

File: A018/21

Applicant: Anna Castelli

Address: 22 Dianawood Ridge, Woodbridge

Agent: Salvatore Castelli

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, March 18, 2021

***Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).**



Minor Variance Application

Agenda Item: 11

A018/21

Ward: 3

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, March 18, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

- Applicant:** Anna Castelli
- Agent:** Salvatore Castelli
- Property:** **22 Dianawood Ridge, Woodbridge**
- Zoning:** The subject lands are zoned R1, Residential Zone, and subject to the provisions of Exception 9(382) under By-law 1-88 as amended.
- OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
- Related Files:** None.
- Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed cabana, swimming pool and pool equipment pad in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum Rear yard setback of 7.5 metres is required (Schedule A).	1. To permit a minimum Rear Yard setback of 3.16 metres to an Accessory Structure (Cabana).
2. A maximum encroachment of 0.5 metres is required (Section 3.14 a)).	2. To permit a maximum Eave encroachment of 0.61 metres for an Accessory Structure (Cabana).
3. A minimum of 60% of the Rear yard in excess of 135m2 shall be soft landscaping (Section 4.1.2 b)).	3. To permit a minimum of 41.57% of Soft Landscaping in the rear yard.
4. A maximum Rear yard encroachment of 1.5 metres is permitted (Section 3.14 h)).	4. To permit a maximum Rear yard Encroachment of 5.55 metres for Ground mounted pool equipment.

Background (previous applications approved by the Committee on the subject land): None

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on March 3, 2021

Applicant confirmed posting of signage on February 26, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1982

Applicant has advised that they cannot comply with By-law for the following reason(s): Rear setback from the cabana is less than the city bylaw. Softscape percentage is less than the city bylaw.

Adjournment Request: The applicant was provided an opportunity to adjourn the application prior to the issuance of public notice to permit time to address Development Planning comments relating to variance #3.

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 20-112736 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is requesting to permit the construction of an accessory structure (cabana), pool and pool equipment with a rear yard landscape reduction with the above noted variances.

Development Planning staff have no objections to variances 1, 2, and 4, as the maximum eave and ground mounted pool equipment encroachment is minor and a reduction in rear yard setback to the proposed cabana is consistent to existing accessory structures in the immediate. The ground mounted pool equipment and cabana will not impact the adjacent properties as they remain compliant to the interior side yard setback and height provisions of Zoning By-law 1-88. With respects to variance 3, Development Planning staff have recommended the Owner increase their rear yard soft landscape area (41.57%) in order to improve the permeability of the rear yard, help balance the softscape and hardscape features and remain compatible with other properties in the area. On this basis, the Development Planning Department cannot support the reduced rear yard soft landscape percentage and recommend variance 3 be refused.

In support of the minor variance application, the Owner submitted a Tree Inventory and Protection Plan (prepared by The Urban Arborist, dated February 8, 2021). The Urban Design Division of the Development Planning Department has reviewed the plan and is satisfied.

The Development Planning Department is of the opinion that variances 1, 2, and 4 are minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of variances 1, 2, 4 and **refusal** of variance 3, as noted above.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A018/21. subject to the following condition(s):

1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.
2. The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage from 60% to 41.57% in order to mitigate potential impacts on the municipal storm water system.

Parks Development - Forestry:

Applicant shall install tree protection hoarding as per the arborist report prior to starting any site works.

Recommended condition of approval:

Applicant shall apply for a Construction Private Tree Removal and Protection Permit.

By-Law and Compliance, Licensing and Permit Services:

No comments or concerns

Financial Planning and Development Finance:

No comment no concerns

Fire Department:

No comments.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None.

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections & York Region (no concerns)

Schedule D - Previous Approvals (Notice of Decision)

None.

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee **adjourn** this application the following condition(s) is required:

	Department/Agency	Condition
1	Committee of Adjustment Christine Vigneault 905-832-8585 x 8332 christine.vigneault@vaughan.ca	Applicant to provide payment of Adjournment Fee (see Fee Schedule) prior to the rescheduling of Application A018/21, if required.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	<ol style="list-style-type: none"> 1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval. 2. The owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage from 60% to 41.57% in order to mitigate potential impacts on the municipal storm water system.

	Department/Agency	Condition
2	Parks, Forestry and Horticulture Operations Zachary Guizzetti 905-832-8585 x 3614 Zachary.Guizzetti@vaughan.ca	Applicant shall apply for a Construction Private Tree Removal and Protection Permit.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

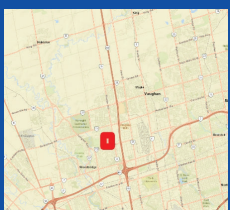
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



Map Information:



Title:

22 DIANAWOOD RIDGE, WOODBRIDGE

NOTIFICATION MAP - A018-21

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



Created By:

Infrastructure Delivery
Department
March 10, 2021 10:54 AM

Projection:

NAD 83
UTM Zone
17N

3.16m
#1

5.55m
#4

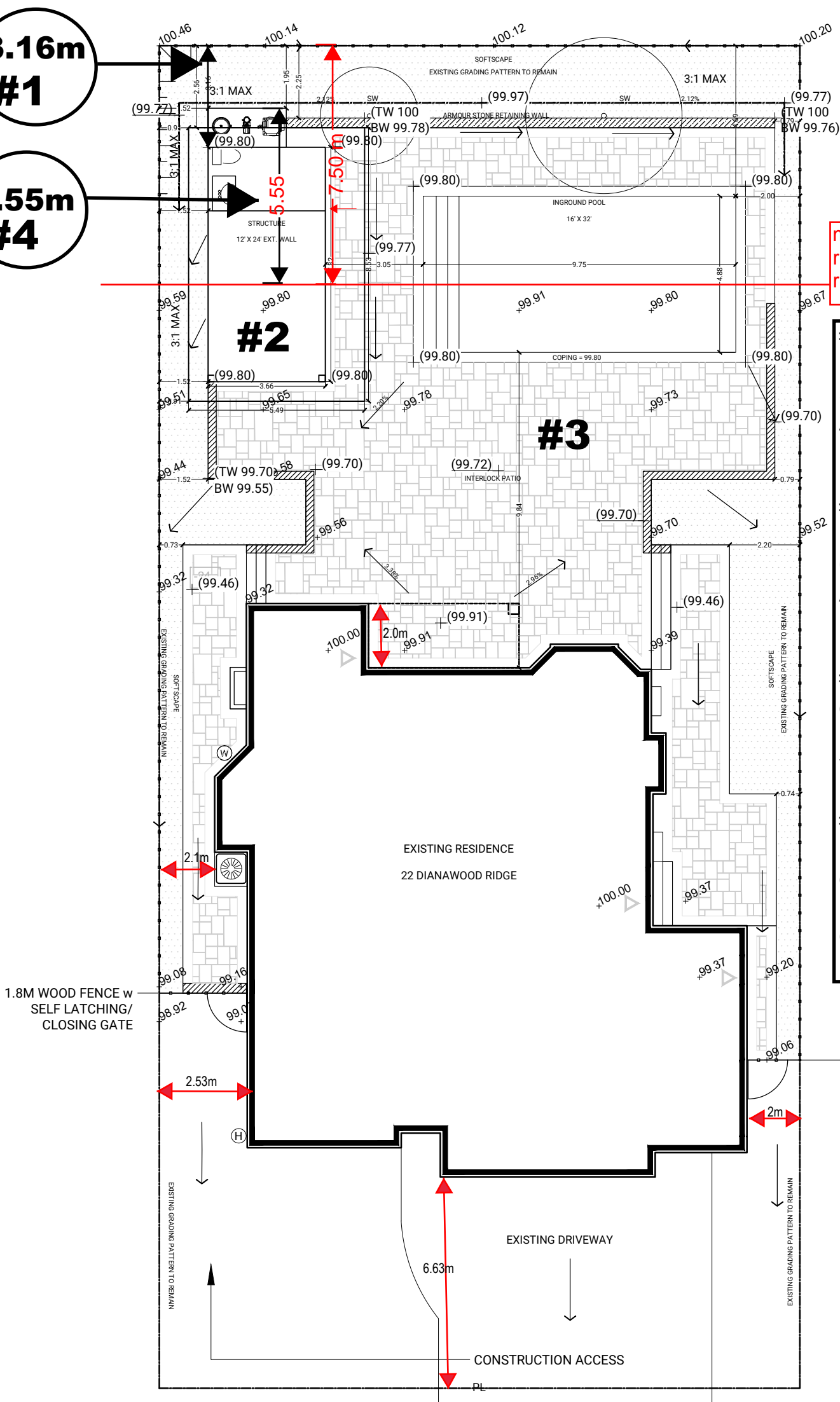
minimum
required
rear yard

#1 To permit a minimum Rear Yard setback of 3.16 metres to an Accessory Structure (Cabana).

#2 To permit a maximum Eave encroachment of 0.61 metres for an Accessory Structure (Cabana).

#3 To permit a minimum of 41.57% of Soft Landscaping in the rear yard.

#4 To permit a maximum Rear yard Encroachment of 5.55 metres for Ground mounted pool equipment.



1.8M WOOD FENCE w
SELF LATCHING/
CLOSING GATE

1.8M WOOD FENCE w
SELF LATCHING/
CLOSING GATE

SITE DATA	GENERAL NOTES	LEGEND
<p>1. Total Lot Area - 837.48m²</p> <p>2. Limit of coverage of structures over 10m² = 35%</p> <p>a. House Coverage - 229.28m²</p> <p>b. Proposed Structure - 26.76m²</p> <p>c. Overall percentage covered by building/structures over 10m² = 30.57%</p> <p>4. Rear Yard Area - 373.13m²</p> <p>Required Softscape - 142.878m²</p> <p>5. Proposed Hardscape - 226.57m²</p> <p>6. Proposed Softscape - 98.99m² (41.57%)</p> <p>7. Pool - 47.57m²</p>	<p>DIANAWOOD RIDGE</p> <ol style="list-style-type: none"> Grades and drainage pattern at lot perimeter to remain All existing property lines swales to be undisturbed 0.6m from property line to remain undisturbed All elevations and setbacks are to be confirmed by contractor prior to construction. Existing boundary elevations along the site perimeter shall remain undisturbed. Drainage received from adjacent properties shall be accommodated and drainage from the subject lands shall be self-contained. Pursuant to By-law, all tree within minimum distance of Construction Activity, must be protected using the protection fencing while work is underway. All proposed swales to be 2% min. to 5% max. with min. depth of 0.15m. Transitional slopes not to exceed 3:1. Boulevard and sidewalk (if applicable) to be restored to original condition or better. All gates to be self-closing and self-latching. Fencing around pool area to be non-climbable. Minimum 1.2m, max 1.8m high. For chain link fences the maximum size of each link is 1 1/2". Pool setback to be in accordance of the minimum distance to property line. The Owner is responsible to ensure all construction and grading is in conformity with this approved Site Grading Plan or/ Site Alteration Plan and to the satisfaction of City staff. 	<p>EXISTING GRADES PROPOSED GRADES</p> <p>EXIT PROPERTY LINE</p> <p>WALL FENCE SWALE DRAINAGE PATTERN GATE</p> <p>GAS HYDRO IRRIGATION PANEL WATER GAS AC UNIT WATER BOX PEDESTAL EXISTING TREES</p>
<p>STANDARD DRAWING NOTES</p> <ol style="list-style-type: none"> Roof drains to discharge at front of dwelling units onto grassed areas via concrete splash pads and not conflict with walkways. The contractor shall check and verify all given grade elevations prior to commencement of construction. Footings to bear on natural undisturbed soil or rock and to be a minimum of 1.22m below finished grade. All front and rear yards shall be graded at a 2% -5% grade within 6.0m of the dwelling unit. Maximum driveway slope shall be 8%. The maximum, allowable slope is 3:1 (horizontal to vertical) with a maximum elevation difference of 600mm. Driveways to be set back a minimum of 1.0m, from above ground services or other obstruction. 		

NOTE
This plan is a graphic representation of the design intent until reviewed and confirmed by the contractor prior to the commencement of construction. Material palettes are subject to change base on availability and condition. All dimensions and grades are to be reviewed and confirmed by the contractor prior to construction.

PROJECT
**22 DIANAWOOD RIDGE
VAUGHAN, ON**

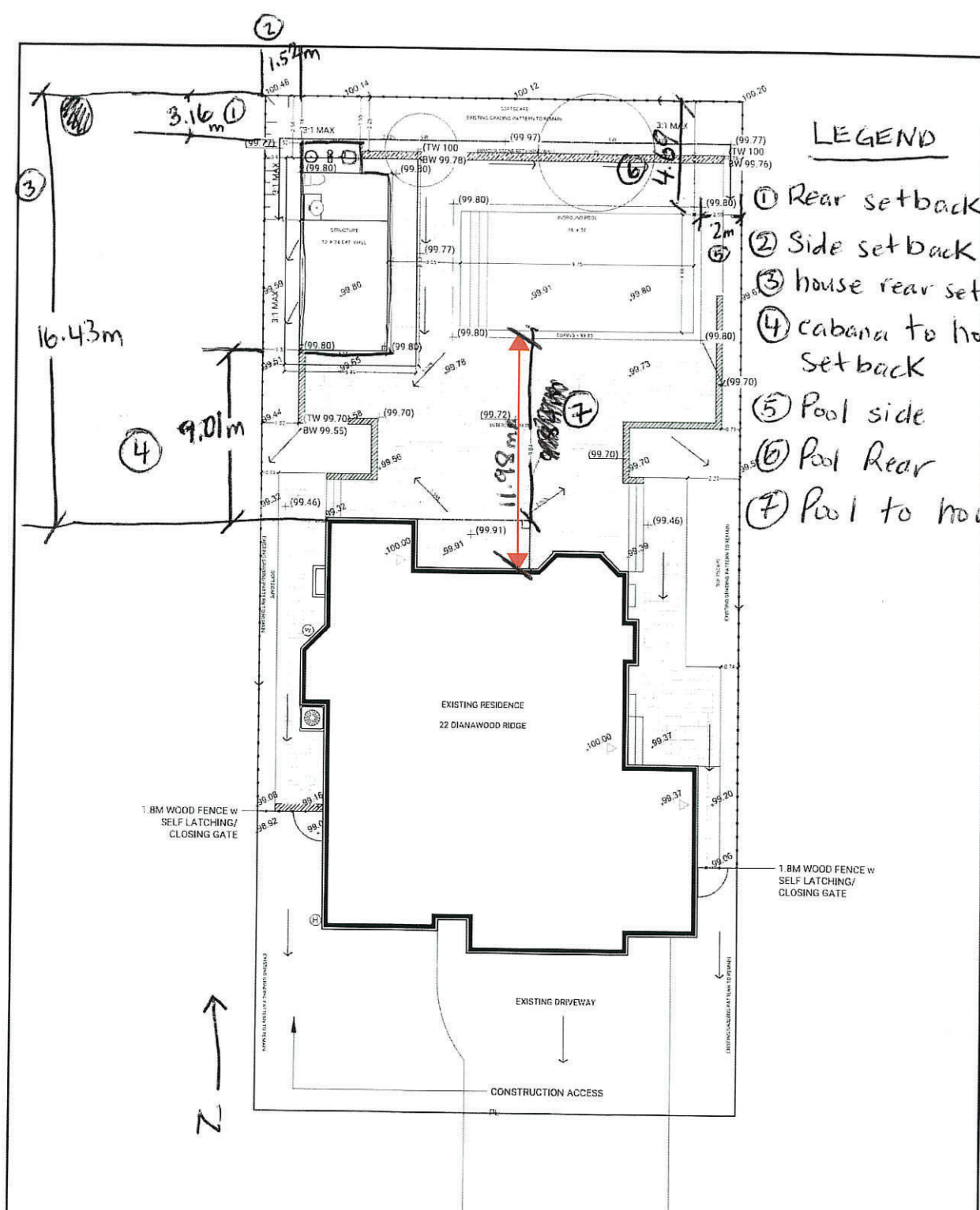
DRAWING
LAYOUT PLAN

DATE
December 4, 2020

PLAN NORTH
SCALE
1:150

REVISION
A

SHEET
L3



LEGEND

- ① Rear setback
- ② Side setback
- ③ house rear setback
- ④ cabana to house setback
- ⑤ Pool side
- ⑥ Pool Rear
- ⑦ Pool to house

SITE DATA		GENERAL NOTES		LEGEND	
1. Total Lot Area - 231.45m ²	4. Rear Yard Area - 373.33m ²	1. Grades and drainage patterns at lot perimeter to remain.	DIANAWOOD RIDGE	EXISTING GRADES	⊙ GAS
2. Limit of Coverage of structures over 10m ² - 75%	5. Rear Yard Setback - 147.87m ²	2. All existing property lines, walls to be used as noted.		PROPOSED GRADES	⊙ HYDRO
a. House Coverage - 228.28m ²	6. Proposed House - 228.28m ²	3. 0.5m Minimum Setback from all boundaries.		EXISTING PROPERTY LINE	⊙ WATER
b. Proposed Structure - 26.7m ²	7. Proposed Cabana - 228.28m ²	4. All elevations and setbacks are to be confirmed by contractor prior to construction.		PROPERTY LINE	⊙ GAS
c. Overall percentage covered by building/structures over 10m ² - 26.32%	8. Proposed Pool - 98.96m ² (41.57%)	5. Existing boundary elevations along the site perimeter shall remain unaltered. Drainage received from adjacent properties shall be accommodated and drainage from the subject lands shall be self-contained.		EXISTING WALL	⊙ AC UNIT
	9. Pool - 47.57m ²	6. Existing boundary elevations along the site perimeter shall remain unaltered. Drainage received from adjacent properties shall be accommodated and drainage from the subject lands shall be self-contained.		PROPOSED WALL	⊙ WATER BOX
		7. Permitted to Egress, all the while, the minimum distance of Construction Access, must be protected using the protection fencing while work is underway.		EXISTING SWALE	⊙ FERTILIZER
		8. Traditional slopes not to exceed 3:1.		PROPOSED SWALE	⊙ EXISTING TREE
		9. Retention and retaining (if applicable) to be restored to original condition or better.		EXISTING DRAINAGE PATTERN	
		10. All gates to be self-latching and self-closing.		DATE	
		11. Fencing around pool area to be non-climbable. Maximum 1.2m, max 1.8m high. If no chain link fences the maximum size of each link is 1" x 1".			
		12. Pool setbacks to be in accordance of the minimum distance to property line.			
		13. The Owner is responsible to ensure all construction and grading is in conformity with this approved Site Grading Plan or Site Alteration Plan and to the satisfaction of City staff.			

NOTE:
This plan is a graphic representation of the design ideas used here and confirmed by the contractor prior to the commencement of construction. Material quantities are subject to change based on availability and quantity. All dimensions and grades are to be reviewed and confirmed by the contractor prior to construction.

PROJECT: 22 DIANAWOOD RIDGE VAUGHAN, ON

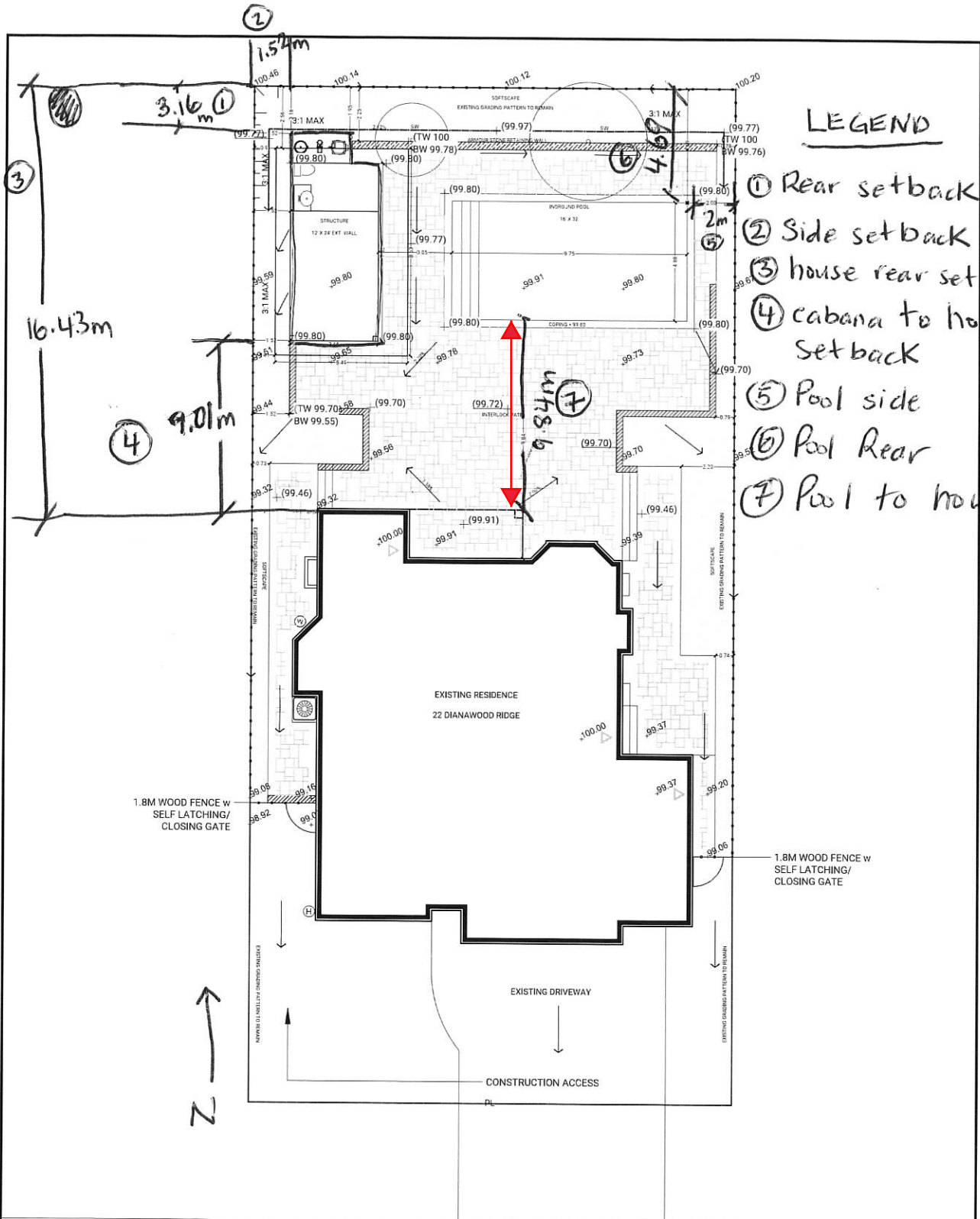
DRAWN: LAYOUT PLAN

DATE: December 4, 2020

SCALE: 1:150

REVISION: A

SHEET: L3



SITE DATA	
1. Total Lot Area - 837.48m ²	4. Rear Yard Area - 373.13m ²
2. Limit of coverage of structures over 10m ² - 35%	Required Softscape - 142.878m ²
a. House Coverage - 229.29m ²	5. Proposed Hardscape - 226.57m ²
b. Proposed Structure - 28.76m ²	6. Proposed Softscape - 88.99m ² (41.57%)
c. Overall percentage covered by buildings/structures over 10m ² - 30.57%	7. Pool - 47.57m ²

GENERAL NOTES	
DIANAWOOD RIDGE	
1. Grades and drainage pattern at lot perimeter to remain	12. Pool setback to be in accordance of the minimum distance to property line
2. All existing property lines shall be undisturbed	13. The Owner is responsible to ensure all construction and grading is in conformity with this approved Site Grading Plan or Site Alteration Plan and to the satisfaction of City staff.
3. 0.5m from property line to remain undisturbed	
4. All elevations and setbacks are to be confirmed by contractor prior to construction	
5. Existing boundary elevations along the site perimeter shall remain undisturbed. Drainage received from adjacent properties shall be accommodated and drainage from the subject lands shall be self-contained.	
6. Pursuant to By-Law, all free within minimum distance of Construction Activity, must be protected using the protection fencing while work is underway	
7. All proposed swales to be 2% min. to 5% max. with min. depth of 0.15m	
8. Transitional slopes not to exceed 2:1	
9. Boulevard and sidewalk (if applicable) to be restored to original condition or better.	
10. All gates to be self-closing and self-latching	
11. Fencing around pool area to be non-climbable. Minimum 1.2m, max 1.8m high. For chain link fences the maximum size of each link is 1" x 1"	

LEGEND	
EXISTING GRADES	GAS
PROPOSED GRADES	HYDRO
EXIT	IRRIGATION PANEL
PROPERTY LINE	WATER
WALL	GAS
FENCE	AC UNIT
SWALE	WATER BOX
DRAINAGE PATTERN	PEDESTAL
GATE	EXISTING TREES

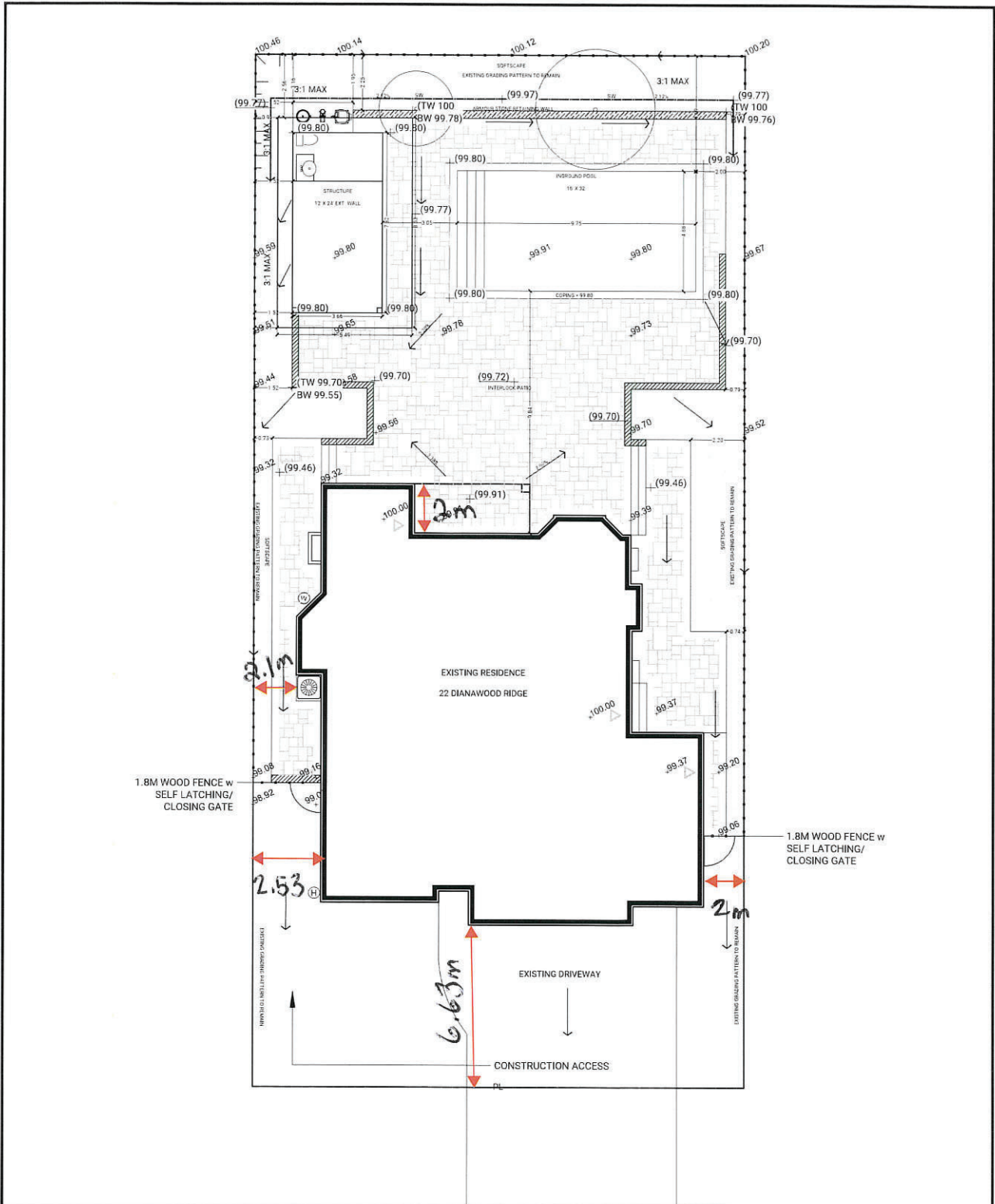
NOTE
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PROJECT
**22 DIANAWOOD RIDGE
VAUGHAN, ON**

DRAWING
LAYOUT PLAN

DATE
December 4, 2020

PLAN NORTH	SCALE
A	1:150
REVISION	SHEET
A	L3



SITE DATA	GENERAL NOTES	LEGEND
<p>1. Total Lot Area - 637.89m²</p> <p>2. Limit of coverage of structures over 10m² - 35%</p> <p>3. House Coverage - 229.26m²</p> <p>4. Proposed Structure - 26.76m²</p> <p>5. Overall percentage covered by building/structures over 10m² - 20.57%</p> <p>4. Rear Yard Area - 373.13m²</p> <p>5. Required Softscape - 142.878m²</p> <p>6. Proposed Hardscape - 226.57m²</p> <p>7. Proposed Softscape - 98.99m² (41.57%)</p> <p>7. Pool - 47.31m²</p>	<p>DIANAWOOD RIDGE</p> <p>1. Grades and drainage pattern at lot perimeter to remain</p> <p>2. All existing property lines swales to be undisturbed</p> <p>3. 0.6m from property line to remain undisturbed</p> <p>4. All elevations and setbacks are to be confirmed by contractor prior to construction</p> <p>5. Existing boundary elevations along the site perimeter shall remain undisturbed. Drainage received from adjacent properties shall be accommodated and drainage from the subject lands shall be self-contained.</p> <p>6. Pursuant to By-Law, all trees within minimum distance of Construction Activity, must be protected using the protection fencing while work is underway.</p> <p>7. All proposed swales to be 2% min. to 5% max. with min. depth of 0.15m</p> <p>8. Transitional slopes not to exceed 3:1</p> <p>9. Boulevards and sidewalk (if applicable) to be restored to original condition or better</p> <p>10. All gates to be self-closing and self-latching</p> <p>11. Fencing around pool area to be non-climbable. Minimum 1.2m, max 1.8m high. For chain link fences the maximum size of each link is 1" x 1"</p> <p>12. Pool setback to be in accordance of the minimum distance to property line</p> <p>13. The Owner is responsible to ensure all construction and grading is in conformity with this approved Site Grading Plan or Site Alteration Plan and to the satisfaction of City staff</p>	<p>EXISTING GRADES</p> <p>PROPOSED GRADES</p> <p>EXIT</p> <p>PROPERTY LINE</p> <p>WALL</p> <p>FENCE</p> <p>SW</p> <p>DRAINAGE PATTERN</p> <p>GATE</p> <p>GAS</p> <p>HYDRO</p> <p>IRRIGATION PANEL</p> <p>WATER</p> <p>GAS</p> <p>AC UNIT</p> <p>WATER BOX</p> <p>FEDESTAL</p> <p>EXISTING TREES</p>
<p>STANDARD DRAWING NOTES</p> <p>1.1 Roof drains to discharge at front of dwelling unit onto grassed areas via concrete splash pads and not conflict with walkways</p> <p>1.2 The contractor shall check and verify all given grade elevations prior to commencement of construction. Footings to bear on natural undisturbed soil or rock and to be a minimum of 1.22m below finished grade</p> <p>1.3 All front and rear yards shall be graded at a 2%-5% grade within 6.0m of the dwelling unit</p> <p>1.4 Maximum driveway slope shall be 5%</p> <p>1.5 The maximum allowable slope is 3:1 (horizontal to vertical) with a maximum elevation difference of 600mm.</p> <p>1.6 Driveways to be setback a minimum of 1.0m from above ground services or other obstruction.</p>		

<p>NOTE</p> <p>This plan is a graphic representation of the design sheet until reviewed and confirmed by the contractor prior to the commencement of construction. Material quantities are subject to change based on availability and condition. All dimensions and grades are to be reviewed and confirmed by the contractor prior to construction.</p>	<p>PROJECT</p> <p>22 DIANAWOOD RIDGE</p> <p>VAUGHAN, ON</p>	<p>DRAWING</p> <p>LAYOUT PLAN</p>	<p>SCALE</p> <p>1:150</p>
	<p>DATE</p> <p>December 4, 2020</p>	<p>DESIGNER</p> <p>A</p>	<p>SHEET</p> <p>L3</p>

PERMIT DRAWINGS

PROJECT: 12' x 24' SANARA
CUSTOMER: SAM CASTELLI
ADDRESS: 22 DIANAWOOD RIDGE,
WOODBRIDGE, ON, L4L 6X9
DATE: OCTOBER 19, 2020
VERSION: V1.02

		TITLE: PERMIT DRAWINGS	ORDER ID: 54027	SALES APPROVED BY: PRODUCTION APPROVED BY: JIM HICKEY	CURTIS NOOVEN JIM HICKEY	PAGES: 11
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Tel: 416-498-9379 / 1-800-663-5042 / Fax: 416-431-2454 / www.summerwood.com / design@summerwood.com

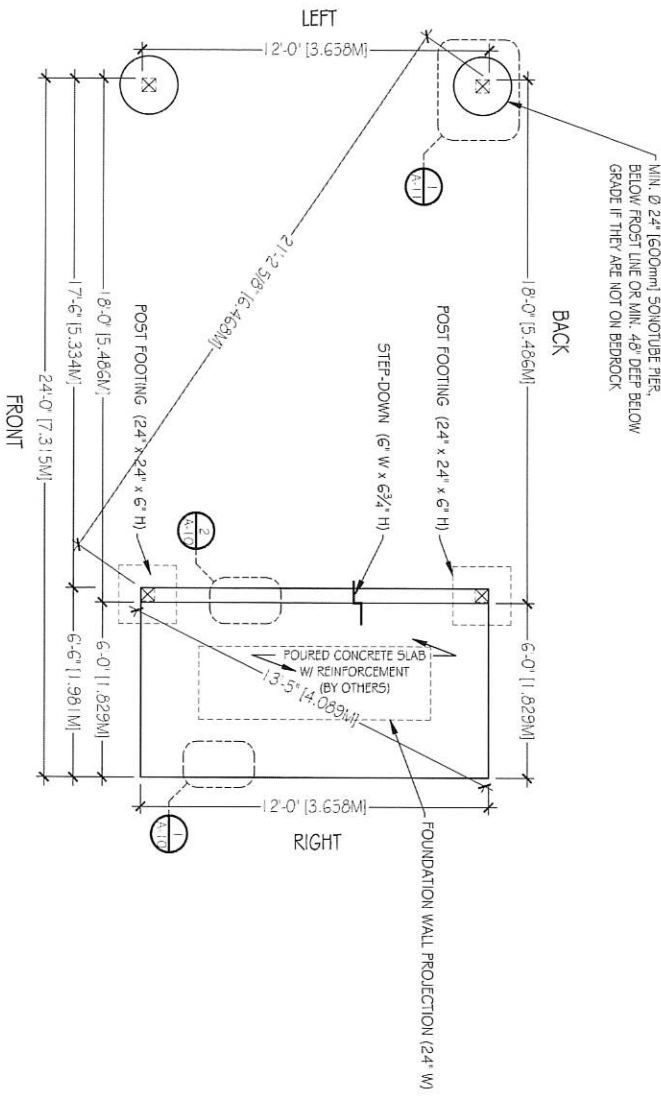
NOTES:
 ALL DOOR AND WINDOW OPENINGS SHOWN
 ARE R.S.O. (ROUGH SIZED OPENINGS) UNLESS
 OTHERWISE SPECIFIED.

GENERAL NOTES:

1. ALL LUMBER TO BE NO. 1 & 2 SPALCE OR BETTER UNLESS OTHERWISE NOTED. AND ALL LUMBER FOR EXTERIOR USE SHALL BE A SPECIES RESISTANT TO DECAY, PRESERVATIVE TREATED TO PREVENT DECAY, OR PRESSURE TREATED.
2. ALL FLYWOOD SHALL BE STAMPED EXTERIOR GRADE.
3. ALL FOOTINGS TO BE IN UNDISTURBED SOIL.
4. FOUNDATION TO BE NO PROVIDED BY OWNER/ CONTRACTOR, AND SHOULD MEET OBC /LOCAL CODE.
5. ROOF LOAD DESIGN: 1.1 PSF.
6. FINISHED GRADE TO BE CONFIRMED BY OWNER/ CONTRACTOR.
7. ALL TIES AND MECHANICAL CONNECTIONS TO BE RESISTANT TO CORROSION, INDICATED BY A QUALIFIED PERSON, AND TO BE PROVIDED AND INSTALLED BY OWNER/ CONTRACTOR TO MEET OBC / LOCAL CODE.
8. LINTELS AND BEAMS TO BE DESIGNED BY A QUALIFIED PERSON FOR SPANS GREATER THAN 6' (1.83M).
9. ALL BEAMS MUST HAVE FULL WIDTH BEARING ON POSTS, AND ALL POSTS TO HAVE SOLID BLOCKING DOWN TO FOUNDATION.
10. WALL LATERAL LOAD ANALYSIS TO BE DONE BY A PROFESSIONAL ENGINEER.
11. ALL INFERRED LUMBER (LVL) TO BE 3100 Fy - 2.0 E MICRO LAM, 1 1/2" FACT RfV, WETWEATHER LVL.
12. WHEN ROOFING SYSTEM REQUIRES, USE RfV CURFS OR SOLID BLOCKING AT ALL ROOF SHEATHING EDGES NOT SUPPORTED BY FRAMING MEMBERS.
13. NAILS, SCREWS AND BOLTS SIZES AND PATTERNS AS PER OBC /LOCAL, BUILDING CODE, AND SHALL NOT CAUSE SPLITTING OF WOOD ELEMENTS.
14. ALL WORK TO CONFORM WITH THE LATEST VERSION OF THE OBC, AND ALL WORKMANSHIP TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE. IF THERE ARE ANY DISCREPANCIES BETWEEN THE GENERAL NOTES ON THESE PLANS AND THE OBC, THE OBC TAKES PRECEDENCE (T.Y.).
15. ALL WINDOWS SHALL BE SO FRAMED, ANCHORED, FASTENED AND BRACED TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY; AND ALL WORK TO BE DONE IN ACCORDANCE WITH OBC /LOCAL BUILDING CODE.
16. IT IS THE RESPONSIBILITY OF CONTRACTOR TO VERIFY THAT ALL OTHER CODE REQUIREMENTS ARE MET AND THAT THE ENGINEERING RECOMMENDATIONS ARE CORRECTLY INCORPORATED IN THE CONSTRUCTION.
17. FOUNDATION TO BE PLACED ACCORDING TO THIS PLAN. THE CONCRETE SLAB SHALL STIFF AWAY.

FOUNDATION LAYOUT

SCALE: 1/4" = 1'-0"



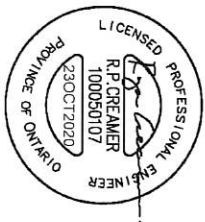
Summerwood
 1st Flr 416-989-3919 / 1-800-659-9542
 info@summerwood.com
 design@summerwood.com

PROJECT NAME:
 12' x 24' SANVARA

CUSTOMER:
 CASTELLI

ORDER ID:
 54027

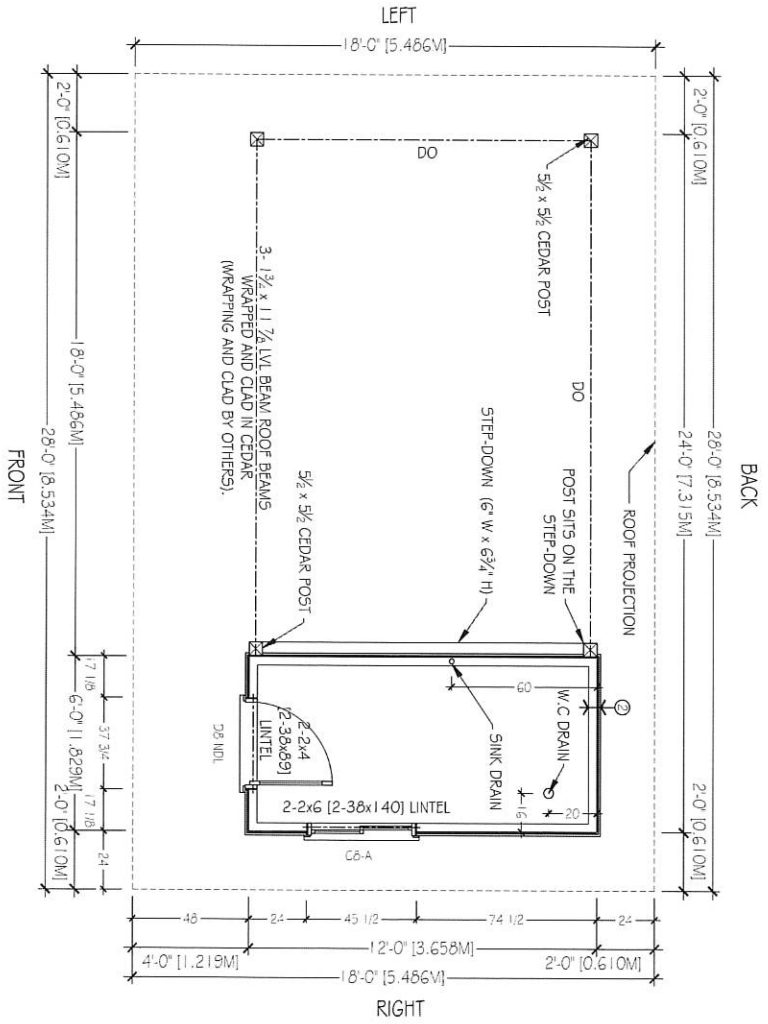
DATE: 19-10-2020
 PAGE: 01 OF 11
 V1.02



NOTES:
 ALL DOOR AND WINDOW DIMENSIONS SHOWN ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS OTHERWISE SPECIFIED.

- DO: DITTO (REFRATS, SAME AS)
- MAIL SIZES AND PATTERNS AS PER BUILDING CODE.

1 FLOOR PLAN
 A-02 SCALE: 1/4" = 1'-0"



Summerwood PRODUCTS
 1st Flr 416-948-9379 / 1-800-653-5042
 design@summerwood.com

PROJECT NAME
 12' X 24' SAVARA

CUSTOMER
 CASTELLI

ORDER ID
 54027

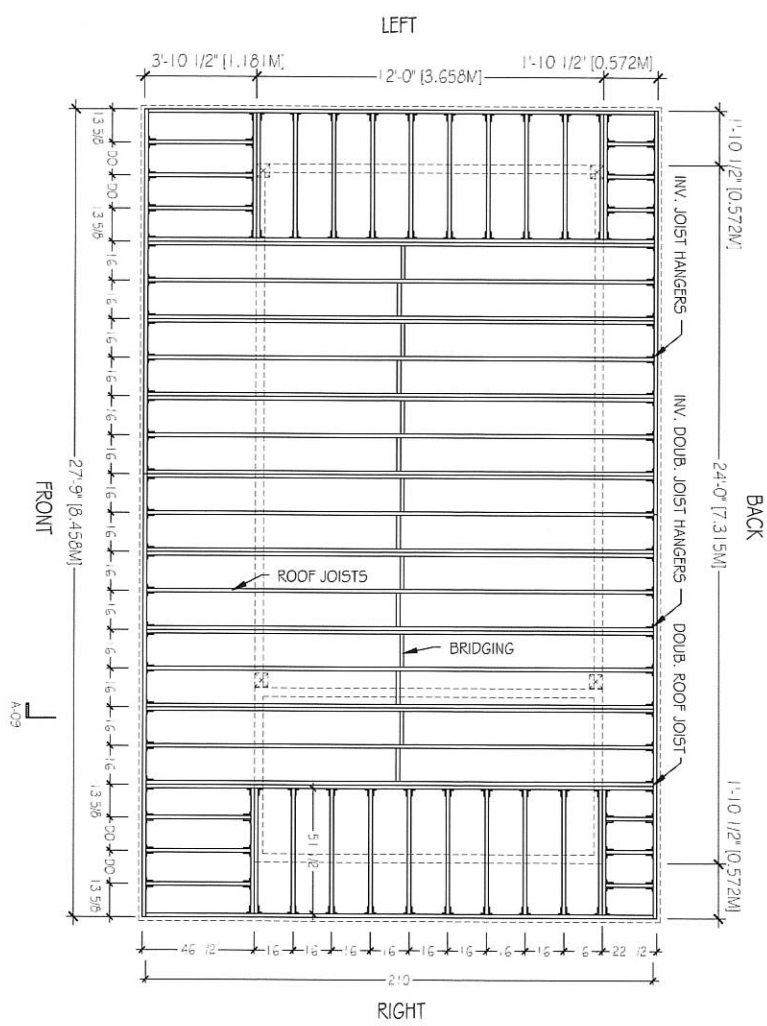
DATE: 19 10 2020
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 V1.02



NOTES:
 ALL DOOR AND WINDOW DIVISIONS SHOWN
 ARE P.S.O. (ROUGH STUD OPENINGS) UNLESS
 OTHERWISE SPECIFIED.

ROOF FRAMING:

- 2x10 (38x235) ROOF JOISTS @ 16" (0.40M) MAX. w/ BRIDGING. DOUB. JOIST EVERY OTHER JOIST
- 3 - 1 1/2" x 1 1/2" LVL ROOF BEAM WRAPPED AND CLAD IN CEDAR (WRAPPING AND CLAD BY OTHERS).
- DO: DITTO (REPEATS, SAME AS)
- NAIL SIZES AND PATTERNS AS PER OBC / LOCAL BUILDING CODE



1 ROOF FRAMING PLAN
 A-03 SCALE: 1/4" = 1'-0"

Summerwood PRODUCTS
 1-844-438-3379 / 1-800-663-3642
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PROJECT NAME:
 12' x 24' SANARA

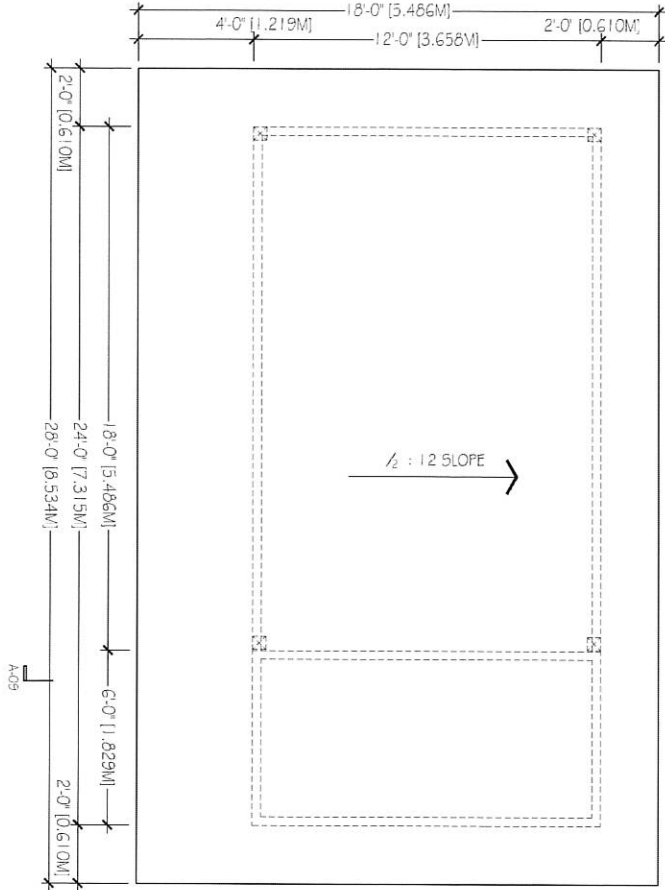
CUSTOMER:
 CASTELLI

ORDER ID:
 54027

DATE: 19 10 2020
 PAGE: 03 OF 11
 V1.02



- ROOF COVERAGE: 395.9 54' Ft [36.8M²]
- PROVIDE 3'-0" STRIP OF "ICE & WATER SHIELD" ON EITHER SIDE OF ALL VALLEYS AND ON ROOF ADJACENT TO VERTICAL WALL SURFACE AND PROVIDE EAVE PROTECTION (TYP.)
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFITS, ROOF OR GABLE VENTS OR A COMBINATION OF THESE, EQUALLY DISTRIBUTED BETWEEN THE TOP OF THE ROOF SPACE AND THE SOFFITS.
- ROOF VENTILATION TO HAVE A VENTING RATIO OF 1 TO 300 OF THE INSULATED CEILING AREA IF ANY. FLAT ROOFS & ROOFS WITH A SLOPE LESS THAN 1 IN 6 SHALL BE VENTED 1 TO 150.
- SLOPE ALL GUTTERS TOWARDS DOWNSPOUTS. LOCATION OF DOWNSPOUTS TO SUIT GRADE, CODE AND APPEARANCE. VERIFY W/ OWNER ON SITE.
- CONTRACTOR TO LOCATE DOWNSPOUTS IN THE BEST POSSIBLE LOCATION ON SITE IN ACCORDANCE TO OBC.



1 ROOF PLAN
A-04 SCALE: 1/8" = 1'-0"

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1-877-416-498 93 79 / 1-800-833-9042
www.summerwood.com
9000 Steeles Ave. East, Unit 10
Richmond Hill, Ontario L4B 1N2

PROJECT NAME
12' X 24' SANARA

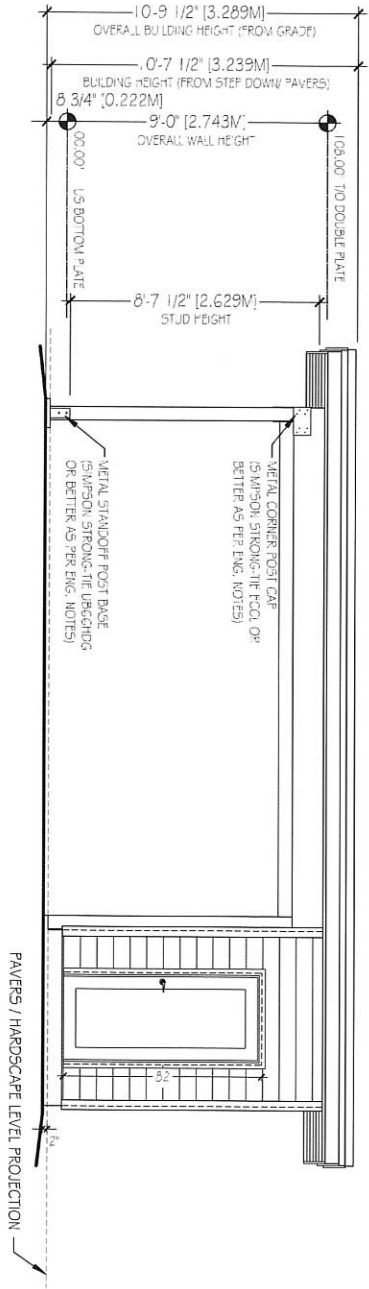
CUSTOMER
CASTELLI

ORDER ID
54027

DATE: 19 10 2020
PAGE: 04 OF 11
V1.02



NOTES:
 ALL DOOR AND WINDOW DIMENSIONS SHOWN
 ARE R.S.O. (ROUGH SILL OPENINGS) UNLESS
 OTHERWISE SPECIFIED.



FOUNDATION IS PROVIDED BY OWNER OR CONTRACTOR.
 FOUNDATION SHOULD MEET LOCAL BUILDING CODE STANDARDS

(FINISHED GRADE TO BE CONFIRMED
 BY OWNER / CONTRACTOR)

1 FRONT ELEVATION
 A-05
 SCALE: 1/4" = 1'-0"

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 PRODUCTS
 18476 989 93119 | 1-800-663-9042
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PROJECT NAME:
 12' X 24' SANARA

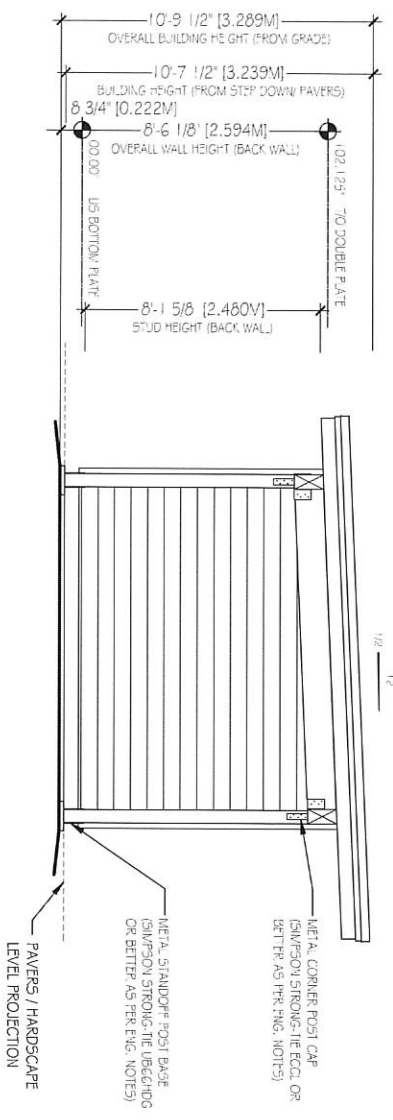
CUSTOMER:
 CASTELLI

ORDER ID:
 54027

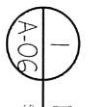
DATE: 19 10 2020
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NOTES:
 ALL DOOR AND WINDOW DETAILS SHOWN
 ARE S.O. (ROUGH STUD OPENINGS) UNLESS
 OTHERWISE SPECIFIED.



FINISHED GRADE TO BE CONFIRMED
 BY OWNER / CONTRACTOR
 FOUNDATION IS PROVIDED BY OWNER OR CONTRACTOR.
 FOUNDATION SHOULD MEET LOCAL BUILDING CODE STANDARDS



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

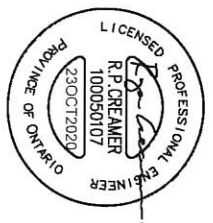
Summerwood
 124 416 499 93 79 / 1-800-663-93-42
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 info@summerwood.com

PROJECT NAME
 12 x 24 SANARA

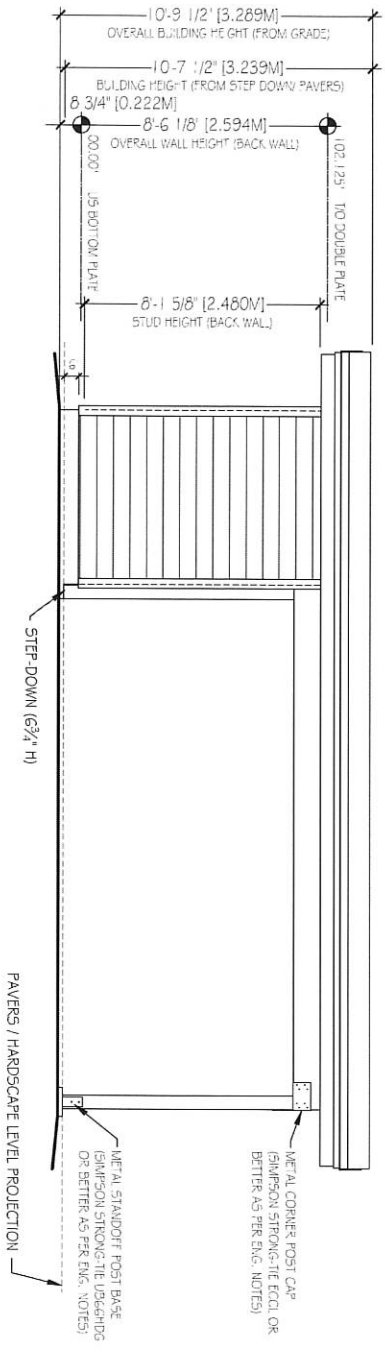
CUSTOMER
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 54027

DATE: 19 10 2020 | V1.02
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NOTES:
 ALL DOOR AND WINDOW DIMENSIONS SHOWN
 ARE F.S.O. (ROUGH SIZED OPENINGS) UNLESS
 OTHERWISE SPECIFIED



(FINISHED GRADE TO BE CONFIRMED
 BY OWNER / CONTRACTOR)

FOUNDATION IS PROVIDED BY OWNER OR CONTRACTOR.
 FOUNDATION SHOULD MEET LOCAL BUILDING CODE STANDARDS

1 BACK ELEVATION
A-07
 SCALE: 1/4" = 1'-0"

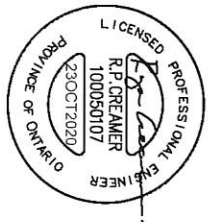
Summerwood
 PRODUCTS
 124-416-899-9379 / 1-800-663-9942
 www.summerwood.com
 info@summerwood.com

PROJECT NAME:
12 x 24 SANARA

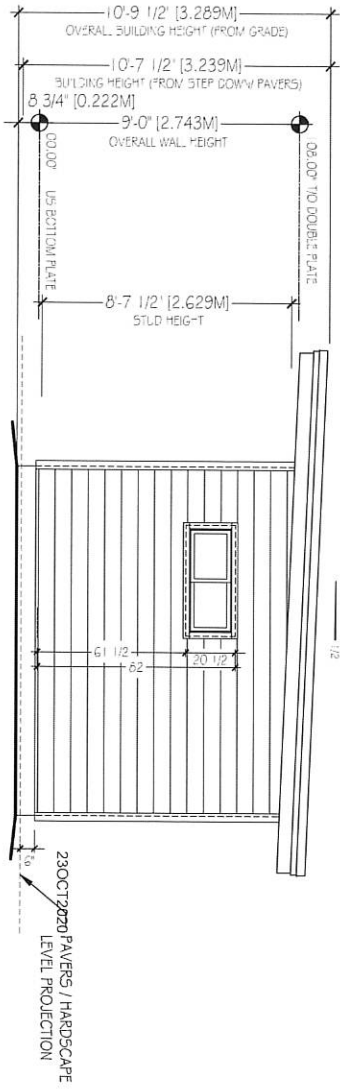
CUSTOMER:
CASTELLI

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54027

DATE: 19-10-2020
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NOTES:
 ALL WINDOW DIMENSIONS SHOWN ARE P.S.D. (FOUR STUD OPENINGS) UNLESS OTHERWISE SPECIFIED.



FOUNDATION IS PROVIDED BY OWNER OR CONTRACTOR. FOUNDATION SHOULD MEET LOCAL BUILDING CODE STANDARDS

(FINISHED GRADE TO BE CONTRACTED BY OWNER / CONTRACTOR)

1 RIGHT ELEVATION
 A-08 SCALE 1/4" = 1'-0"

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 PROJECTS
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PROJECT NAME
 12 X 24 SANARA

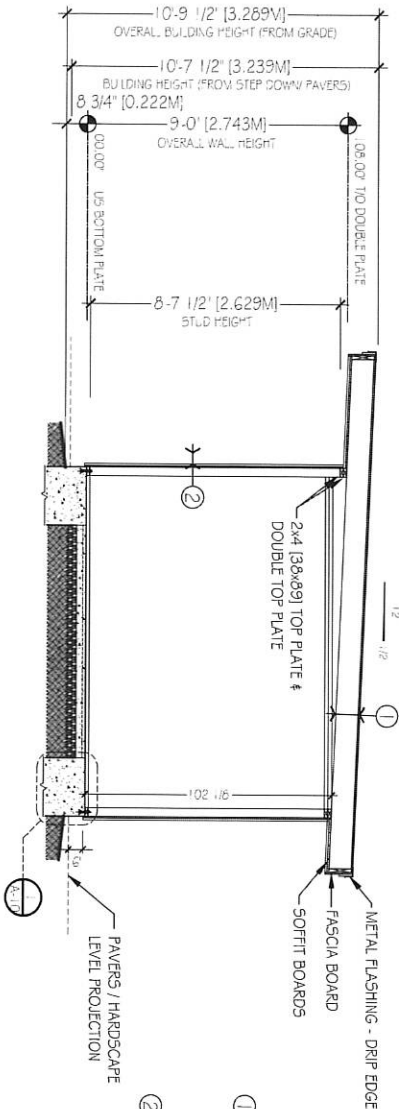
CUSTOMER
 CASTELLI

ORDER ID:
 54027

DATE: 19-10-2020 | V1.02
 PAGE: 08 OF 11



NOTES:
 ALL DOOR AND WINDOW DIMENSIONS SHOWN
 ARE F.S.D. (FOURTH STUD CENTERING), UNLESS
 OTHERWISE SPECIFIED.

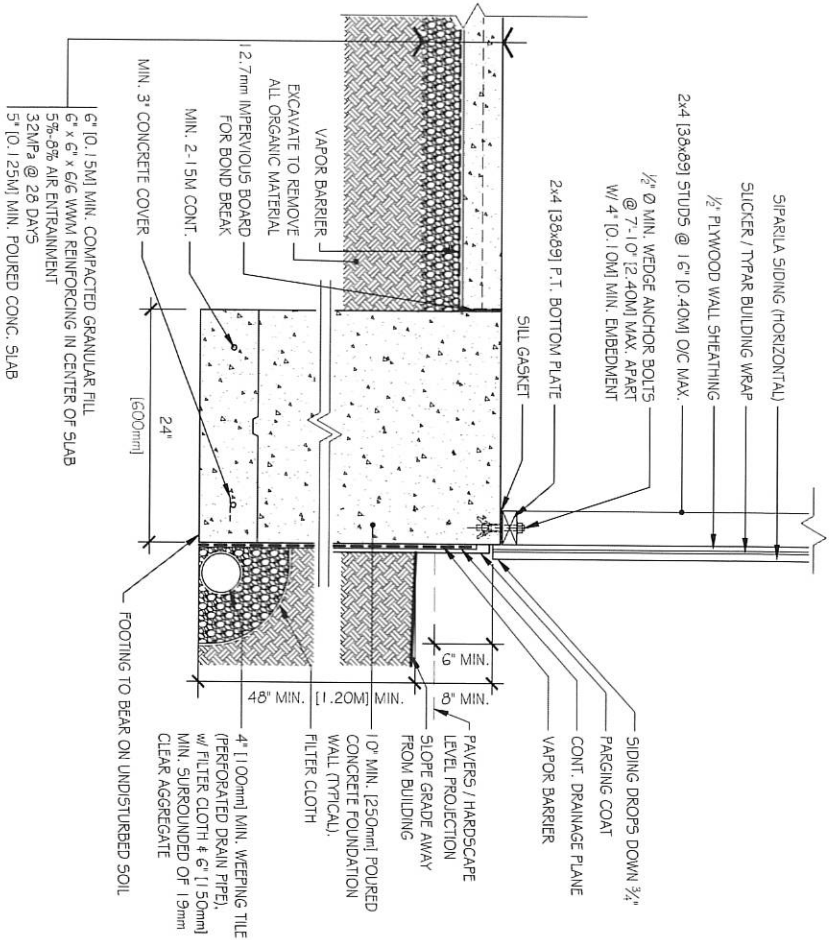


- ① EPDM RUBBERIZED FLAT ROOFING
 5/8" T&G PLYWOOD ROOF SHEATHING
 2x10 (135x235) ROOF JOISTS
 @ 16" O.C. MAX.
- ② SIPARULA SIDING
 (HORIZONTAL)
 SLICKER / TYPAR BUILDING WRAP
 1/2" PLYWOOD WALL SHEATHING
 2x4 (139x89) WALL STUDS
 @ 16" (10.40M) O.C. MAX.

FOUNDATION IS PROVIDED BY OWNER OR CONTRACTOR.
 FOUNDATION SHOULD MEET LOCAL BUILDING CODE STANDARDS

1 BUILDING SECTION
 A-09
 SCALE: 1/4" = 1'-0"

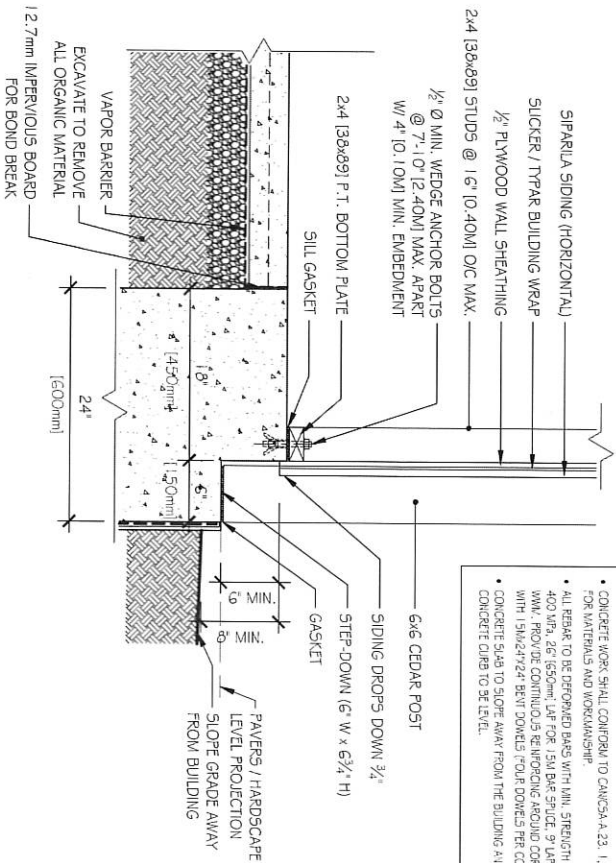




THIS FOUNDATION DETAIL SHALL NOT BE USED IN AREAS SUBJECT TO TERMITE INFESTATION.

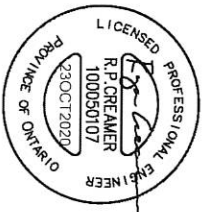
FINISHED GRADE ELEVATION TO BE CONFIRMED BY OWNER / CONTRACTOR. FOUNDATION TO BE PROVIDED BY OWNER/CONTRACTOR, AND SHOULD MEET LOCAL BUILDING CODE STANDARDS

1 FOUNDATION DETAIL 1
SCALE: 1" = 1'-0"

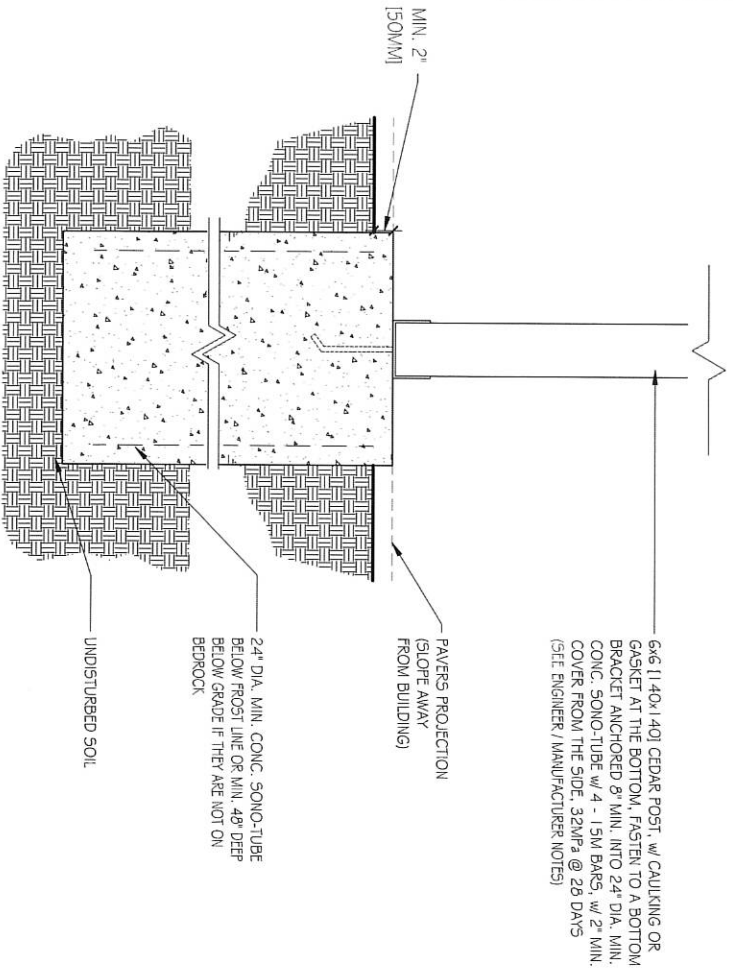


- NOTES:
- THIS IS A STANDARD DETAIL AND THE TECHNICAL INFORMATION SHOWN ON THIS SET OF DRAWINGS REGARDING FOUNDATIONS IS GENERAL IN NATURE, AND MAY OR MAY NOT REFLECT THE SPECIFIC SITE CONDITIONS. THE CUSTOMERS / CONTRACTORS ARE RESPONSIBLE FOR INDEPENDENTLY VERIFYING ANY AND ALL THE TECHNICAL INFORMATION ACCORDING TO THE SPECIFIC CONDITIONS OF THE SITE AND THE LOCAL BUILDING CODE.
 - MIN. ALLOWABLE BEARING CAPACITY OF SOIL ASSUMED: 100 LBS./IN. VOLUME DUE TO VARIATIONS IN UNDERLIEF. IF A LESSER BEARING CAPACITY IS ENCOUNTERED, IT IS RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE THE FOOTINGS REDESIGNED BY A LICENSED PROFESSIONAL TO SUIT EXISTING CONDITIONS.
 - CONCRETE WORK SHALL CONFORM TO CAN/CSA-A23.1, 2.3 FOR MATERIALS AND WORKPRACTICES.
 - ALL REBAR TO BE FORMED BARS WITH MIN. STRENGTH OF 400 MPa, 26 (650mm) LAP FOR 1.5M BAR SPICE, 9" LAP FOR WALL. PROVIDE CONTINUOUS REINFORCING AROUND CORNER WITH 1.5Mx24" BEW. DONKEYS FOUR DONKEYS PER CORNER. CONCRETE SLAB TO SLOPE AWAY FROM THE BUILDING AND CONCRETE CURB TO BE LEVEL.

2 FOUNDATION DETAIL 2
SCALE: 1" = 1'-0"



- NOTES:**
- THIS IS A STANDARD DETAIL AND THE TECHNICAL INFORMATION SHOWN ON THIS SET OF DRAWINGS REGARDING FOUNDATIONS IS GENERAL IN NATURE, AND MAY OR MAY NOT REFLECT THE SPECIFIC SITE CONDITIONS. THE CUSTOMERS / CONTRACTORS ARE RESPONSIBLE FOR INDEPENDENTLY VERIFYING ANY AND ALL THE TECHNICAL INFORMATION ACCORDING TO THE SPECIFIC CONDITIONS OF THE SITE AND THE LOCAL BUILDING CODE.
 - MIN. ALLOWABLE BEARING CAPACITY OF SOIL ASSUMED 100 kPa, NON FROST SUSCEPTIBLE AND NOT SUSCEPTIBLE TO CHANGES IN VOLUME DUE TO VARIATIONS IN MOISTURE CONTENT. IF A LESSER BEARING CAPACITY IS ENCOUNTERED, IT IS RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE FOOTINGS REDESIGNED BY QUALIFIED PROFESSIONAL TO SUIT EXISTING CONDITIONS.
 - CONCRETE WORK SHALL CONFORM TO CAN/CSA A 23.1, 2.3 FOR MATERIALS AND WORKMANSHIP.
 - ALL REBAR TO BE PREPARED BARS WITH MIN. STRENGTH OF 400 MPa, 20 (150) MPa FOR 15M BAR SPACE AT 150mm. REBAR CONTINUOUS REINFORCING AROUND CORNER WITH 150mm x 24mm BENT DOUGLAS FLOOR DOUGLES PER CORNER.
 - CONCRETE SHALL TO SLOPE AWAY FROM THE BUILDING AND CONCRETE CURBS TO BE LEVEL.



FOUNDATION DETAIL 3

SCALE: 1" = 1'-0"

Summerwood
 CONSULTANTS
 TEL: 416-898-9379 / 1-800-663-9042
 design@summerwood.com
 design@summerwood.com

PROJECT NAME
12' x 24' SANARA

CUSTOMER
CASTELLI

ORDER ID
54027

DATE: 19-10-2020 | V1.02
 PAGE: 11 OF 11



Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None.

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
York Region - No concerns

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A018-21 - REQUEST FOR COMMENTS - 22 Dianawood Rdge Woodbridge (FULL CIRCULATION)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: March-11-21 10:25 AM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Subject: [External] RE: A018-21 - REQUEST FOR COMMENTS - 22 Dianawood Rdge Woodbridge (FULL CIRCULATION)

Good morning Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | Gabrielle.hurst@york.ca | www.york.ca