



File: A156/20

Applicant: Jason Gabriele

Address: 186 Pine Valley Crescent, Woodbridge

Agent: Francesco Di Sarra

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment <input checked="" type="checkbox"/> Negative Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Building Standards		
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning		
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Thursday, April 8, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance
Application

Agenda Item: 5

A156/20

Ward: 3

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, April 8, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Jason Gabriele

Agent: Francesco Di Sarra

Property: 186 Pine Valley Crescent, Woodbridge

Zoning: The subject lands are zoned RR and subject to the provisions of Exception under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed detached garage (with underground garage), a covered porch/patio and a swimming pool.

The proposed detached garage is located in the easterly side yard and the covered porch/patio and swimming pool are to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum side yard setback of 4.5 m is required.	1. To permit a minimum side yard setback of 2.37 m for the proposed accessory structure (detached Garage).
2. A maximum lot coverage of 10% is permitted.	2. To permit a maximum lot coverage of 17.6% (Dwelling 14.4%, Covered Porch 1.9% and Detached Garage 1.3%)
3. A maximum height of 4.5m is permitted.	3. To permit a maximum height of 6.85m 5.50m for the proposed accessory structure (detached Garage). *Applicant has updated building height to address planning comments, updates are subject to zoning review.
4. A maximum height of 3.0m to the nearest part of the roof is permitted.	4. To permit a maximum height of 4.15m to the nearest part of the roof.
5. A swimming pool shall be constructed only in the rear yard.	5. To permit construction of a swimming pool which is not located in the rear yard.

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on March 24, 2021

Applicant confirmed posting of signage on March 25, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1990
Covered Porch	TBC
Garage	TBC
Pool	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s):

1. A minimum side yard setback of 4.5m is required and we are requesting a side yard setback of 2.37m.
2. Allowed lot coverage is 10%, the existing coverage is 14.4% and we are proposing additional structures of a detached garage (1.3%) and a covered porch (1.9%) which increases the existing lot coverage by 3.2% and reaches 17.6%.
3. The maximum height of 4.5m is permitted for an accessory structure and we are proposing 5.5m height.
4. The maximum height of 3.0m to the nearest part of the roof is permitted and we are proposing 4.15m.
5. A swimming pool shall be constructed only in the rear yard and we are requesting to construct a pool in the area which is not the rear yard.

Adjournment Request: The applicant was provided an opportunity to adjourn the application prior to the issuance of public notice to permit time to address the following planning comments:

The Development Planning Department is not in position to support to support a maximum height of 6.85m (variance 3) for an accessory structure (detached garage). We would like to work with you but DP recognizes accessory structures over 5.5m are typically not supported especially when it does not comply with the interior yard setback.

DP staff recommends you slightly reduce the height of the nearest part of the roof (variance 4) to maintain the general intent and purpose of Zoning By-law 1-88.

No concerns with respect to variances 1,2, and 5.

****Applicant has updated variance #3 as per above chart. Revisions are subject to zoning review.**

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Under Review

Development Engineering:

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for the pool permit.

The Development Engineering (DE) Department does not object to variance application A156/20 subject to the following condition(s):

The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

Parks Development - Forestry:

Prior to permit issuance, Forestry staff shall inspect and approve the tree protection (Hoarding). Tree protection shall be installed to the satisfaction of the Forestry division.

Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

Arborist recommendations are to be followed as outlined in the Arborist Report.

Forestry will only accept cash-in-lieu tree replacement compensation for any proposed removals.

Recommend condition of approval:

Applicant/owner shall provide an Arborist Report and obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to building permit approval.

By-Law and Compliance, Licensing and Permit Services:

No comments to date.

Financial Planning and Development Finance:

No comment, no concerns.

Fire Department:

No comments to date.

Schedule A – Plans & Sketches**Schedule B – Public Correspondence**

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required:

	Department/Agency	Condition
1	Committee of Adjustment Christine Vigneault 905-832-8585 x 8332 christine.vigneault@vaughan.ca	Applicant to provide payment of Adjournment Fee (see Fee Schedule) prior to the rescheduling of Application A156/20, if required.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Planning Roberto Simbana 905-832-8585 x 8810 roberto.simbana@vaughan.ca	Application under Review
2	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.
3	Parks, Forestry and Horticulture Operations Zachary Guizzetti 905-832-8585 x3614 Zachary.Guizzetti@vaughan.ca	Applicant/owner shall provide an Arborist Report and obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to building permit approval.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

Adriana MacPherson

T 905 832 8585 Extension 8360

E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

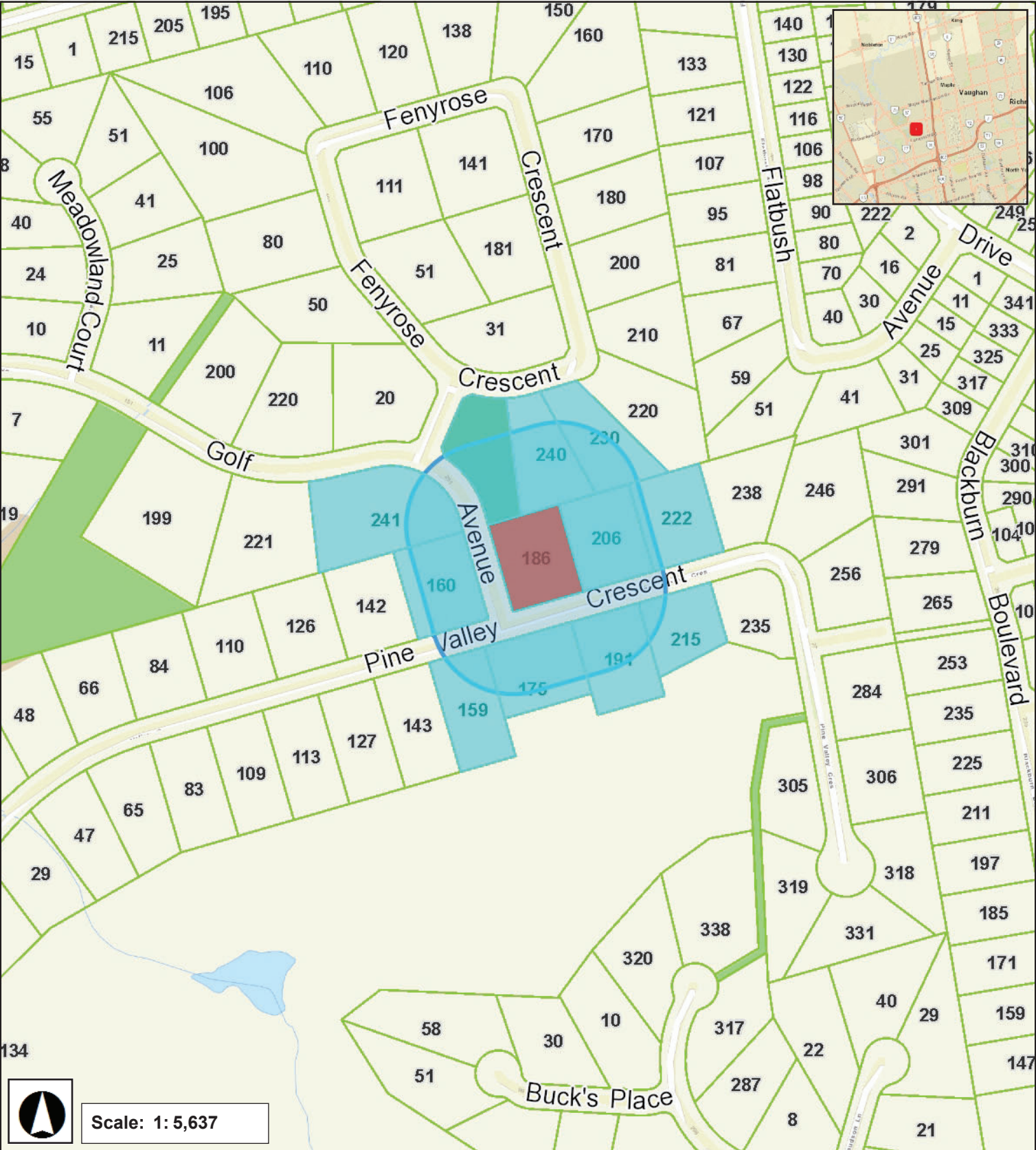
Location Map
Plans & Sketches

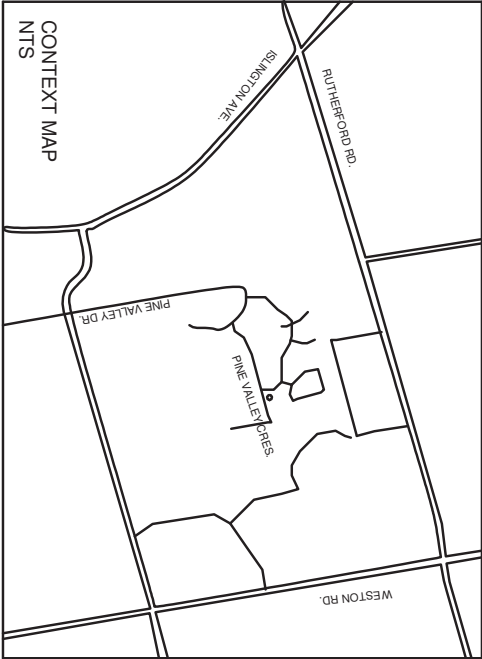
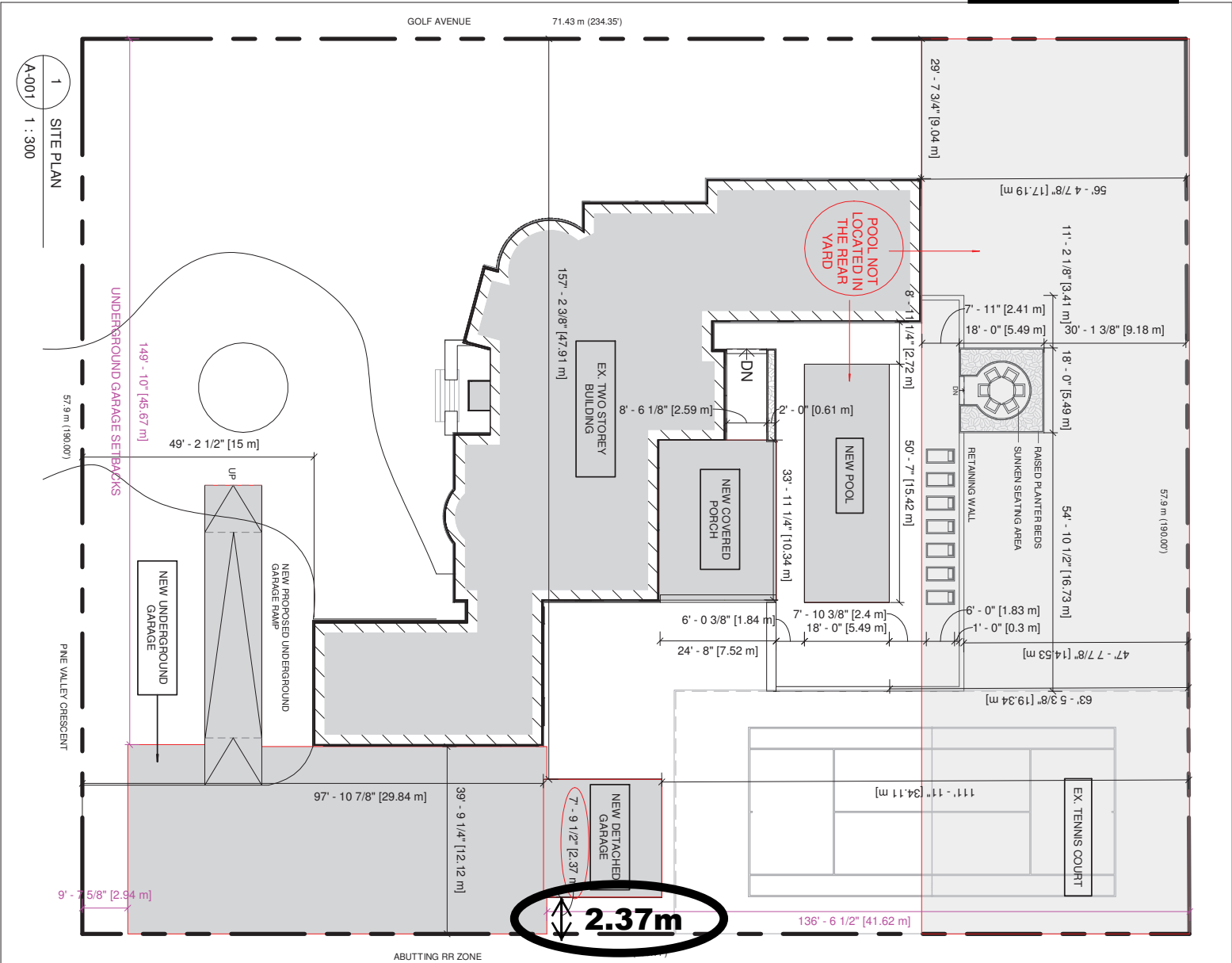


A156/20 - Notification Map

186 Pine Valley Crescent, Woodbridge

Rutherford Road





REAR YARD LANDSCAPE CALCULATIONS		
AREA	PERCENTAGE	
HARD LANDSCAPING	356.8 m²	35.5%
SOFT LANDSCAPING	648.3 m²	64.5%

SITE STATISTICS - Schedule "A"									
ZONING DESIGNATION		LOT NUMBER		PLAN NUMBER					
RR									
LOT AREA		LOT FRONTAGE		LOT DEPTH					
44598.6 FT²		57.9 M		71.66 M					
LOT COVERAGE (BUILDING ONLY)		MAX. ALLOWED		EXISTING		PROPOSED		DIFFERENCE BETWEEN PROPOSED AND ALLOWED	
		10%	4459.9 ft² 414.2 m²	14.4%	6131 ft² 597 m²	14.4%	6431 ft² 597 m²		
DETACHED GARAGE COVERAGE		N/A		N/A		1.3%		55.8 m²	
PATIO COVERAGE		N/A		N/A		1.9%		77.8 m²	
LOT COVERAGE (TOTAL)		10%		4459.9 ft² 414.2 m²		14.4%		6131 ft² 597 m²	
MAX ALLOWABLE SQUARE FOOTAGE FOR ACCESSORY STRUCTURE		67 m²		N/A		17.6%		786.1 m² 58.5 m²	
NO. OF STOREYS		N/A		2		2		N/A	
OVERALL HEIGHT		9.5 M		8.86 M		8.86 M		NOT EXCEED	
HEIGHT OF ACCESSORY STRUCTURE		4.5 M		N/A		5.50 M		2.35 M	
HEIGHT TO THE NEAREST PART OF THE ROOF		3.0 M		N/A		4.15 M		1.15 M	
DWELLING WIDTH		N/A		36.6 M		45.9 M		N/A	
DWELLING LENGTH		N/A		39.46 M		39.46 M		N/A	
FRONT YARD SETBACK (S)		MIN. ALLOWED		EXISTING		PROPOSED		DIFFERENCE BETWEEN ALLOWED AND PROPOSED	
		15 M		15 M		15 M		NOT EXCEED	
REAR YARD SETBACK (N)		15 M		17.2 M		17.2 M		NOT EXCEED	
INTERIOR SIDE YARD SETBACK (E)		4.5 M		12.19 M		2.37 M		2.13 M	
INTERIOR SIDE YARD SETBACK (W)		9 M		9.11 M		9.11 M		NOT EXCEED	
FLOOR STATISTICS									
BASEMENT		N/A		4277 SF		4277 SF			
GARAGE		N/A		1225 SF		1747 SF			
GROUND FLOOR		N/A		4896 SF		4896 SF			
SECOND FLOOR		N/A		4150 SF		4150 SF			

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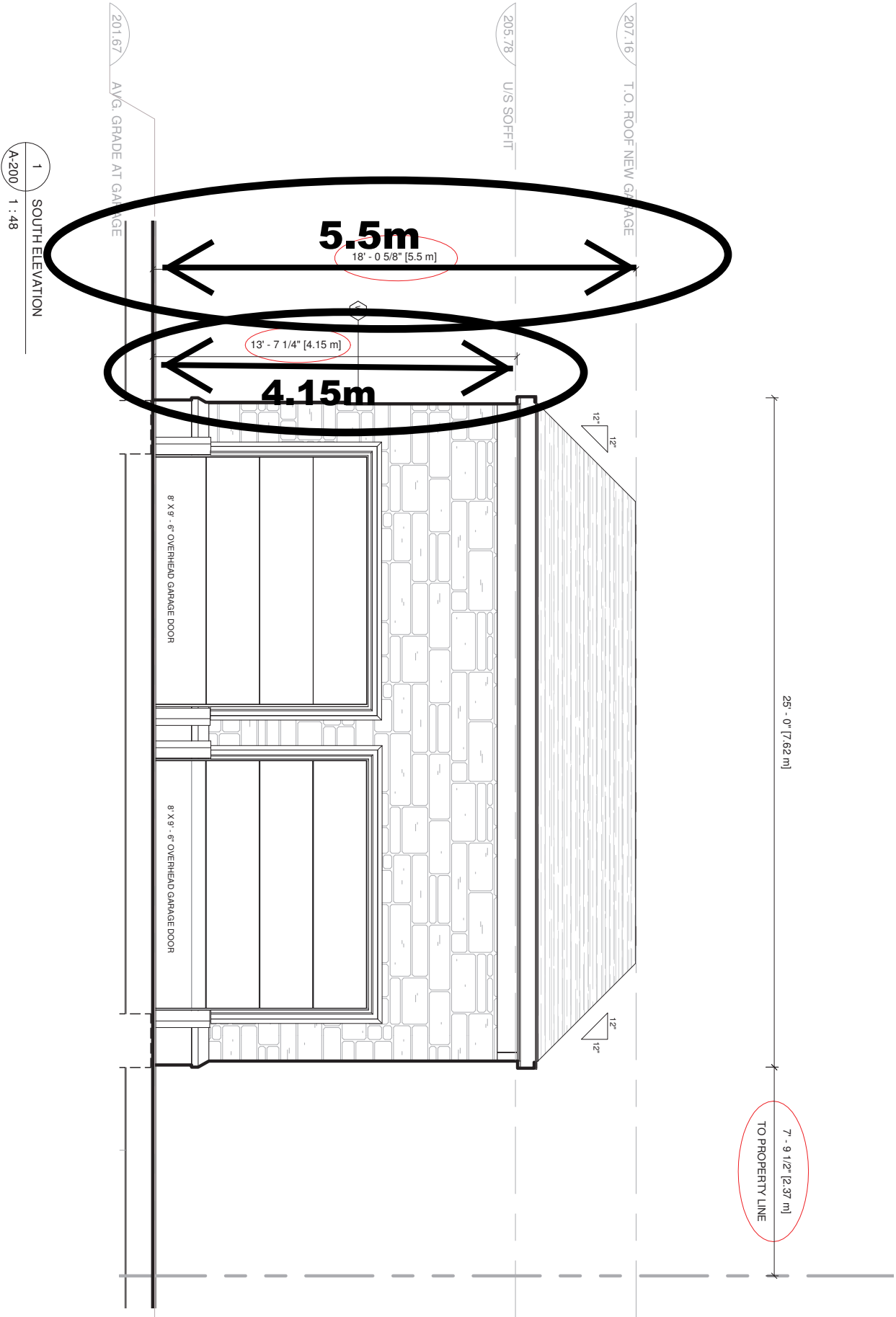
186 PINE VALLEY CRES
VAUGHAN, ON

PROJECT MANAGER: FD
DRAWN: MN
SCALE: As indicated

SITE PLAN

A-001

2021-03-24 1:43:49 PM



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REV	DATE	ISSUED FOR
1	2020.12.14	ISSUED FOR C OF A
2	2021.01.27	ISSUED FOR C OF A



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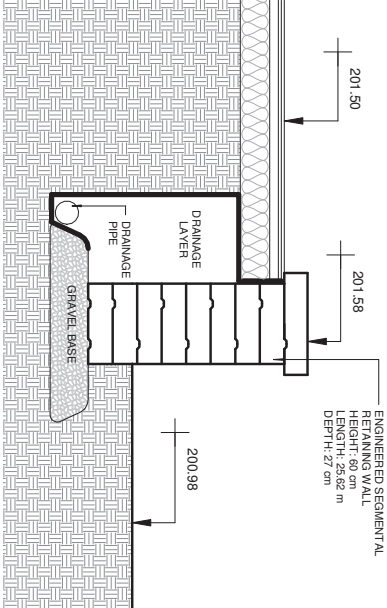
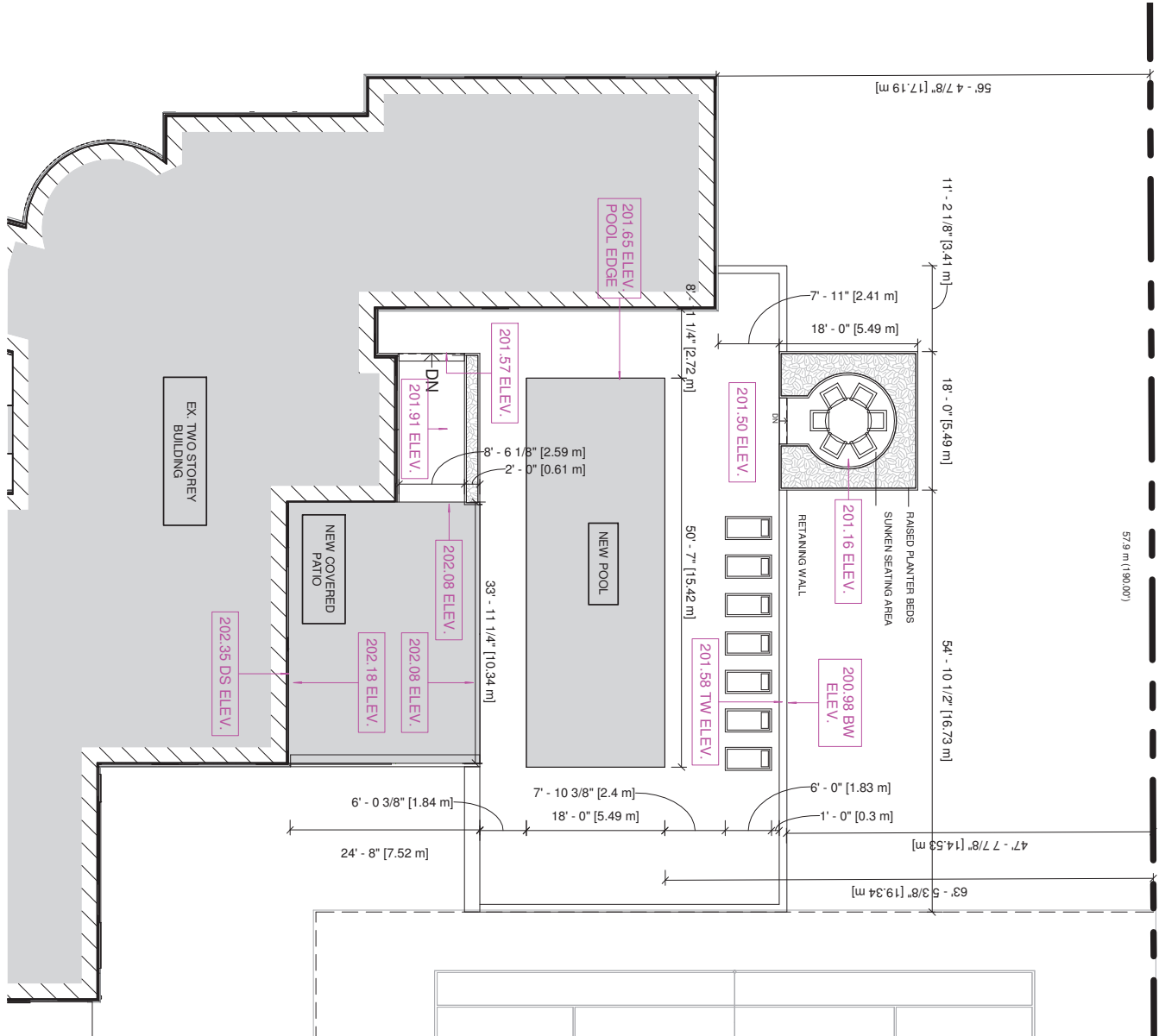
186 PINE VALLEY CRES
VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	MN
SCALE	1 : 48

DETACHED GARAGE -
SOUTH ELEVATION

A-200

2021-03-24 1:43:50 PM



2 RETAINING WALL SECTION
A-002 1 : 20

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VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	Author
SCALE	As indicated

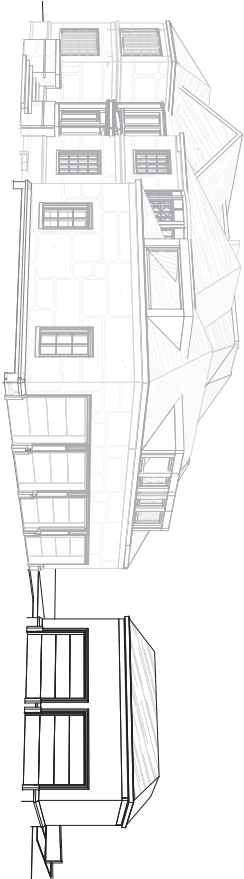
SITE PLAN - DETAILS

A-002

2021-03-24 1:43:49 PM

186 PINE VALLEY CRES.

ADDITIONAL DETACHED GARAGE, AN UNDERGROUND GARAGE, A COVERED PORCH, AND A SWIMMING POOL



PROJECT PERSONNEL

PRINCIPAL DESIGNER: FRANCESCO DI SARRA

DRAWN BY: MATTHEW NESTICO

NO.	DRAWING
**	COVER SHEET
A-000	SPEC SHEET
A-001	SITE PLAN
A-002	SITE PLAN - DETAILS
A-100	DETACHED GARAGE - PLAN
A-101	DETACHED GARAGE - DRIVEWAY PLAN
A-200	DETACHED GARAGE - SOUTH ELEVATION
A-201	DETACHED GARAGE - NORTH ELEVATION
A-202	DETACHED GARAGE - EAST ELEVATION
A-203	DETACHED GARAGE - WEST ELEVATION
A-300	UNDERGROUND GARAGE - PLAN
A-301	UNDERGROUND GARAGE - SECTIONS
A-400	COVERED PATIO - ELEVATION

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NO	DATE	ISSUED FOR
1	2020.12.14	ISSUED FOR C OF A
2	2021.01.27	ISSUED FOR C OF A

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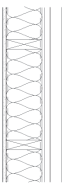
PROJECT MANAGER	FD
DRAWN	MN
SCALE	
COVER SHEET	
** *	

CONSTRUCTION NOTES:

(UNLESS OTHERWISE NOTED)
ALL CONSTRUCTION TO ADHERE TO THESE PLANS & SPECS & TO CONFORM TO THE OBC & ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE NOTES ARE TO BE CONSIDERED MIN. SPECS.



STONE VENEER WALL CONSTRUCTION (2 X 6)



- 90 MM (4") FACE STONE (NATURAL OR CULTURED)
- 25 MM (1") MORTAR
- 22 X 180 X 0.76 MM (7/8" X 7' X 0.039") GALVANIZED METAL TIES @ 400 MM (16") O.C. HORIZONTALLY, 600 MM (24") O.C. VERTICALLY
- APPROVED SHEATHING PAPER, 9.5 MM (3/8") EXT.
- APPROVED INSULATION
- 38 X 140 (2" X 6") STUDS @ 400 MM (16") O.C.
- RS14.23 (R24) INSUL.
- APPROVED CONT. AIR BARRIER
- 15 MM (5/8") FINISH STUCCO OR OTHER FINISH
- PROVIDE WEEP HOLES @ 800 MM (32") O.C. BOTTOM COURSE & OVER OPENINGS
- PROVIDE BASE FLASHING UP MIN. 150 MM (6") BEHIND BLOS PAPER
- FOR UNHEATED SPACES OMIT INSUL.

EXCAVATION & BACKFILL

EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY & UTILITIES.

- THE TOPSOIL & VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BLDG SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL OBSTRUCTIONS.
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS & WOOD DEBRIS SHALL BE REMOVED TO A MIN. DEPTH OF 500 MM IN EXCAVATED AREAS UNDER A BLDG. & THE CLEARANCE BTWN UNTREATED STRUCTURAL WOOD ELEMENTS & THE GROUND SHALL BE NO LESS THAN 400 MM.
- BACKFILLING SHALL BE DONE IN 150 MM (6") LAYERS. FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS & BOULDERS OVER 250 MM IN DIAMETER.

FN - FOUNDATION

ALL FOOTINGS SHALL ADHERE TO THE MIN. REQ. BELOW:

- MIN. 15 MPa POURED CONC.
- MIN. 1200 MM BELOW GRADE
- REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRAVEL
- MIN. BEARING CAPACITY OF 75 KPA OR 100 KPA FOR 1G

THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE DESIGN BEARING CAPACITY OF THE SOILS, AND OTHER NOTABLE SITE SPECIFIC CONDITIONS. THE OWNER SHALL REPORT TO THE DESIGNER ANY FINDINGS OR DISCREPANCIES.



STRIP FOOTING SUPPORTING EXTERIOR WALL - OBC 9.15.3.
ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4 KPA (50 PSF) PER FLOOR & MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9 M (16'-1").

FN - FOUNDATION WALL

REDUCTION IN FOUNDATION WALL THICKNESS

- THE FOUNDATION WALL SHALL NOT BE REDUCED TO LESS THAN 90 MM (3-1/2") THK TO A MAX. DEPTH OF 600 MM (24")
- MASONRY VENEER SHALL BE TIED TO THE FACING MATERIAL W/ METAL TIES SPACED 200 MM (8") O.C. VERTICALLY & 800 MM (38") O.C. HORIZONTALLY
- FILL SPACE BTWN WALL & FACING SOLD W/ MORTAR



CONCRETE BLOCK FOUNDATION WALL

- CONC. BLOCK WALL (12" x 8" x 8")
- BITUMINOUS DAMP PROOFING & DRAINAGE LAYER
- FILL TOP BLOCK COURSE W/ MORTAR OR CONC.
- MASONRY FOUNDATION WALLS SHALL BE PARGED WITH MORTAR OR CONCRETE OVER THE FOOTING PRIOR TO DAMP PROOFING
- BLOCK LOK EVERY 2 COURSES

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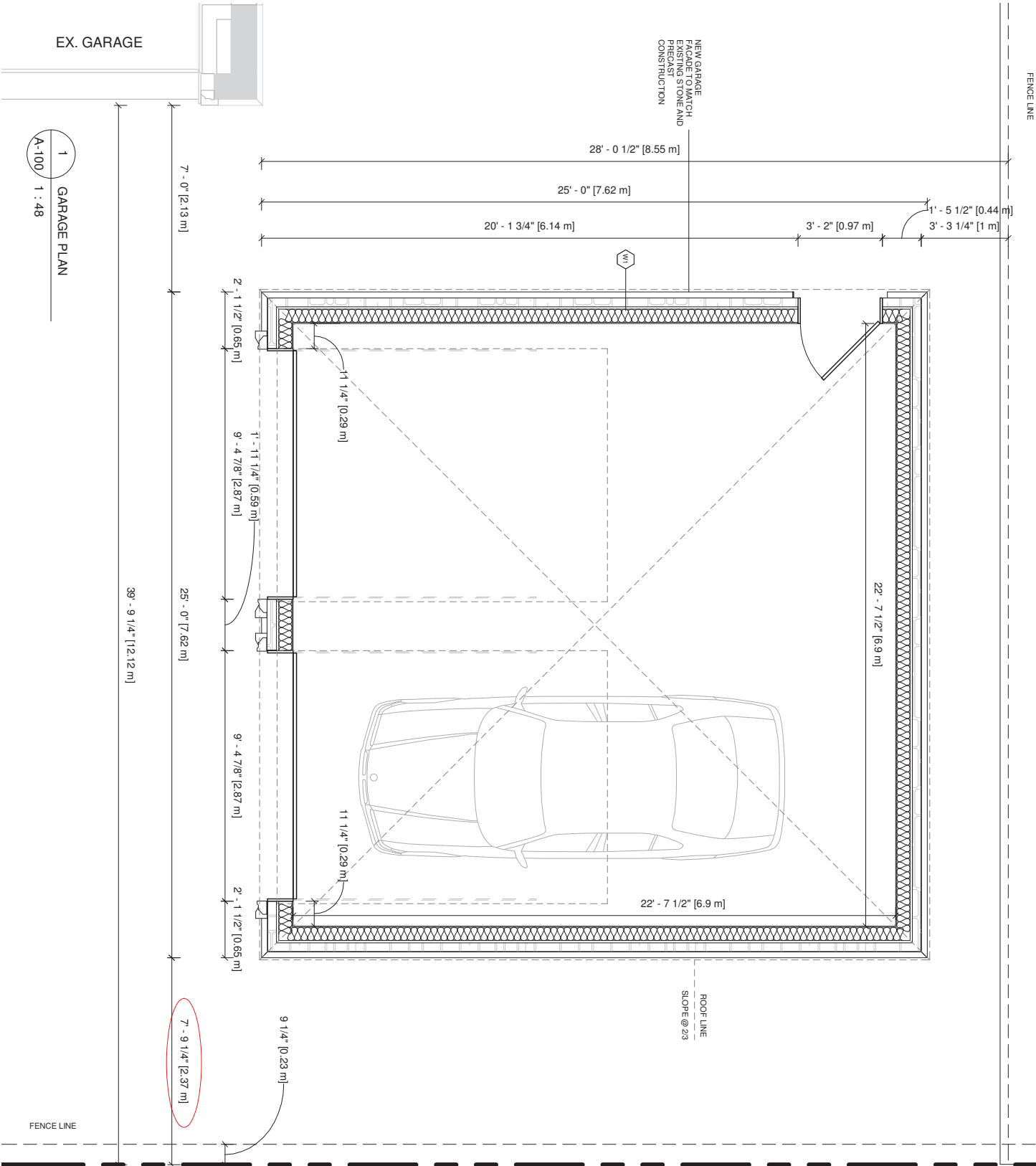
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PROJECT MANAGER	FD
DRAWN	MN
SCALE	

SPEC SHEET

A-000

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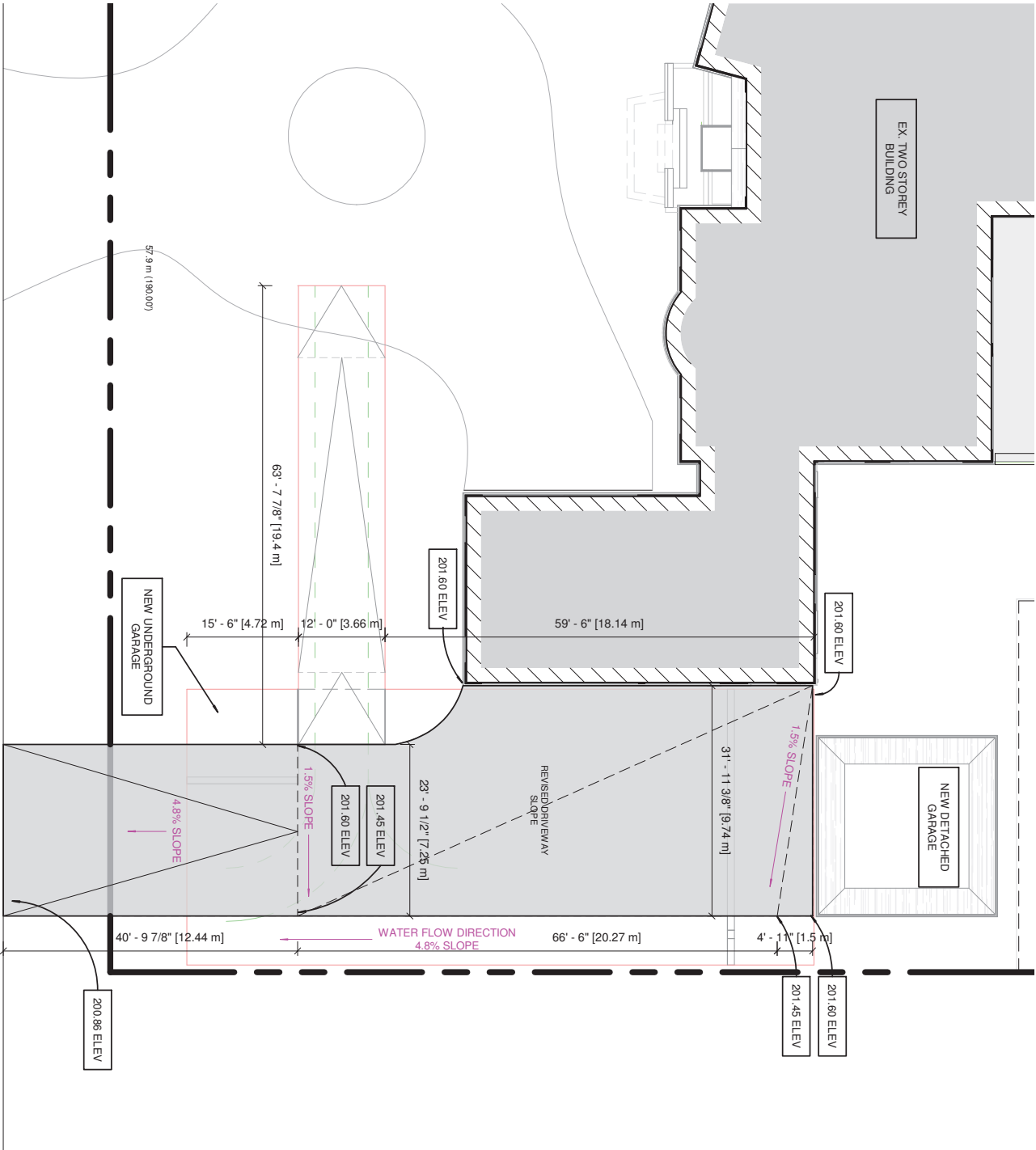
186 PINE VALLEY CRES
VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	Author
SCALE	1 : 48

DETACHED GARAGE - PLAN

A-100

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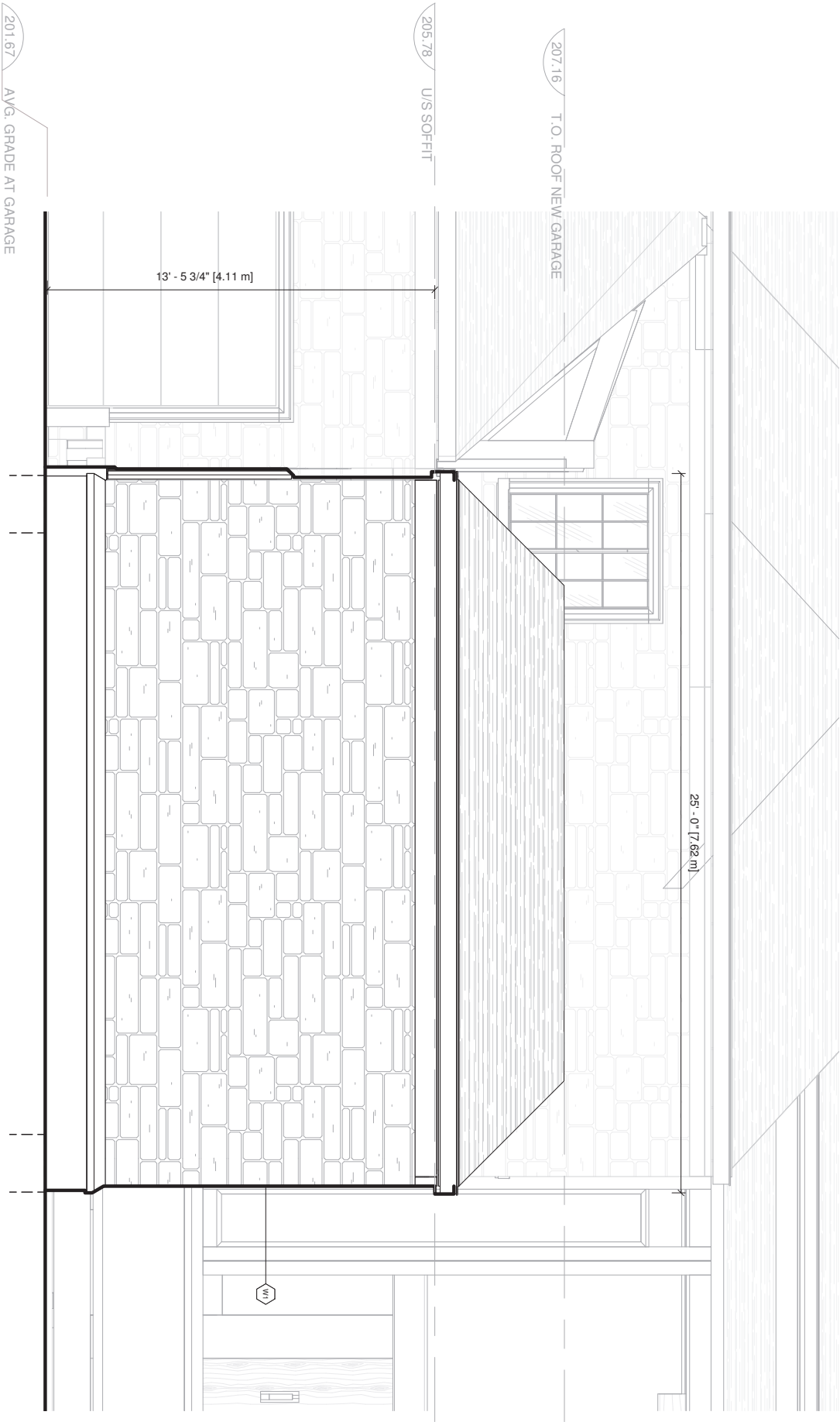
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VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	MN
SCALE	1 : 200
DETACHED GARAGE - DRIVEWAY PLAN	

A-101

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PROJECT MANAGER	FD
DRAWN	MN
SCALE	1 : 48

DETACHED GARAGE - EAST
ELEVATION

A-202

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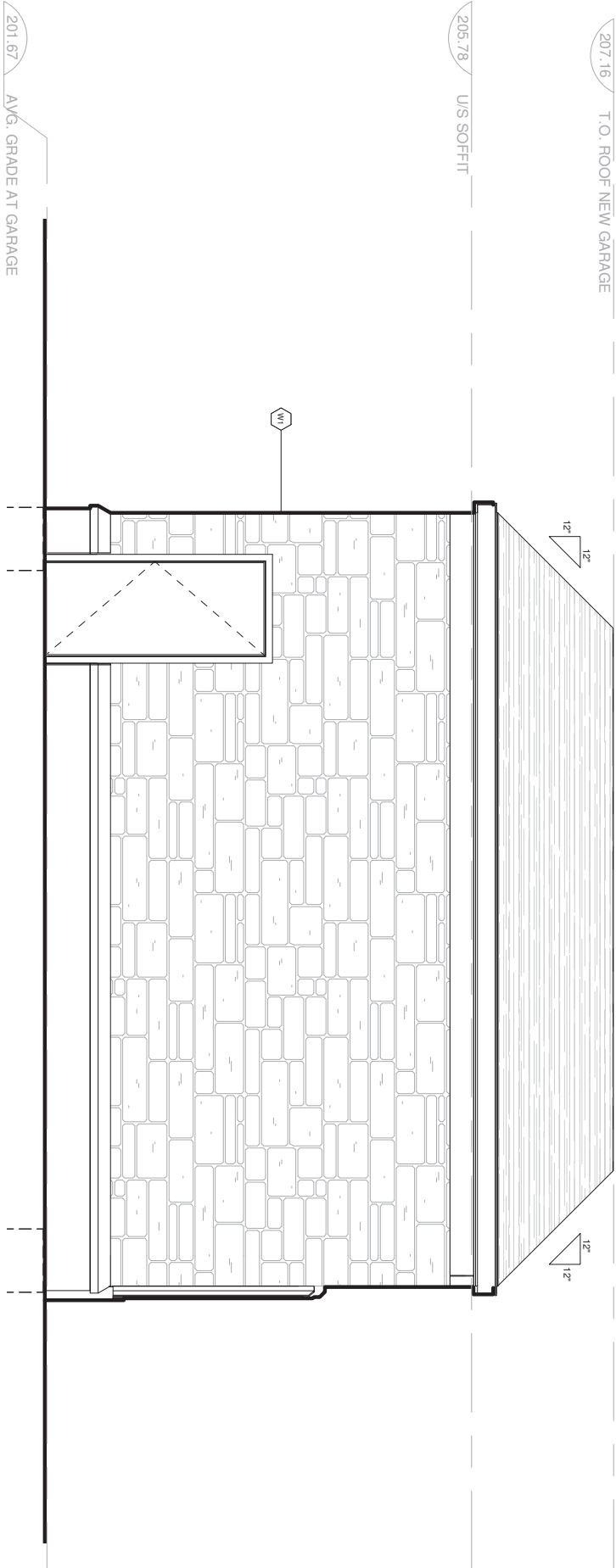
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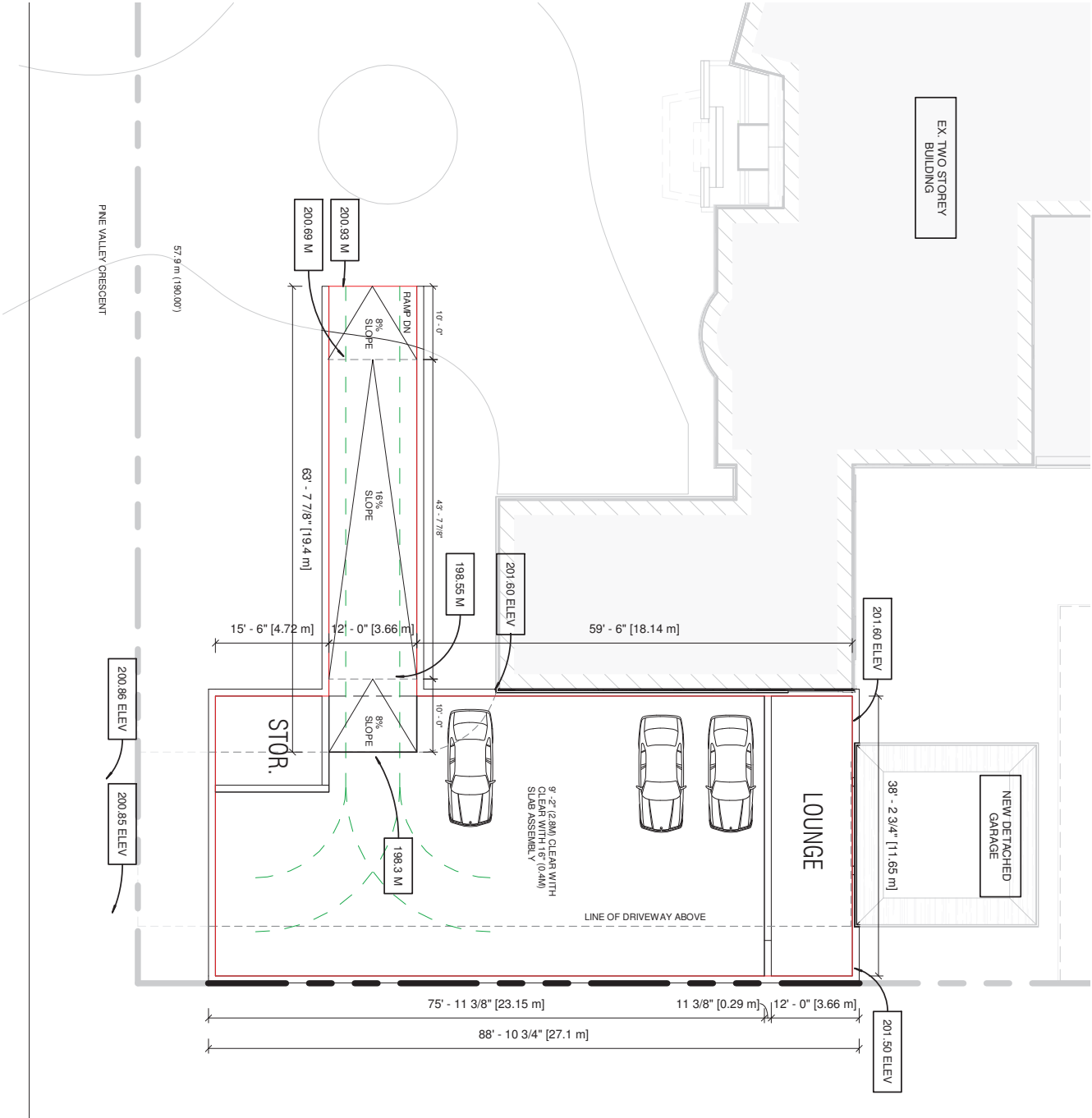
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VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	MN
SCALE	1 : 48
DETACHED GARAGE - WEST ELEVATION	

A-203

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1 UNDERGROUND GARAGE PLAN

A-300 1 : 200

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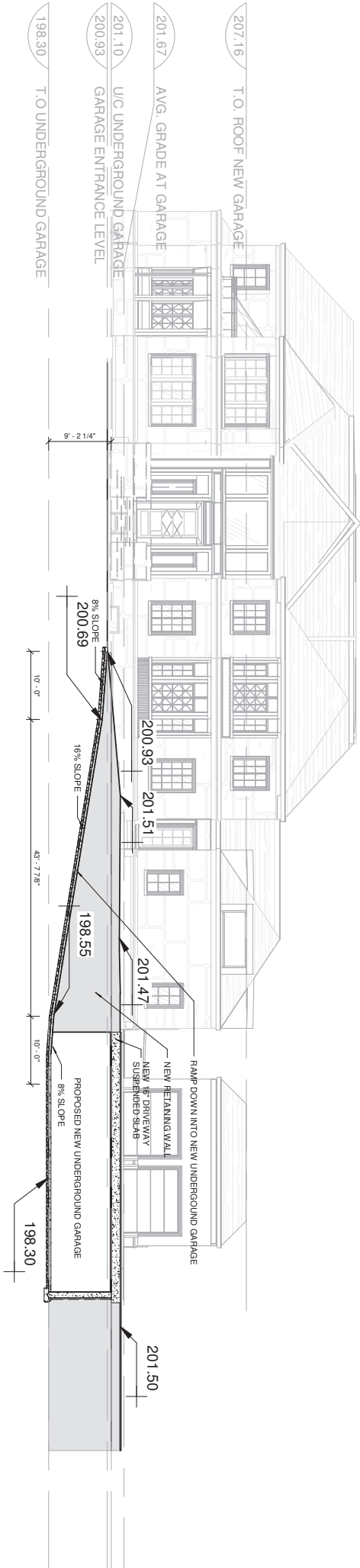
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VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	Author
SCALE	1 : 200

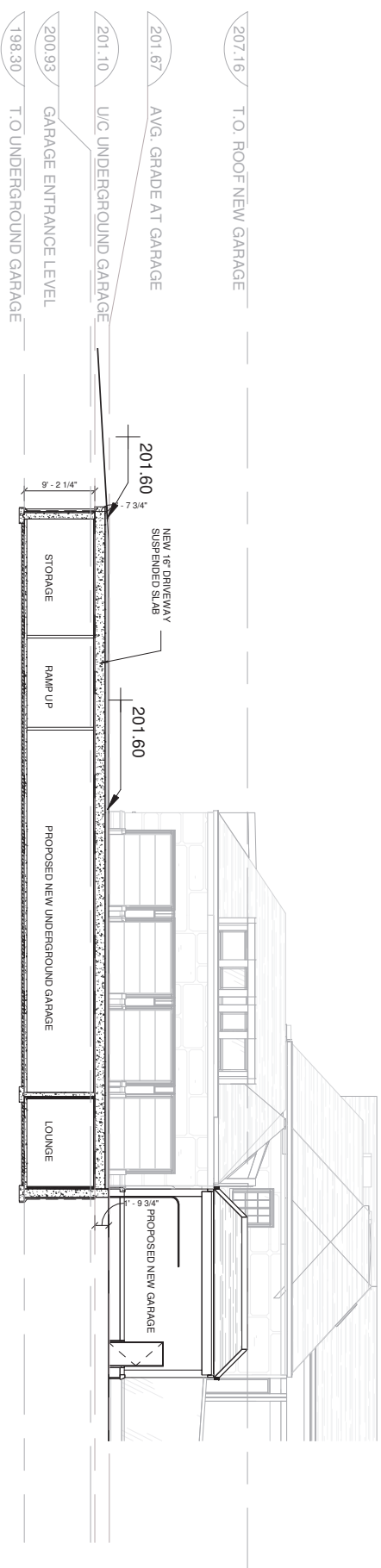
UNDERGROUND GARAGE -
PLAN

A-300

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1 GARAGE SECTION 1
A-301 1 : 200



2 GARAGE SECTION 2
A-301 1 : 200

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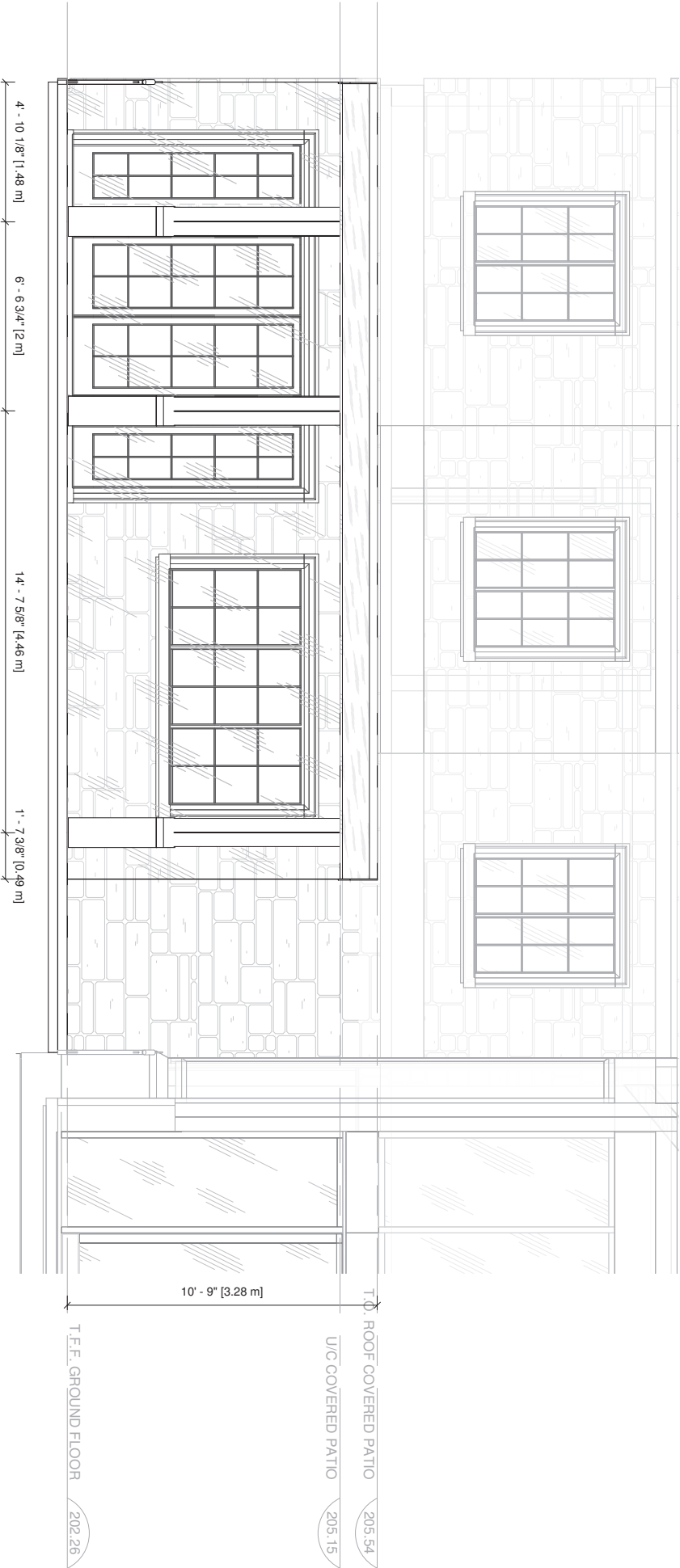
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PROJECT MANAGER	FD
DRAWN	Author
SCALE	1 : 200

UNDERGROUND GARAGE -
SECTIONS

A-301

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VAUGHAN, ON

PROJECT MANAGER	FD
DRAWN	Author
SCALE	1 : 50
COVERED PATIO - ELEVATION	

A-400

2021-03-24 1:43:53 PM

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

MacPherson, Adriana

Subject: FW: A156/20 - Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: March-11-21 3:20 PM
To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A156/20 - Request for Comments

Good afternoon Adriana,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | Gabrielle.hurst@york.ca | www.york.ca