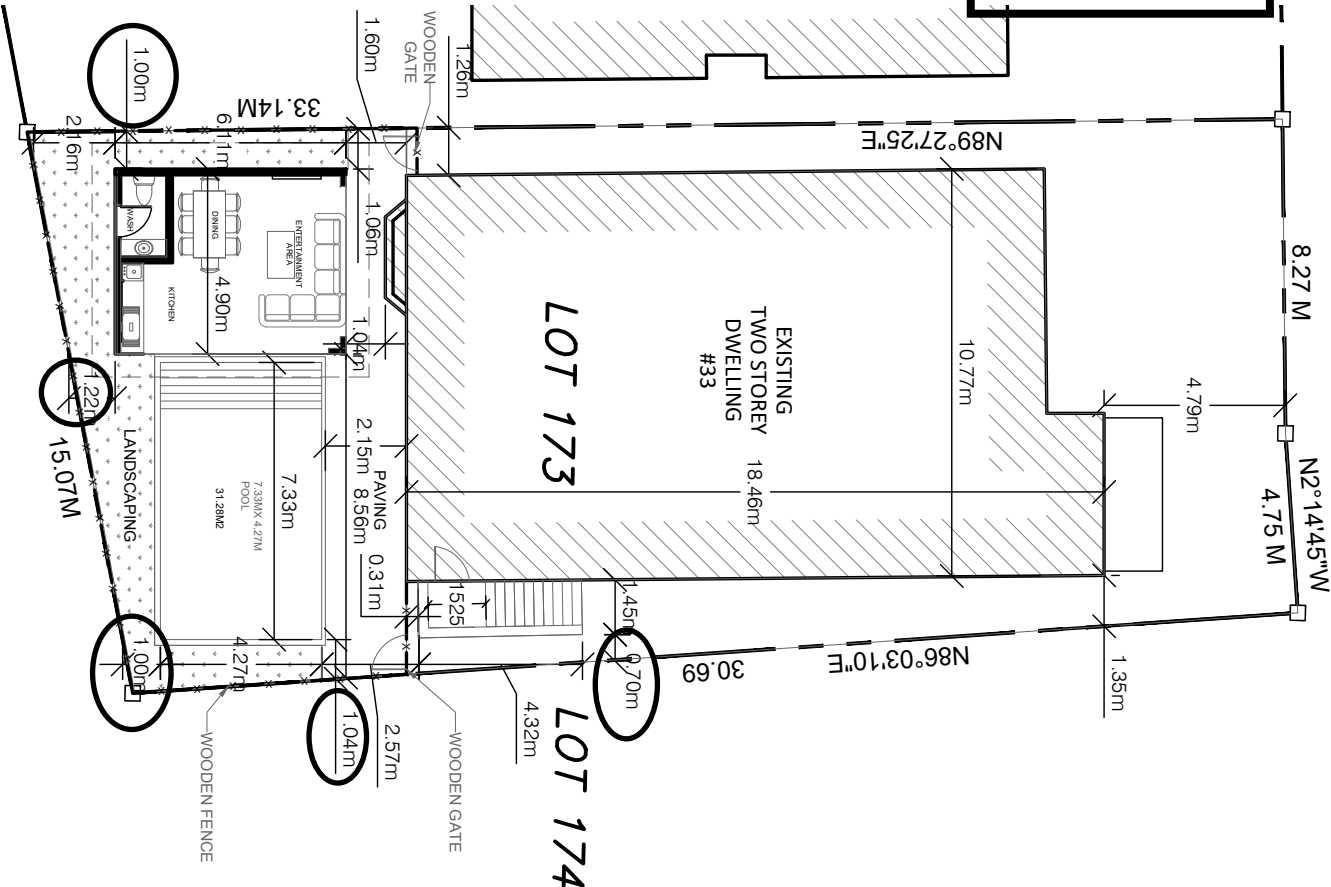


Major Mackenzie Drive

March 19, 2021 3:59 PM



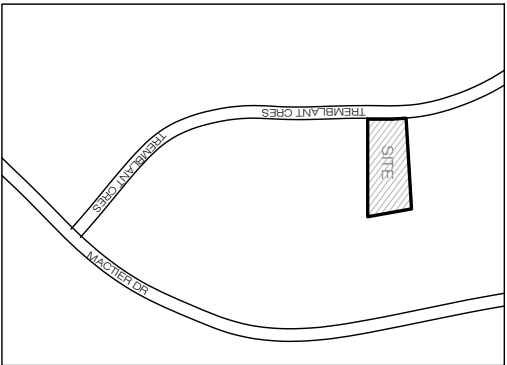
A047/21



1 SITE PLAN - OPTION 2  
A1.0 SCALE: 1:200

LOT 173  
REGISTERED PLAN #M-#### - PIN ##### - #### (LT)

SITE DEVELOPMENT			
ZONING		R03	
LOT AREA	m2	SQ/FT	
TOTAL LOT AREA	447.60 m2	4817.97 SQ/FT	
HOUSE AREA	m2	SQ/FT	
FOOTPRINT HOUSE	196.00 m2	2109.74 SQ/FT	
PROPOSED CABANA	30.43 m2	327.55 SQ/FT	
LOT COVERAGE	BY-LAW	PROVIDED	
EXISTING HOUSE	-	43.79%	
PROPOSED CABANA	-	6.80%	
COVERAGE (BY-LAW)	35 %	50.59%	
AVERAGE ELEVATION		-0.938	
ACCESSORY HEIGHT	BY-LAW	PROVIDED	
CABANA HEIGHT	4.5M MAX	4.5M	
SETBACKS	BY-LAW	PROVIDED	
POOL			
FRONT SETBACK	N/A	N/A	
REAR SETBACK (25 % of lot depth)	1.5m	0.91m	
RIGHT SIDE SETBACK	0.6m	1.04m	
LEFT SIDE SETBACK	1.5m	6.18m	
CABANA			
FRONT SETBACK	9.00 m	7.84 m	
REAR SETBACK (25 % of lot depth)	7.50 m	1.20 m	
RIGHT SIDE SETBACK	0.60 m	8.56 m	
LEFT SIDE SETBACK	1.20 m	0.92 m	
LANDSCAPE AREA	BY-LAW	PROVIDED	
REAR YARD AREA	127.00 m2	100.00 %	
SOFT LANDSCAPE AREA	33.00 m2	25.98 %	
HARD LANDSCAPE AREA	-	94.00 m2 74.02 %	



2 KEY PLAN  
A1.0 SCALE: 1:1000

NOTES:

S.# : DENOTES SETBACK REFERENCE NUMBER

L.S. : DENOTES LEFT SETBACK

R.S. : DENOTES RIGHT SETBACK

S.P. : DENOTES SIDE SETBACK

H.P. : DENOTES HIGHEST POINT

F.F.E. : DENOTES FINISHED FLOOR ELEVATION

T.F.W. : DENOTES TOP OF FOUNDATION WALL

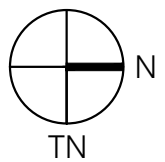
T.B.F. : DENOTES TOP OF BASEMENT SLAB

U.S.F. : DENOTES UNDER SIDE FOOTING

T.O.W. : DENOTES TOP OF WALL

LEGEND	
[779.00]	PROPOSED FIN. GRADE
+ 0.00	EXISTING GRADE
▲	MAN DOOR LOCATIONS
▲	DRIVE-IN GARAGE
■	CATCH BASIN
●	C.B. M.H.
●	CATCH BASIN MANHOLE
●	SANITARY MANHOLE
●	STORM SEWER/MANHOLE
⬢	FIRE HYDRANT
■	EXISTING DWELLING
■	EXISTING NEIGHBORS BUILDINGS
■	EXISTING INTERLOCKING PAVERS
■	EXISTING EXTERIOR CONCRETE FIN
■	EXISTING SOFT LANDSCAPE
■	NEW PROPOSED SOFT LANDSCAPE

RECEIVED  
By RECEIVED at 10:58 am, Mar 23, 2021



REVISIONS	
No.	DESCRIPTION
ISSUED FOR CONSTRUCTION	
ISSUED FOR BID	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR SITE PLAN APPROVAL	
SUBMITTALS	

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER. DO NOT SCALE DRAWINGS.

**FAUSTO CORTIESTE**  
A R C H I T E C T S

3590 RUTHERFORD RD. UNIT 7  
VAUGHAN, ONTARIO, L4H 3T8  
416-806-7000  
FCORTIESTE@FCARCHITECTS.CA

DRAWING: NEW CABANA, POOL, WALKOUT AT 33 Tremblant Cres CITY OF VAUGHAN

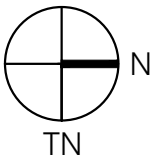
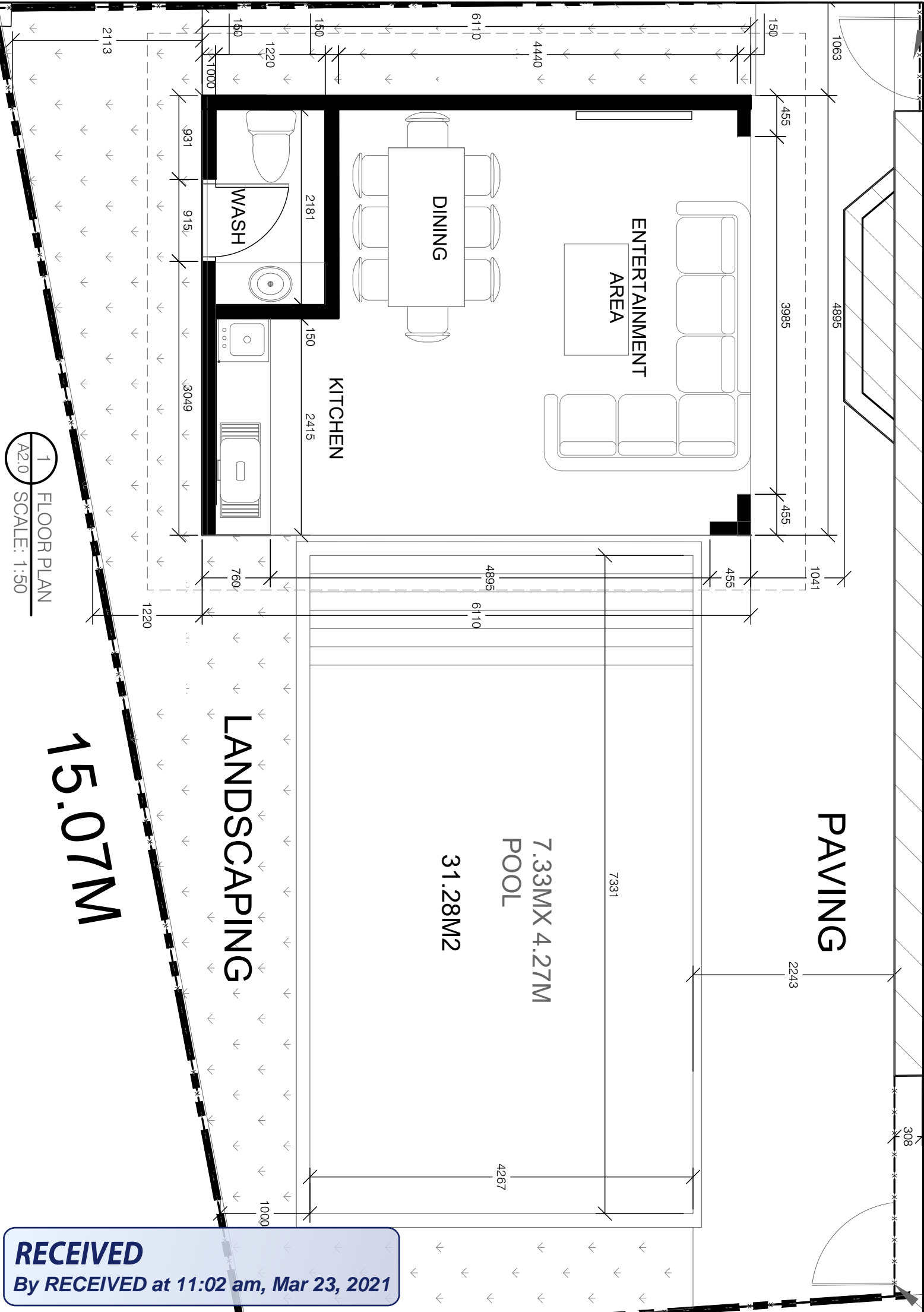
DATE: 04/07/2019

SCALE: AS NOTED

DRAWN BY: F.C.

PROJECT No.: A1.0

DRAWING No.: A1.0



No.	DESCRIPTION	DATE			
REVISIONS					

ISSUED FOR CONSTRUCTION					
ISSUED FOR BID					
ISSUED FOR BUILDING PERMIT					
ISSUED FOR SITE PLAN APPROVAL					

SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER. DO NOT SCALE DRAWINGS.



**FAUSTO CORTESE**  
ARCHITECTS  
3590 RUTHERFORD RD. UNIT 7  
VAUGHAN, ONTARIO, L4H 3T8  
416-806-7000  
FCORTSE@FCARCHITECTS.CA

DRAWING:  
NEW  
CABANA, POOL, WALKOUT  
AT  
33 Tremblant Cres  
CITY OF VAUGHAN

DRAWING:		FLOOR PLAN	
PLOTTED:	N/A	PROJECT No.:	
DATE:	04/07/2019		
SCALE:	AS NOTED	DRAWING No.:	
DRAWN BY:	REVIEWED BY:		
F.C.			A2.0

**RECEIVED**  
By RECEIVED at 11:02 am, Mar 23, 2021

1 FLOOR PLAN  
A2.0 SCALE: 1:50

15.07M

LANDSCAPING

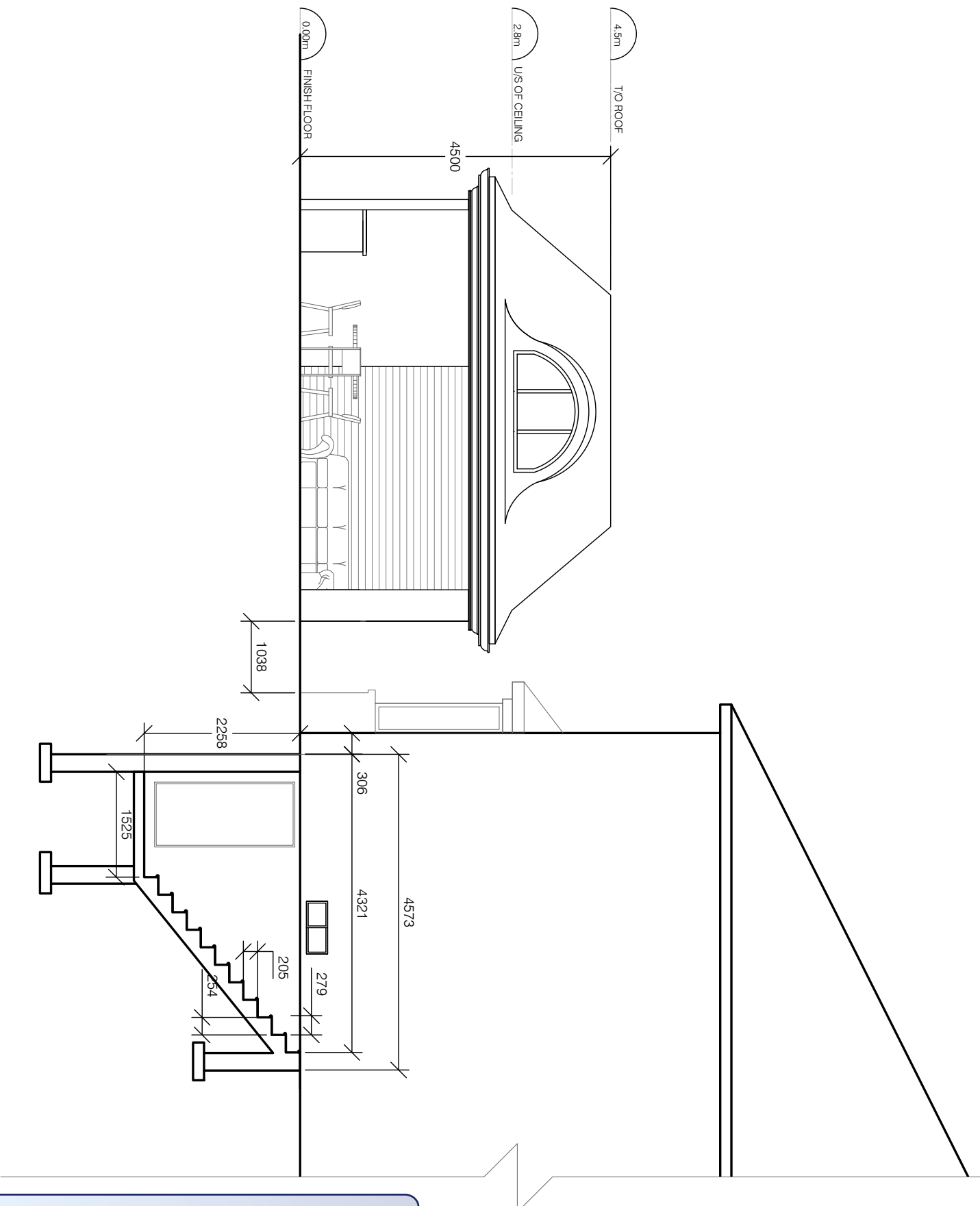
PAVING

7.33MX 4.27M  
POOL

31.28M2



1	EAST ELEVATION
A2.1	SCALE: 1:75



**RECEIVED**

**By RECEIVED at 11:02 am, Mar 23, 2021**

No.	DESCRIPTION	REVISIONS	DATE
1	ISSUED FOR		27/JAN/98

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL

## SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

DO NOT SCALE DRAWINGS.

**FAUSTO CORTESE**  
ARCHITECTS

3590 RUTHERFORD RD. UNIT 7  
VAUGHAN, ONTARIO, L4H 3T8  
416-806-7000  
FCORTI@FCARCHITECTS.CA

**DRAWING:**

UNAWAKING.  
NEW  
CABANA, POOL, WALKOUT  
AT  
33 TREMBLANT CRES

CITY OF VAUGHAN

**DRAWING:**

EAST ELEVATION

PLOTTED: N/A

DATE:	PROJECT No:
-------	-------------

04/07/2019	####
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SCALE: DRAWING No: \_\_\_\_\_

DRAWN BY:	REVIEWED BY:
-----------	--------------

## A2.2



# GRADING AND DRAINAGE NOTES

1. Standard drawing and lot grading criteria of the City of Vaughan and the regional Municipality of York constitute part of the project drawings for the subdivision.
2. Minimum gradient of grass swales along side and rear lot lines shall be 2.0%. The proposed elevation of the side yard swale shall be a minimum of 0.15 meters below the finished grade at the building line.
3. Take up rear yard grade difference using slopes between 2.0% and 5.0% for a maximum of 75% of the rear yard length and slopes of 3:1 to the rear lot line. Use retaining walls if grade difference is more than 0.6 meters. Construct retaining wall within rear lot line.
4. Roof Leaders shall not be connected to the storm sewer but shall discharge to the ground onto a splash pad and shall drain to the front of the lot. Roof downspouts are not permitted at the rear of the house.
5. Footings constructed next to a catchbasin lead pipe or other municipal services shall be installed below the lead pipe excavation. Footings must be constructed on undisturbed soil. Soil consultant's verification required.
6. Edge of driveways are to be a minimum of 1.2 meters clearance from edge of street catchbasin and street furniture. The builder is to verify the locations and to inform the engineer if this dimension can not be maintained prior to excavation for the footings. Builder to relocate at builder's expense.
7. If the distance between the walls of adjacent units is less than 1.8 meters a side yard drainage swale shall be constructed and surfaced with 0.13m limestone screening, overlaid by a patio slab walkway.
8. Brick line shall be a minimum of 0.15 meters above sod elevation.
9. All fences abutting public lands and or existing properties shall be constructed with material (including foundations) completely on private lands and totally clear of any 0.30m reserves.
10. Soil consultant's verification is required for footings constructed on engineered fill lots.
11. In lots with rear lot catchbasins, the minimum side yard width shall be 1.2m along the catchbasin lead.
12. Builder to stake out curb depressions on all lots.
13. The builder must verify the existing sanitary and storm lateral sewer inverts and to inform the engineer if the minimum 2.0% slope cannot be maintained prior to placing of concrete footings.

## CONSULTANTS CERTIFICATION

- I have reviewed the site and grading plan for the proposed building to be constructed and hereby certify that:
1. The proposed grading and appurtenant drainage works comply with sound engineering principles.
  2. The proposed grading is in conformity with the grading plan approved for this subdivision and will not adversely affect adjacent lands.
  3. The proposed building is compatible with the proposed grading.
  4. The builder is responsible for relocation of all utilities on the site.
  5. Roof leader downspouts must drain to front of house.
  6. Water service to be located in the grassed portion of the yard.

Schaeffers and Associates

Date

MAR 30 2016

16-370EP

OFFICE COPY

All site plans and construction to comply with City of Vaughan Lot Grading Criteria.

FOR OFFICE USE ONLY

CITY OF VAUGHAN  
DEVELOPMENT / TRANSPORTATION  
ENGINEERING DEPARTMENT  
PLANS EXAMINATION

RECEIVED MAR 31 2016

DATE REVIEWED APR 27/16  
ZONING GRADING  
APR 16/16  
MC

Notwithstanding a building permit has been issued, construction of a building, construction thereof shall not proceed above grade until the consultant has certified that the building is proceeding in accordance with the approved plans and that the construction at the top of foundation complies with the approved elevation shown on the plan for which the "Building Permit" was issued.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

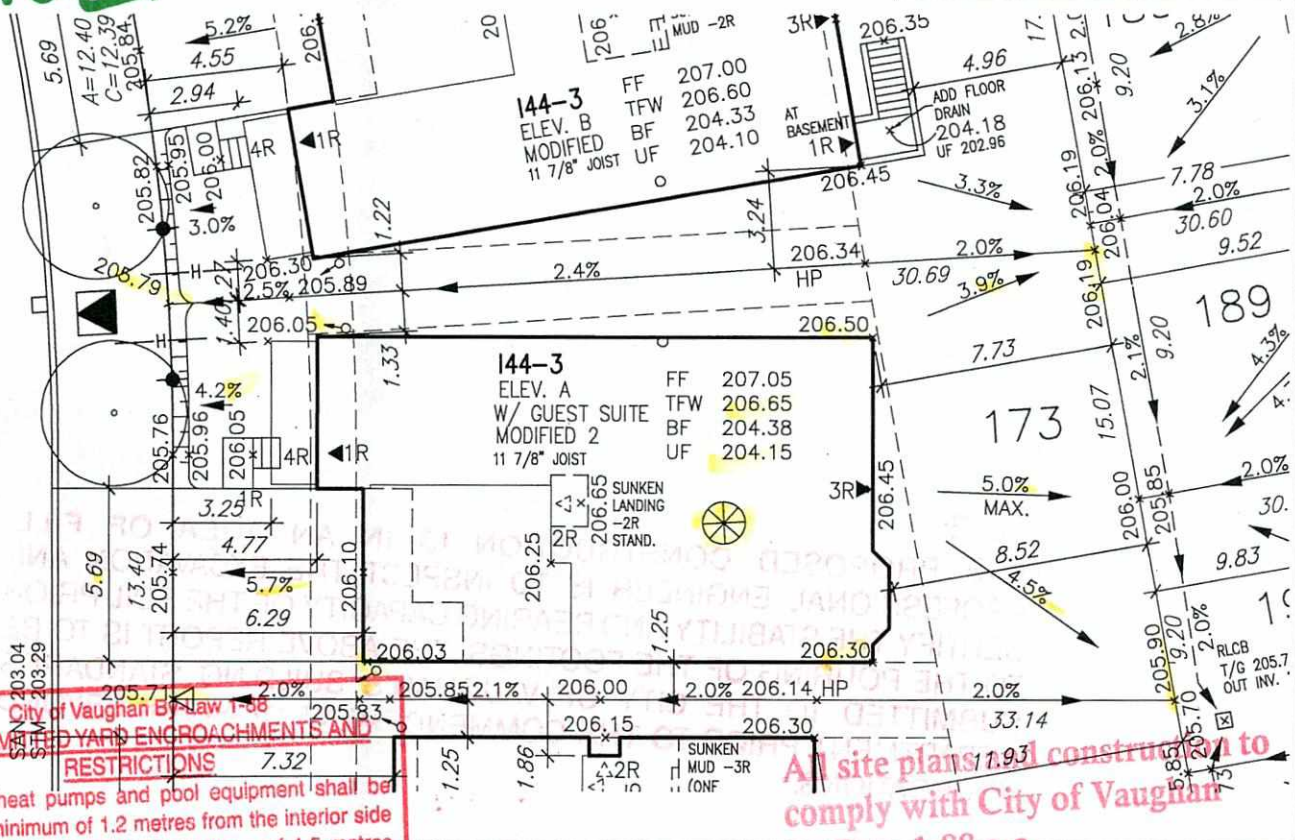
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL

MAR 23 2016

John A. Williams Limited, Architect

TREMBLANT  
CRESCENT



<ul style="list-style-type: none"> <li>PROPOSED VALVE</li> <li>LIGHT POLE</li> <li>HYDRANT</li> <li>TRANSFORMER</li> <li>WATER SERVICE</li> <li>DOUBLE STM./SAN. CONNECTION</li> <li>SINGLE STM./SAN. CONNECTION</li> <li>CATCH BASIN</li> <li>CABLE TELEVISION PEDESTAL</li> <li>BELL PEDESTAL</li> </ul>	<ul style="list-style-type: none"> <li>FINISHED FLOOR ELEVATION</li> <li>UNDERSIDE FOOTING ELEVATION</li> <li>FIN. BASEMENT FLOOR SLAB</li> <li>TOP OF FOUNDATION WALL</li> <li>UNDERSIDE FOOTING AT REAR</li> <li>UNDERSIDE FOOTING AT FRONT</li> <li>UNDERSIDE FOOTING AT SIDE</li> <li>W.O.D. WALK OUT DECK</li> <li>W.O.B. WALK OUT BASEMENT</li> <li>REVERSE PLAN</li> </ul>	<ul style="list-style-type: none"> <li>STREET SIGN</li> <li>SUPER MAIL BOX</li> <li>RETAINING WALL</li> <li>CHAIN LINK FENCE</li> <li>ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)</li> <li>WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)</li> <li>HYDRO SERVICE LATERAL</li> <li>SWALE DIRECTION</li> <li>EMBANKMENT</li> </ul>	<ul style="list-style-type: none"> <li>PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA</li> <li>THIS LOT CONTAINS ENGINEERED FILL</li> <li>AIR CONDITIONER REQUIRED</li> <li>RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)</li> <li>SIDE WINDOW LOCATION</li> <li>EXTERIOR DOOR LOCATION</li> <li>REDUCE SIDE YARD</li> </ul>
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink 24488  
name signature BCIN  
registration information VA3 Design Inc. 42658

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.  
Builder to verify service connection elevations prior to constructing foundations.

VA3  
DESIGN

300A Wilson Avenue  
Toronto ON M3H 1S8  
t 416.630.2255 f 416.630.4782  
va3design.com

FIELDGATE HOMES

project name NASHVILLE HEIGHTS PHASE 3 municipality KLEINBURG, ONT.

date NOVEMBER 2015

drawn by STEVE SOSTARIC

checked by

scale

1:250

STEVE - H:\ARCHIVE\WORKING\2014\14041\FIE\SITE\printing.dwg - Wed - Mar 23 2016 - 2:22 PM

SITE PLAN

file name

PRINTING

drawing no.

1

lot/block no. 173

registered plan no. 14015



**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None**

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections  
Region of York – No concerns or objections

## COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Attwala, Pravina

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**Subject:** FW: A047/21 - REQUEST FOR COMMENTS

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**From:** Development Services <developmentservices@york.ca>

**Sent:** March-09-21 1:35 PM

**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A047/21 - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the above minor variance application and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [Gabrielle.hurst@york.ca](mailto:Gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)