

File: A020/21

Applicant: Daniele & Andrea Seca

Address: 11 Theresa Crcl Kleinburg

Agent: Cutajar Design

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection		
Development Planning		
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: A232/15 & A065/12 (see next page for details)

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday, April 8, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance
Application

A020/21

Agenda Item: 8

Ward: 1

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday , April 08, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Daniele & Andrea Seca

Agent: Cutajar Design

Property: 11 Theresa Crcl Kleinburg

Zoning: The subject lands are zoned RR Rural Residential, and subject to the provisions of Exception No. 9(768) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed single family dwelling, swimming pool and accessory structure (shed).

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum total lot coverage of 10% is permitted.	1. To permit a maximum lot coverage of 11.9%. (10.38% dwelling & garage; 0.89% lanai; 0.47% terrace, 0.16% accessory building)
2. An accessory building (shed) shall be located entirely in the rear yard.	2. To permit an accessory building to be located in the interior side yard.
3. A private swimming pool shall be located entirely in the rear yard.	3. To permit the private swimming pool to be located in the interior side yard.
4. Retaining walls that exceed 1.0 metre, shall be setback a distance equal to its height; therefore, a minimum interior side yard setback of 2.2 metres is required.	4. To permit a minimum interior side yard setback of 0.60 metres for the retaining wall.

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A232/15	Lot coverage 17.88%; building height 11.87m	Approved August 13, 2015
A065/12	Private swimming pool in the interior side yard.	Approved April 19, 2012

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on March 24, 2021

Applicant confirmed posting of signage on March 3, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	Purchased 2020

Applicant has advised that they cannot comply with By-law for the following reason(s): Due to architectural design. the home is designed primarily as a sprawling bungalow with courtyards and garages hidden from street view. This combined with a covered lanai has caused the coverage number to be in excess of what is zoned.

Adjournment Request: N/A

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 14-002878 for Single Detached Dwelling - Residential Demolition, Issue Date: Sep 26, 2014. Please contact the Building Inspections Department at (905)832-8511 to close this permit.

The total lot coverage has been calculated as follows:
10.38% for the dwelling & garage, 0.89% for the lanai, 0.47% for the terrace, 0.16% for the accessory building

A minimum clear garage size of 3.0 metres X 6.0 metres is required and a minimum parking space size shall be 2.7metres X 6.0 metres.

An A/C unit on a slab shall be setback a minimum of 0.6m metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard setback of 15 metres.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No Response

Development Planning:

Official Plan: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Application under review, applicant has been requested to address urban design comment prior to planning finalizing report.

Development Engineering:

After reviewing the updated grading drawing it appears that the water will flows away from the retaining wall and will not create ponding in the area. Hence, Development Engineering (DE) Department does not object to variance application A020/21.

The owner/applicant shall apply and obtain the necessary curb cut permit through the Transportation Services Division.

Parks Development - Forestry:

No comments or concerns

By-Law and Compliance, Licensing and Permit Services:

No comments or concerns

Financial Planning and Development Finance:

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Fire Department:
No comments to date.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections
MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)
Minor Variance A232/15
Minor Variance A065/12

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Parks, Forestry and Horticulture Operations Patrick Courchesne 905-832-8585 x 3617 Patrick.Courchesne@vaughan.ca/	Applicant/Owner must obtain a private property tree removal & protection (Construction/Infill) Permit from the Forestry Division. (Application and documents received and is under review, application is pending Forestry waiting for Hoarding to be installed)
2	Development Planning Roberto Simbana 905-832-8585 x 8810 roberto.simbana@vaughan.ca	Application under review.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://www.v Vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](https://www.v Vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

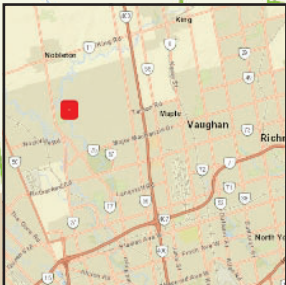
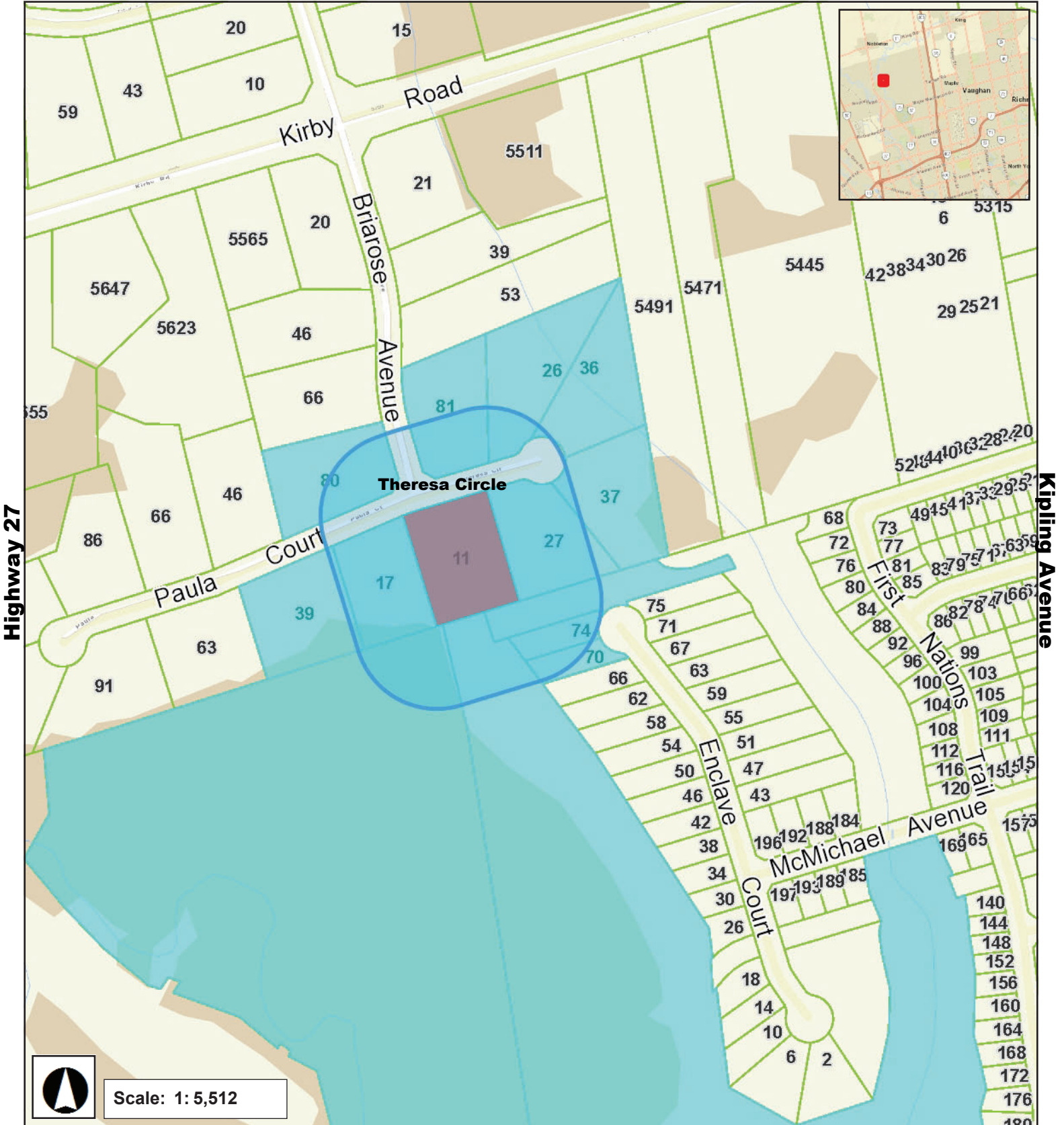
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



LOCATION MAP - A020/21

11 THERESA CIRCLE, KLEINBURG



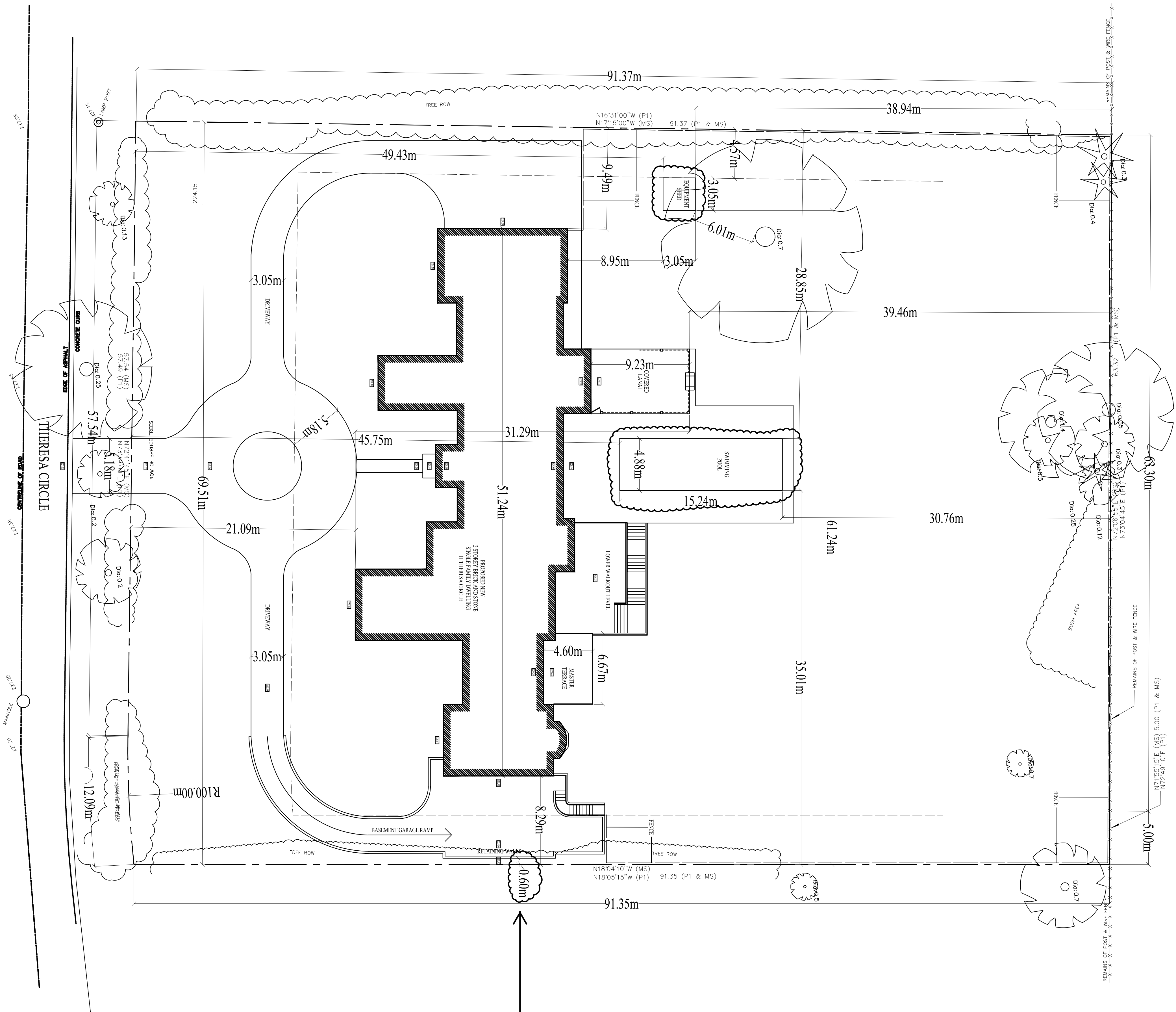
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Teston Road

March 15, 2021 1:48 PM

LOT COVERAGE = 11.9%
(10.38% dwelling & qaraqe; 0.89% lanai; 0.47% terrace; 0.16% accessory building)

Accessory Building to be located in the interior side yard
Private swimming pool to be located in the interior side yard



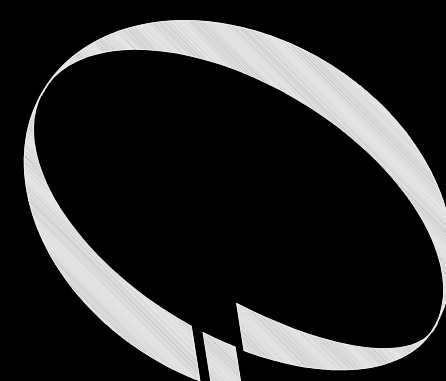
ZONING SCHEDULE FOR 11 THERESA CIRCLE

RR

SITE DATA

ITEM	REQUIRED	PROPOSED
LOT FRONTAGE (M/FT)	45 m	69.51 m
FRONT YARD SETBACK	15 m	21.09 m
REAR YARD SETBACK	15 m	48.69 m
SIDE (WEST) YARD SETBACK	4.5 m	8.29 m
SIDE (EAST) YARD SETBACK	4.5 m	9.49 m
DWELLING HEIGHT (FROM AVERAGE ELEVATION)	9.5 m	8.89 m
AVERAGE ELEVATION		229.29 m
LOT AREA		6321.91 m ²
FRONT YARD AREA		1946.79 m ²
SOFTSCAPE	MIN. 60%	76%
HARDSCAPE		1482.98 m ²
DRIVEWAY		10.26 m ²
REAR YARD AREA		443.94 m ²
SOFTSCAPE	MIN. 60%	87%
HARDSCAPE		3517.50 m ²
BASEMENT FLR LIVING AREA (EXCLUDING GARAGE)		536.68 m ²
3 CAR GARAGE		7287 m ²
WALKOUT AREA		82.86 m ²
1ST FLR LIVING AREA (EXCLUDING GARAGE)		570.82 m ²
3 CAR GARAGE		84.74 m ²
LANAI		55.89 m ²
MASTER TERRACE		29.97 m ²
2ND FLR LIVING AREA (EAST WING + WEST WING)		208.51 m ²
EAST WING AREA		45.22 m ²
WEST WING AREA		163.29 m ²
LOT COVERAGE ((1ST FLR + GARAGE + LANAI + MASTER TERRACE+SHED)/LOT AREA)	751.32/6321.891 m ²	(100%)6321.89 m ²

0.60M



JASON CUTAJAR
ARCHITECTURAL DESIGN
P 416-277-1017
F 416-241-8125
TORONTO, ONTARIO
M9P 2N9
CANADA

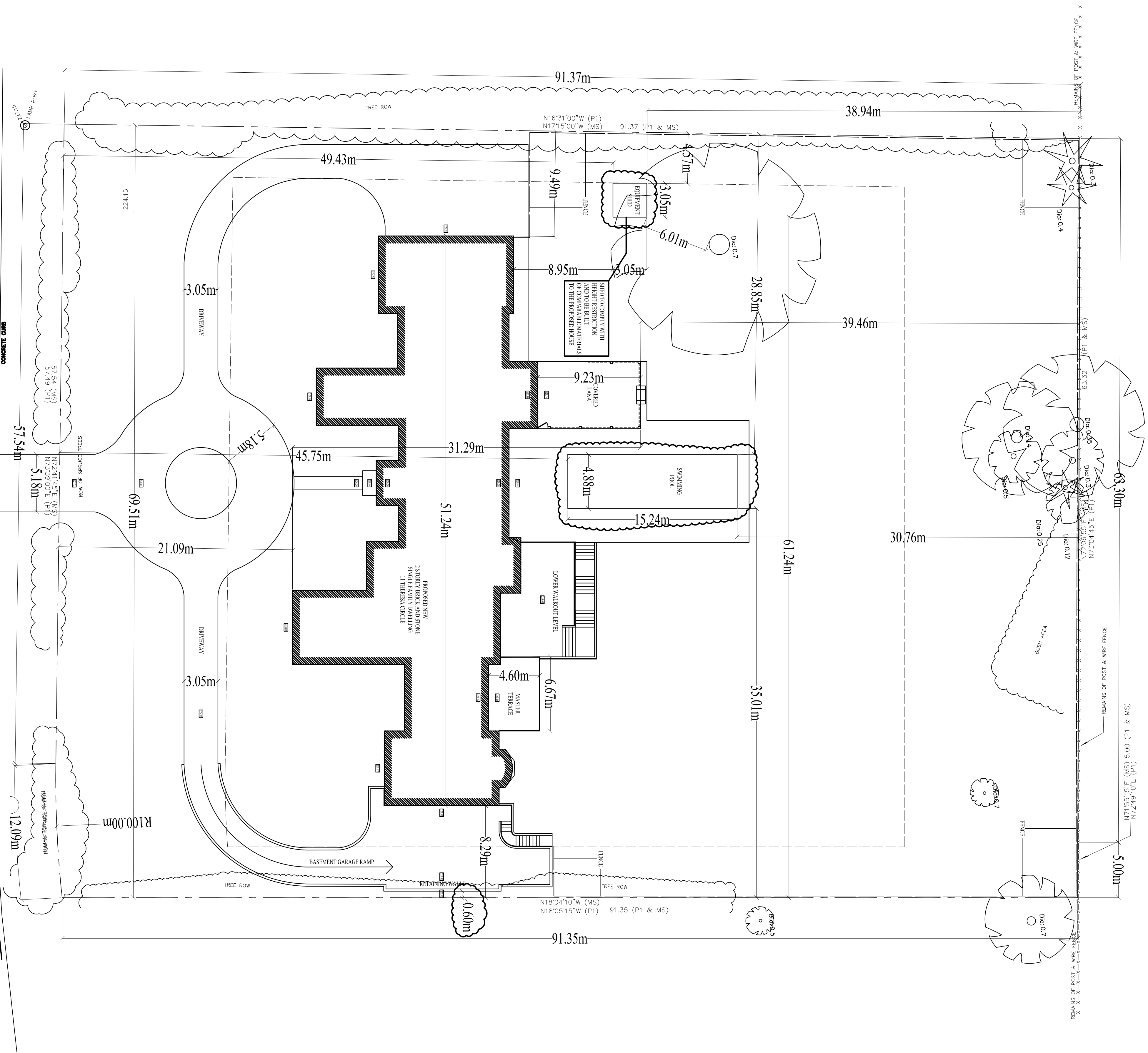
11 THERESA CIRCLE
KLEINBURG,
ONTARIO
CANADA

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NO.	REVISIONS	DATE

SITE PLAN

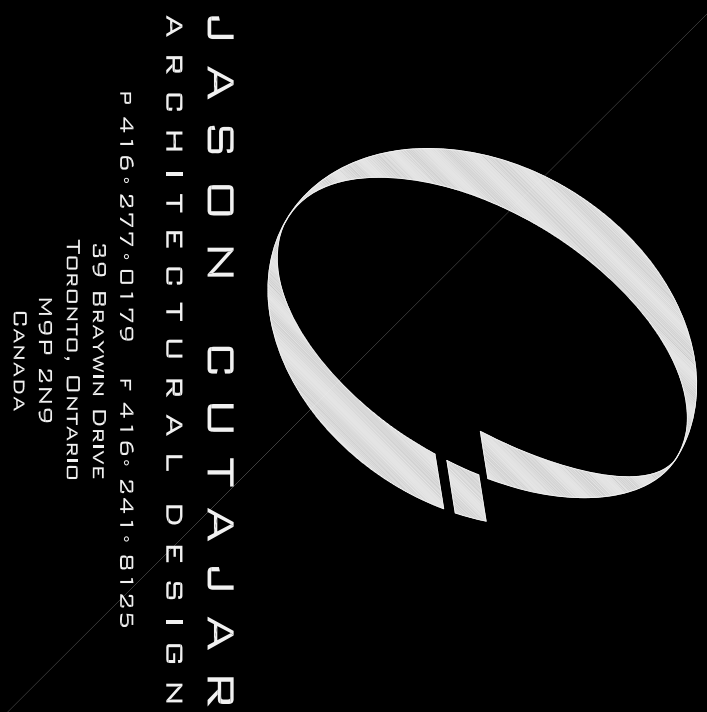
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DATE: 12/17/2020	SCALE: 1:200
PROJECT NO.:	DRAWING NO.:

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ZONING SCHEDULE FOR 11 THERESA CIRCLE			
ZONING DESIGNATION: RR			
SITE DATA			
ITEM	REQUIRED	PROPOSED	
LOT FRONTAGE (M/D/H)	45 m	69.51 m	
FRONT YARD SETBACK	15 m	21.09 m	
REAR YARD SETBACK	15 m	48.69 m	
SIDE (WEST) YARD SETBACK	4.5 m	8.29 m	
SIDE (EAST) YARD SETBACK	4.5 m	9.49 m	
DWELLING HEIGHT (FROM AVERAGE ELEVATION)	9.5 m	8.89 m	
AVERAGE ELEVATION		229.29 m	
LOT AREA		6231.91 m²	
FRONT YARD AREA		1946.79 m²	
SOFTSCAPE	MIN. 60%	76%	
HARDSCAPE		1482.98 m²	
DRIENWAY		10.26 m²	
REAR YARD AREA		3517.50 m²	
SOFTSCAPE	MIN. 60%	87%	
HARDSCAPE		3065.05 m²	
BASEMENT FLR LIVING AREA (EXCLUDING GARAGE)		536.68 m²	
3 CAR GARAGE		72.67 m²	
WALKOUT AREA		82.86 m²	
1ST FLR LIVING AREA (EXCLUDING GARAGE)		570.82 m²	
3 CAR GARAGE		84.74 m²	
LANAI		55.89 m²	
MASTER TERRACE		29.97 m²	
2ND FLR LIVING AREA (EAST WING + WEST WING)		208.51 m²	
EAST WING AREA		45.22 m²	
WEST WING AREA		163.29 m²	
LOT COVERAGE	751.32/6321.891 m²	(108)632.19 m²	751.32 m² 11.9%
((1ST FLR + GARAGE + LANAI + MASTER TERRACE+SHED)/LOT AREA)			

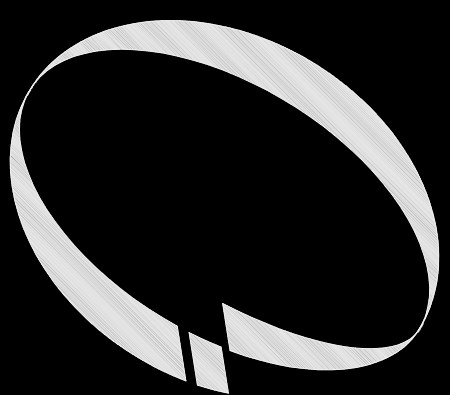
11 THERESA CIRCLE
KLEINBURG,
ONTARIO
CANADA



SITE PLAN

DRAWN BY: M.V.
DATE: 12/17/2020
PROJECT NO.:
CHECKED BY: J. CUTAJAR
SCALE: 1:200
DRAWING NO.:

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JASON CUTAJAR
ARCHITECTURAL DESIGN
P 416-277-0179 F 416-241-8125
1200 DUNDAS STREET WEST, SUITE 200
TORONTO, ONTARIO
M5P 2N9
CANADA

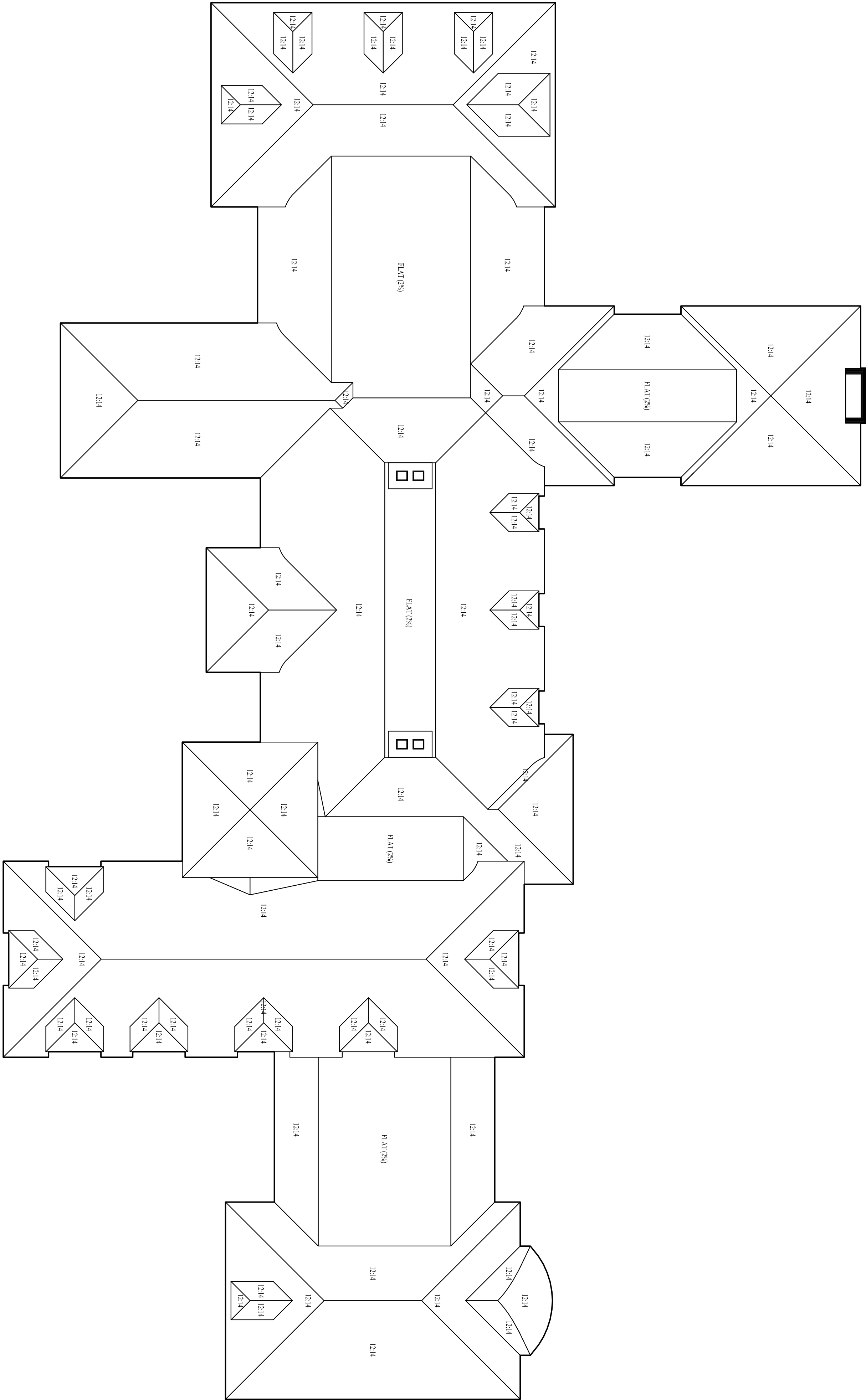
11 THERESA CIRCLE
KLEINBURG,
ONTARIO
CANADA

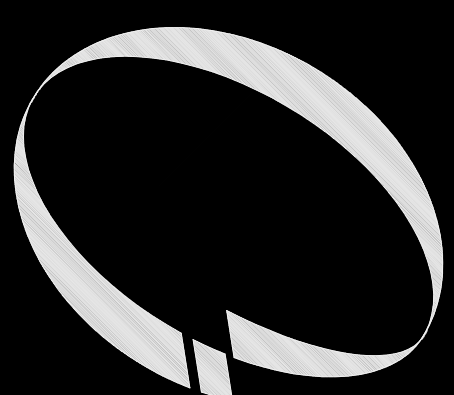
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ROOF PLAN

DRAWN BY: M.V.	CHECKED BY: J. CUTAJAR
DATE: 12/17/2020	SCALE: 1:100
PROJECT NO.:	DRAWING NO.:

ROOF AREA INFORMATION:
TOTAL ROOF AREA: 76.42%
SLOPED ROOF AREA: 69.85% OR 91.64%
FLAT ROOF AREA: 12.58% OR 16.06%





JASON CUTAJAR
ARCHITECTURAL DESIGN
P 416-277-0179 F 416-241-8125
2200 SHEPPARD AVENUE EAST, SUITE 200
TORONTO, ONTARIO
M9P 2N9
CANADA

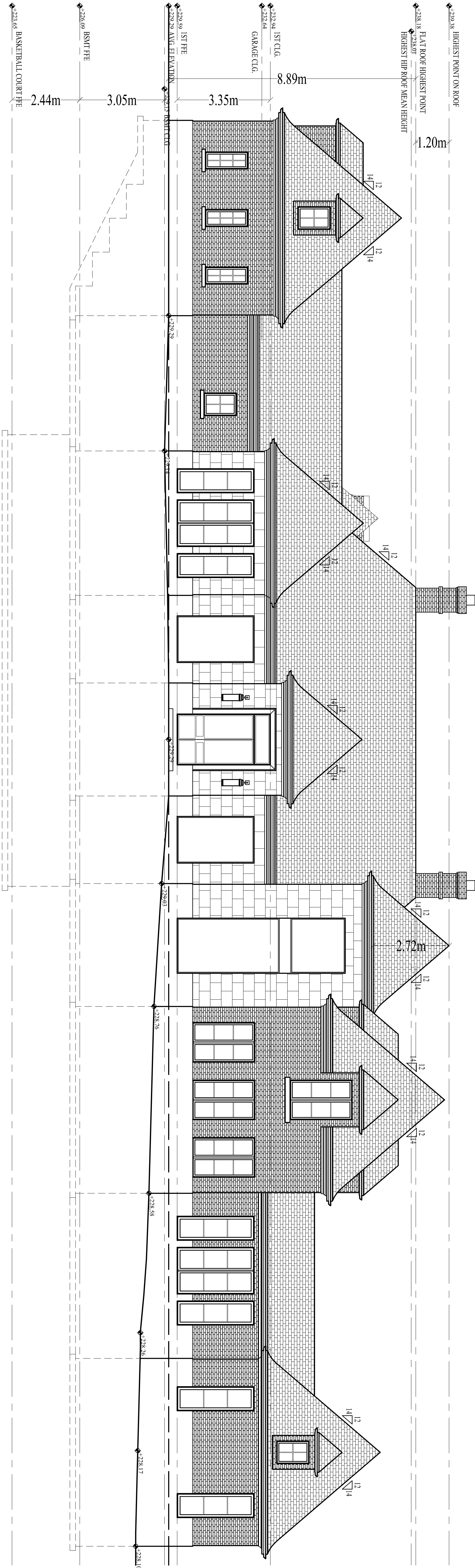
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KLEINBURG,
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FRONT (NORTH)
ELEVATION

DRAWN BY: M.V.	CHECKED BY: J. CUTAJAR
DATE: 12/17/2020	SCALE: 1:75
PROJECT NO.:	DRAWING NO.:

A5





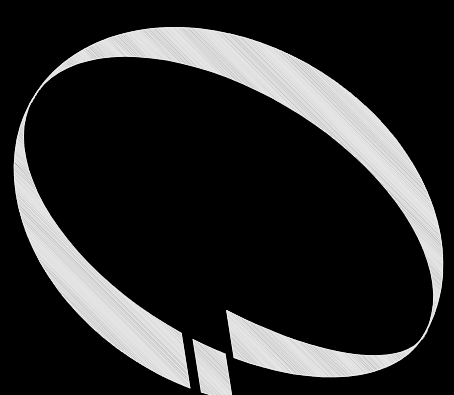
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DATE: 12/17/2020	SCALE: 1:75

DRAWING NO.:

A7



JASON CUTAJAR
ARCHITECTURAL DESIGN
P 416-277-0179 F 416-241-8125
2200 SHEPPARD AVENUE EAST, SUITE 200
TORONTO, ONTARIO
M9P 2N9
CANADA

11 THERESA CIRCLE
KLEINBURG,
ONTARIO
CANADA

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NO.	REVISIONS	DATE	

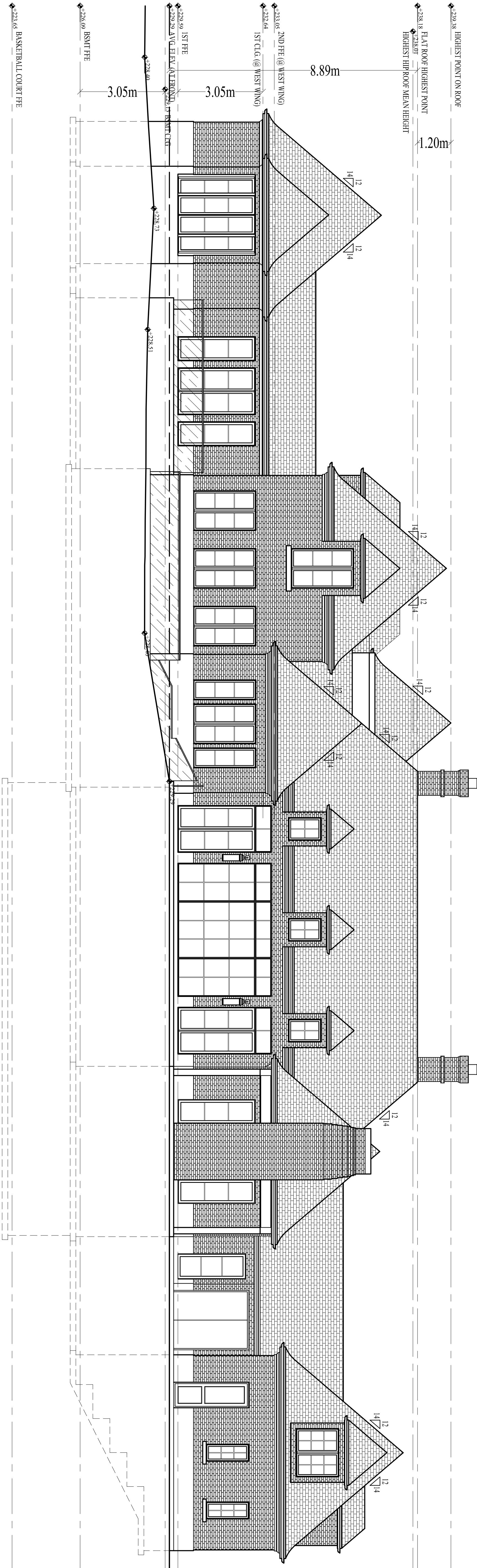
SOUTH
ELEVATION

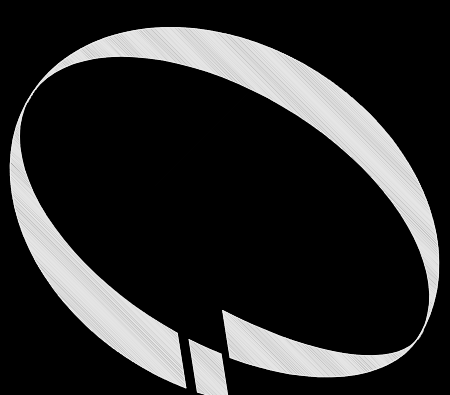
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DATE: 12/17/2020	SCALE: 1:75
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PROJECT NO.:	DRAWING NO.:
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A7





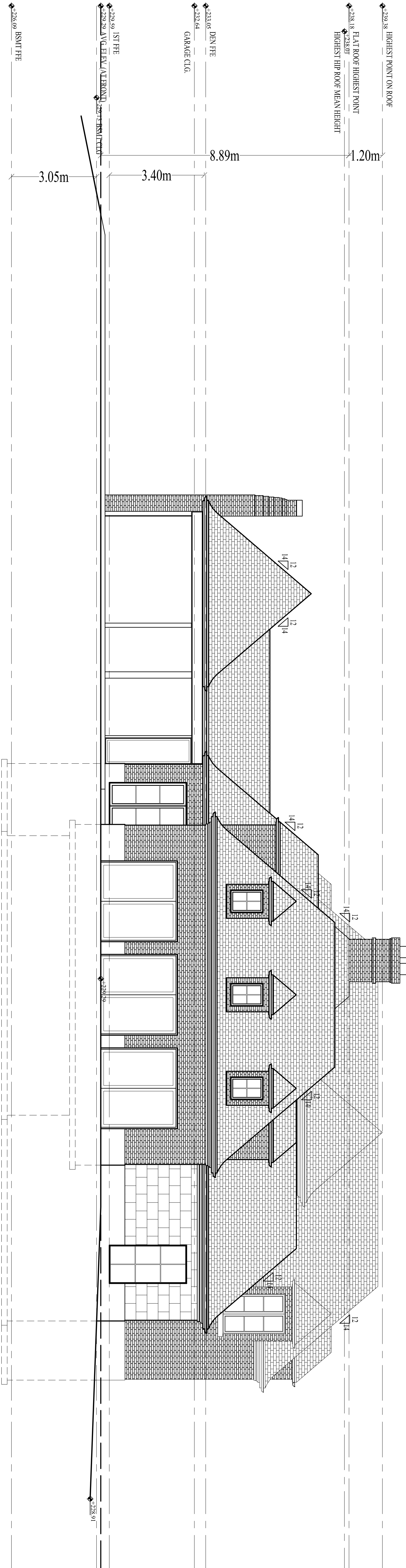
JASON CUTAJAR
ARCHITECTURAL DESIGN
P 416-277-0179 F 416-241-8125
2200 SHEPPARD AVENUE EAST
TORONTO, ONTARIO
M9P 2N9
CANADA

11 THERESA CIRCLE
KLEINBURG,
ONTARIO
CANADA

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NO.	REVISIONS	DATE	

EAST
ELEVATION

DRAWN BY: M.V.	CHECKED BY: J. CUTAJAR
DATE: 12/17/2020	SCALE: 1:75
PROJECT NO.:	DRAWING NO.:
	A8



PROPOSED GRADING PLAN OF
LOT 13
REGISTERED PLAN G5M-2667
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE 1: 250



RODNEY GEYER
ONTARIO LAND SURVEYOR INC.

NOTES

UNDERLYING INFORMATION SHOWN HEREON WAS TAKEN FROM PLAN OF SURVEY BY RODNEY H. GEYER, O.L.S., INC., DATED SEPTEMBER 14, 2014. TOPOGRAPHIC DATA WAS UPDATED ON NOVEMBER 30, 2020.

METRIC NOTE

DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM BENCH MARK 58-2 HAVING A PUBLISHED ELEVATION OF 204.953 METRES
LOCAL BENCHMARK IS IRON BAR IN NORTH EAST CORNER OF PROPERTY HAVING AN ELEVATION OF 227.29 METRES

LEGEND

- P1 DENOTES PLAN 4258
■ DENOTES SURVEY MONUMENT FOUND
IB DENOTES IRON BAR
SIB DENOTES STANDARD IRON BAR
1345 DENOTES GUIDO PAPA, O.L.S.
(OU) DENOTES ORIGIN UNKNOWN
(MS) DENOTES MEASURED
WIT DENOTES WITNESS
BPF DENOTES BELL PEDESTAL
GPF DENOTES GROUND PILE FOUNDATION
HVF DENOTES HYDRO VAULT
LBM DENOTES LOCAL BENCH MARK
MHI DENOTES MANHOLE
PWF DENOTES POST AND WIRE FENCE
BSE DENOTES BASEMENT SLAB ELEVATION
FSE DENOTES FINISHED FLOOR ELEVATION
SSE DENOTES SECOND STOREY FLOOR ELEVATION
TSF DENOTES TOP OF FOUNDATION WALL
USF DENOTES UNDERSIDE OF FOOTING
BRW DENOTES BOTTOM OF RETAINING WALL
TRW DENOTES TOP OF RETAINING WALL
■ DENOTES CONFIDENTIAL TREE
★ DENOTES DECIDUOUS TREE

RESIDENTIAL LOT GRADING NOTES

1. ALL DIMENSIONS AND GRADE ELEVATIONS ARE EXPRESSED IN SI UNITS.
2. THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS AND DRAINAGE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. UNDERSIDE OF FOOTING SHOWN IS TAKEN FROM ARCHITECTURAL PLANS AND MAY NOT REPRESENT ACTUAL FOOTING DEPTH.
4. FOOTINGS MUST BEAR ON NATIVE UNDISTURBED SOIL OR ROCK, AND BE A MINIMUM OF 1.22 m BELOW FINISHED GRADE.
5. ROOF DOWNSPOUTS TO DISCHARGE AT SPLASH PADS
6. ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION, HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
7. THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
8. PROPOSED SILT FENCE IS TO BE OF NON-WOVEN GEOTEXTILE FABRIC, TERRAPAZ 270R OR EQUIVALENT TO BE INSTALLED TO APPLICABLE STANDARDS.
9. PROPOSED TRENCH AND AREA DRAINS TO CONNECT TO FOUNDATION WIEPERS.

ISSUED OR REVISION COMMENTS		
No.	DESCRIPTION	DATE
A	INITIAL SUBMISSION	02/09/21
B		
C		

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PROPOSED GRADING, BUILDING TYPE AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND DESIGN AND THAT THE PROPOSED GRADING IS IN CONFORMITY WITH THOSE OF THE ADJACENT LANDS FOR DRAINAGE AND RELEVANT ELEVATIONS.

THE SURVEY WAS COMPLETED ON THE 30TH DAY OF NOVEMBER, 2020.

FEBRUARY 9, 2021

RODNEY H. GEYER
ONTARIO LAND SURVEYOR

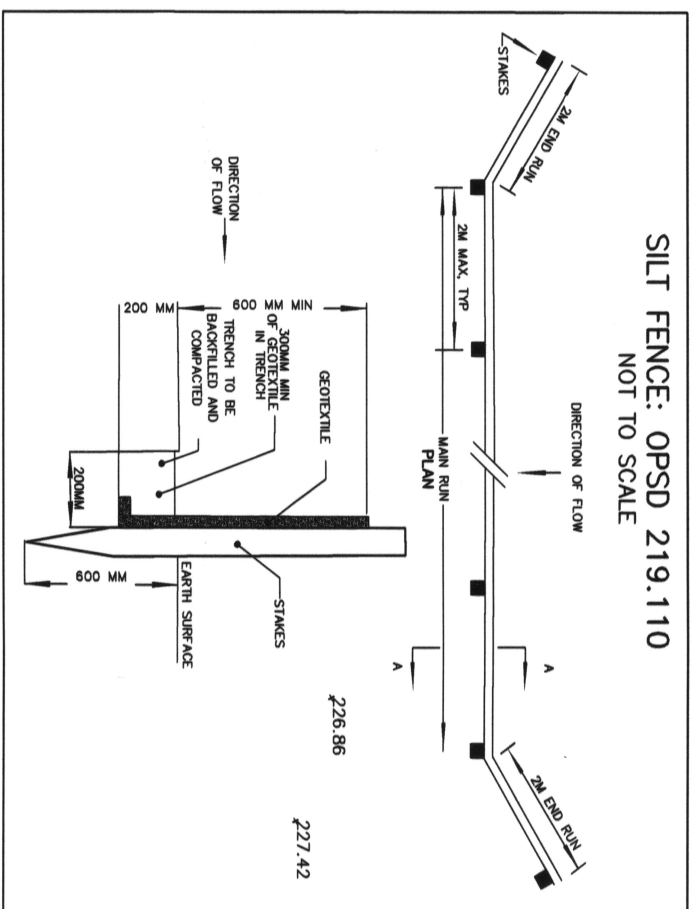
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RODNEY GEYER
ONTARIO LAND SURVEYOR INC.
190 PARSONS ROAD, UNIT 29
ALLSTON, ONTARIO L9R 1E8
PHONE (705) 434-0411
www.geysurveyors.com

CHECKED BY:	DESIGNED BY:	SCALE:	DATE:	REV:
	SC/RG		FEBRUARY 9, 2021	20-3339-G1
				A

PAULA COURT
BY PLAN G5M-2667
PIN 03347-0030 (LT)

THERESA CIRCLE
BY PLAN G5M-2667
PIN 03347-0032 (LT)



Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A020/21 -REQUEST FOR COMMENTS

From: Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>

Sent: February-24-21 11:34 AM

To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: A020/21 -REQUEST FOR COMMENTS

Hello Pravina,

11 Theresa Crcl is not within MTO permit control area and MTO has no concerns.

Cameron Blaney | Corridor Management Planner | Simcoe & York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

416-358-7871

Cameron.Blaney@ontario.ca

Attwala, Pravina

Subject: FW: A020/21 -REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: February-26-21 2:02 PM

To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>

Subject: [External] RE: A020/21 -REQUEST FOR COMMENTS

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | Gabrielle.hurst@york.ca | www.york.ca

Schedule D: Previous Approvals (Notice of Decision)

Minor Variance A232/15
Minor Variance A065/12

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A065/12

APPLICANT: YOUNG SHIN PAIK

PROPERTY: Part of Lot 30, Concession 8 (Lot 13 on Plan 65M-2667, municipally known as 11 Theresa Circle, Kleinburg)

ZONING: The subject lands are zoned RR, Rural Residential Zone, and subject to the provisions of Exception 9(768) under By-law 1-88 as amended.

PURPOSE: To permit the maintenance of a pool.

PROPOSAL: To permit the location of a private swimming pool in the interior side yard.

BY-LAW REQUIREMENT: A private swimming pool shall only be located in the rear yard.

Sketches are attached illustrating the request.

MOVED BY:

SECONDED BY:

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

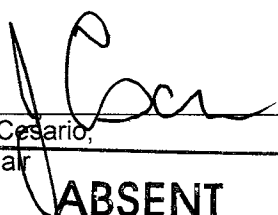

THAT Application No. **A065/12, YOUNG SHIN PAIK**, be **APPROVED**, in accordance with the sketches attached

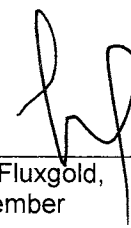
THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

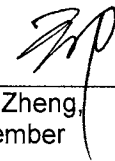
CARRIED.

CHAIR: _____

Signed by all members present who concur in this decision:


 J. Cesario,
 Chair
ABSENTM. Mauti,
Member

 A. Perrella,
 Vice Chair


 L. Fluxgold,
 Member


 H. Zheng,
 Member
CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.



Todd Coles, BES, MCIP, RPP
 Manager of Development Services
 and Secretary-Treasurer to
 Committee of Adjustment

Date of Hearing:**APRIL 19, 2012****Last Date of Appeal:****MAY 9, 2012****APPEALS**

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:

MAY 9, 2013

A065/12

65 M

LOT 8

LO

BRIAROSE A

BLOCK 16
(0.30 RESERVE)

15
RVE)

STREET
LINE

STREETS - 1, SECTION 65M-2667,

THERESA CIRCLE
(BY PLAN 65M-2667)

B.M.s.)
00.000
2.087
2.080
2.115'E

S.I.B(G.P.)

N73°39'00"E

57.490

STREET
LINE

(PL & Ms.)

L.B(G.P.)

L.B(G.P.)

EL PLAN 1, SECTION 65M

(BY PLAN 65M-2667)

(PL & Ms.)
91.351

50.733

50.747

91.369
(PL & Ms.)

LOT 13

45.861

39.832

N17°07'30"W

14.761

BR. DWG.

65M

POOL



Pool partially
located in the
side yard

N16°21'00"W

14.75

15.73

9.30

49°10'E
100
B.M.s.)

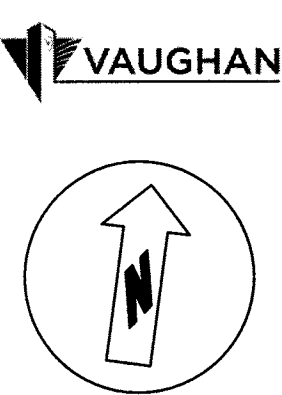
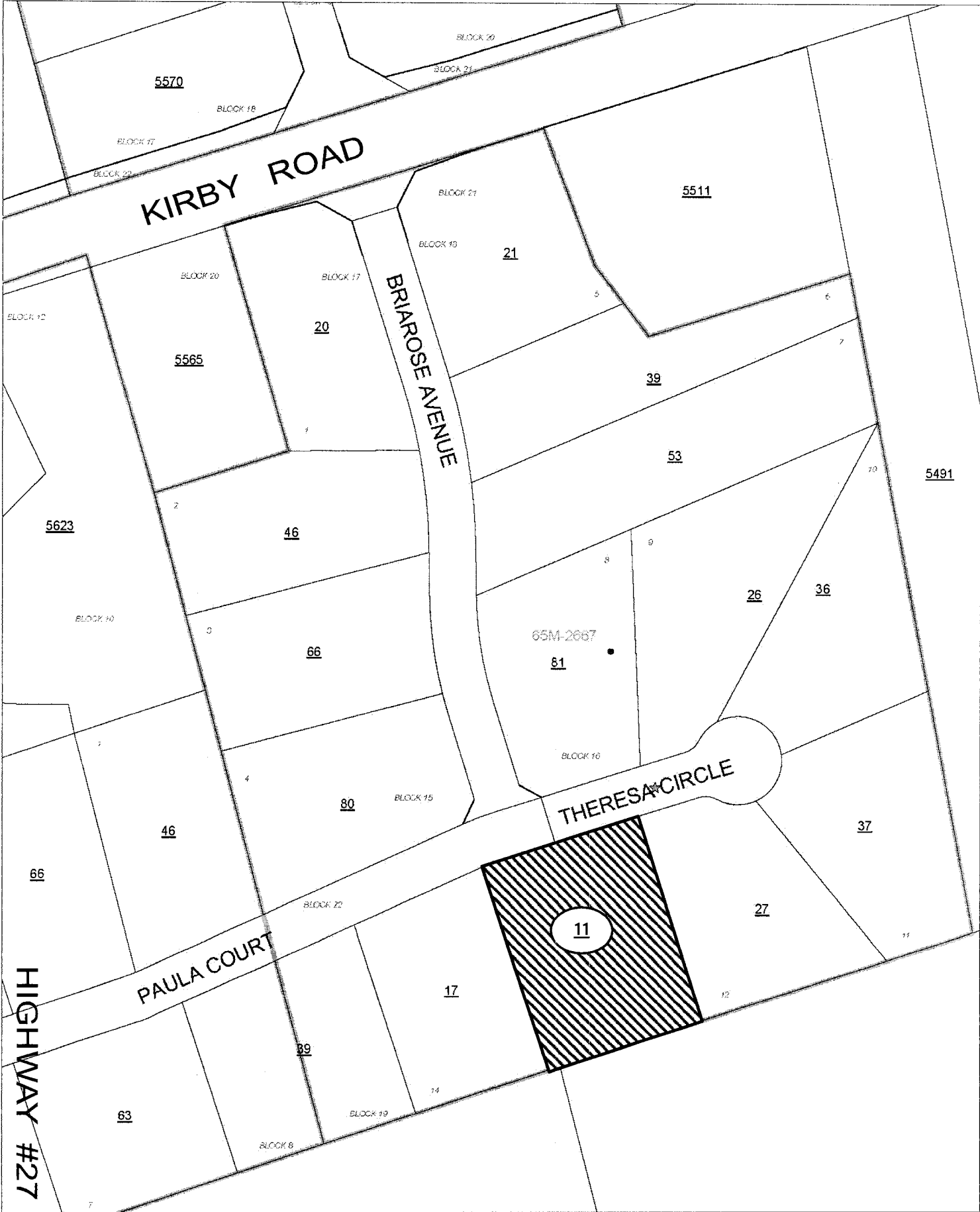
N73°04'45"E


63.316
(PL. & Ms.)

L.B.
(G.P.)

29, CONCESSION

INST. NO. 6.3591



COMMITTEE OF ADJUSTMENT	
File No.:	A065/12
Applicants:	YOUNG SHIN PAIK
	SUBJECT LANDS: 11 THERESA CIRCLE, KLEINBURG

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A232/15

APPLICANT: CYNDI SKREPNEK

PROPERTY: Part of Lot 30, Concession 8, (Lot 13, Registered Plan 65M-2667) municipally known as 11 Theresa Circle, Kleinburg.

ZONING: The subject lands are zoned RR, Rural Residential Zone and subject to the provisions of Exception 9(768) under By-law 1-88 as amended.

PURPOSE: To permit the construction of a single family dwelling, as follows:

PROPOSAL:

1. To permit a maximum lot coverage of 17.88%.
2. To permit a maximum building height of 11.87m for the dwelling.

BY-LAW REQUIREMENT:

1. Maximum lot coverage 10%.
2. Maximum building height 11.0m (dwelling).

BACKGROUND INFORMATION: Other Planning Act Applications
The land which is the subject in this application was also the subject of another application under the Planning Act:
Minor Variance A065/12 - APPROVED April 19, 2012 - location of a swimming pool

Sketches are attached illustrating the request.

MOVED BY:



SECONDED BY:



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A232/15, CYNDI SKREPNEK**, be **APPROVED**, in accordance with the sketches attached

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: Benella

Signed by all members present who concur in this decision:

Benella
A. Perrella,
Chair

HP
H. Zheng,
Vice Chair

Robert Buckler
R. Buckler,
Member

J. Cesario
J. Cesario,
Member

M. Mauti
M. Mauti,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

Todd Coles
Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	AUGUST 13, 2015
Last Date of Appeal:	SEPTEMBER 2, 2015

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$690.00 processing fee, paid by certified cheque or money order, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by certified cheque or money order, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:
SEPTEMBER 2, 2016

A232/15

PART 2, PLAN

- 1) To permit a maximum lot coverage of 17.88%.
- 2) To permit a maximum building height of 11.87m for the dwelling.

LOT AREA = 68 048.31 S.F.
(6321.89 S.M.)

REGISTERED

PLAN

65M-2667

NOTE: AVERAGE GRADE AT
FRONT ELEVATION = 228.41

BY PLAN 65M-2667

THERESA CIRCLE

BY PLAN 65M-

PAULA



RICHARD WENGLE
ARCHITECT INC.

SKREPNEK RESIDENCE

11 THERESA CIRCLE
KLEINBURG, ONTARIO
JULY 20, 2015

1443



SITE PLAN

SCALE 1/32" = 1'-0"



Location Map - A232/15

11 Theresa Circle, Kleinburg



Sources: Esri, HERE, DeLorme, Intermap, increment P

0 0.05 0.1 0.2 Kilometers

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