

**File:** A001/21

**Applicant:** Igor Povereni and leonid Povereni

**Address:** 19 Cherry Hills Road, Concord

**Agent:** Igor Lukac

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Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

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Background History: None

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Staff Report Prepared By: Lenore Providence  
Hearing Date: Thursday, February 25, 2021

**\*Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).**



## Minor Variance Application

Agenda Item: 12

A001/21

Ward: 5

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Thursday, February 25, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Igor Povereni and Leonid Povereni

**Agent:** Igor Lukac

**Property:** 19 Cherry Hills Road, Concord ON

**Zoning:** The subject lands are zoned R3 9(465) and subject to the provisions of Exception under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed (below grade) stairwell which will be used to access a side entrance located in the northerly side yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A minimum interior side yard of 0.9 metres is required to walk up stairs	To permit an interior side yard of 0.71 metres to walk up stairs.

**Background (previous applications approved by the Committee on the subject land): N/A**

**Adjournment History: N/A**

### Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

#### Committee of Adjustment:

Public notice was mailed on February 10, 2021

Applicant confirmed posting of signage on February 8, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1978

Applicant has advised that they cannot comply with By-law for the following reason(s): Outside stairs are needed to access the basement. However, if their min width is respected, stairs setback would be 0.71 m.

**Adjournment Request:** None

**Building Standards (Zoning Review):**

Stop Work Order(s) and Order(s) to Comply: Order No. 20-111136, Order to Comply for OTC, basement walkup at North side, Issue Date: Sep 17, 2020

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

**Building Inspections (Septic):**

No comments or concerns

**Development Planning:**

Vaughan Official Plan 2010 ('VOP 2010'):"Low-Rise Residential"

Development Planning staff have reviewed the proposal with the understanding that the minimum interior side yard of 0.71m to a walk up stairs is for purposes of servicing a single-family dwelling.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Development Engineering:**

The Development Engineering (DE) Department does not object to variance application A001/21.

**Parks Development - Forestry:**

No comments or concerns.

**By-Law and Compliance, Licensing and Permit Services:**

No comments or concerns.

**Financial Planning and Development Finance:**

No comment no concerns.

**Fire Department:**

No comments or concerns.

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

None.

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

None.

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96 and subject to the following conditions:  
N/A

### **Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

### **Please Note:**

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

### **Notice to the Applicant – Development Charges**

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](http://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

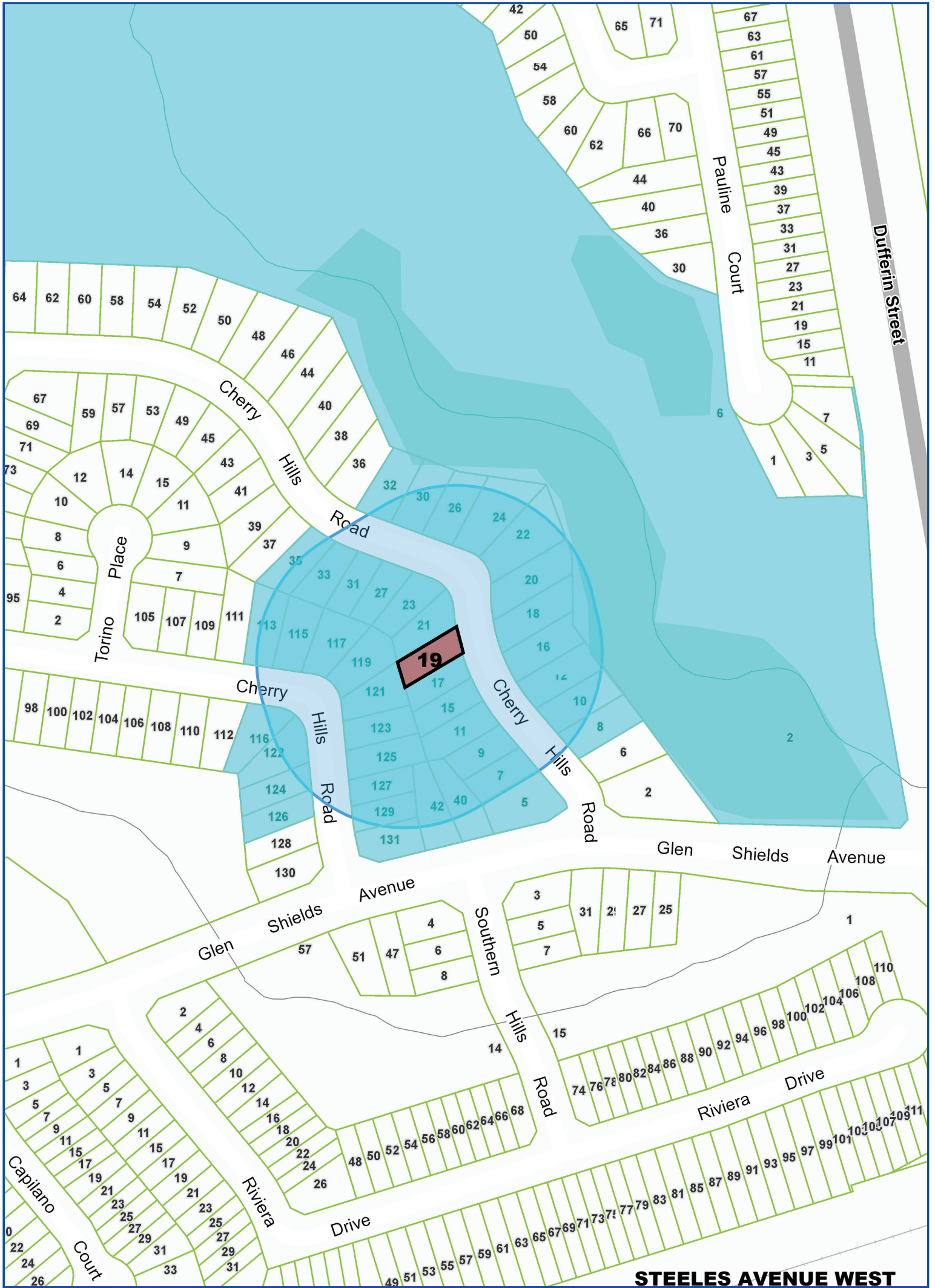
**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8394  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

## **Schedule A: Plans & Sketches**

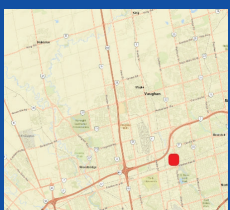
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

**Location Map**  
**Plans & Sketches**



**STEELES AVENUE WEST**

Map Information:



Title:

19 Cherry Hills Road, Concord

# NOTIFICATION MAP - A001/21

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



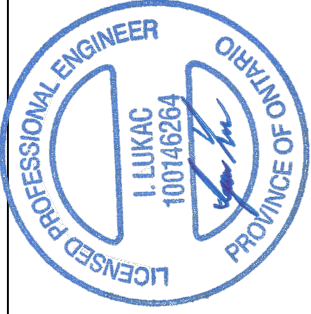
Created By:

Infrastructure Delivery  
Department  
February 9, 2021 11:13 AM

Projection:  
NAD 83  
UTM Zone  
17N



ENGINEERING STAMP



By Igor Lukac at 10:23:57 AM, 1/29/2021

PROJECT NUMBER	20-KNG-013
DRAFTER / DATE	OJ / 11/20/2020
REV 1	OJ / 1/29/2021
REV 2	
REV 3	
REV 4	

DESIGN FIRM



**Distributed Engineering**

Oakville, Ontario, Canada  
+1.905.399.3671  
[www.distributedeng.com](http://www.distributedeng.com)

CLIENT

**Povereni Leonid**

PROJECT

**BASEMENT  
WALK-OUT DESIGN**

19 Cherry Hills Road  
Vaughan, ON  
L4K 1M2

TITLE

**SITE PLAN**

DATE

1/29/2021

PAPER SIZE

TABLOID

SCALE

SHEET

**A1**

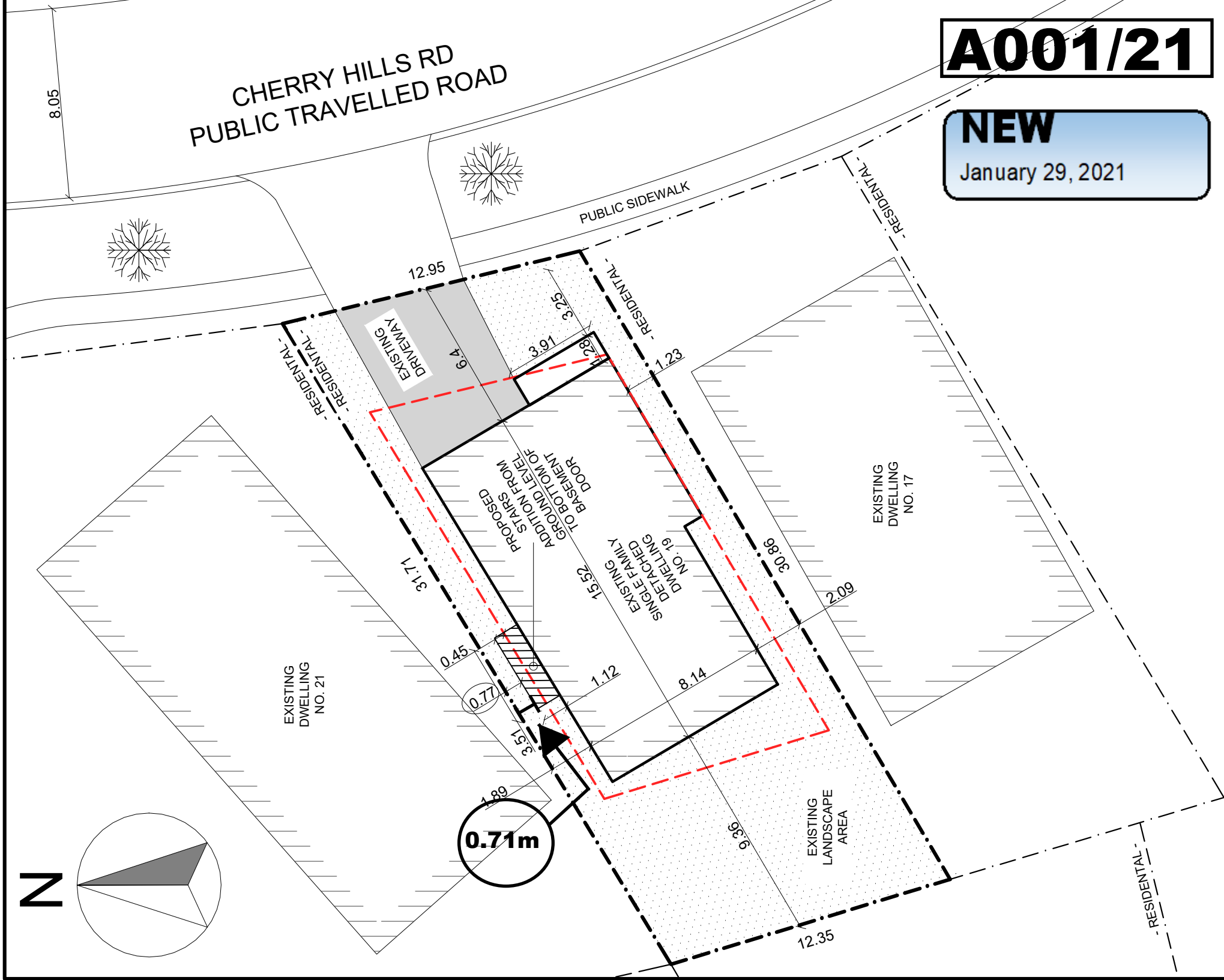
**SINGLE FAMILY DETACHED DWELLING - R3 RESIDENTIAL ZONE**

	EXISTING	PROPOSED	REQUIRED	COMPLIANT
LOT AREA	380.96 m <sup>2</sup> 4100.58 sq. ft.	380.96 m <sup>2</sup> 4100.58 sq. ft.	MIN 360 m <sup>2</sup> 3875 sq. ft.	N/A
LOT COVERAGE	134.11 m <sup>2</sup> 1443.59 sq. ft. 35.20 %	134.11 m <sup>2</sup> 1443.59 sq. ft. 35.20 %	MAX 152.38 m <sup>2</sup> 1640.23 sq. ft. 40 %	N/A
LANDSCAPE AREA	203.41 m <sup>2</sup> 2189.49 sq. ft. 53.39 %	203.41 m <sup>2</sup> 2189.49 sq. ft. 53.39 %	/	N/A
LOT WIDTH	42'-6" 12.95 m	42'-6" 12.95 m	MIN 40'-0" 12.00 m	N/A
LOT DEPTH	101'-3" 30.86 m	101'-3" 30.86 m	/	N/A
FRONT YARD SETBACK	21'-0" 6.40 m	21'-0" 6.40 m	MIN 14'-10" 4.5 m	N/A
REAR YARD SETBACK	30'-8 1/2" 9.36 m	30'-8 1/2" 9.36 m	MIN 24'-8" 7.5 m	N/A
INTERIOR SETBACK NORTH	6'-2 1/2" 1.89 m	2'-6" 0.77 m	MIN 4'-0" 1.20 m	<b>NO</b>
INTERIOR SETBACK SOUTH	4'-0 1/2" 1.23 m	4'-0 1/2" 1.23 m	MIN 4'-0" 1.20 m	N/A
BUILDING HEIGHT	27'-3" 8.3 m	27'-3" 8.3 m	MAX 31'-2" 9.5 m	N/A
HARD SURFACES AREA	388.99 sq. ft. 9.49%	388.99 SQ.FT. 9.49%	/	N/A

City of Vaughan - Zoning By-law 1-88

LEGEND:

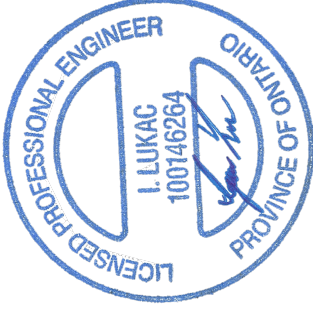
	EXISTING HOUSES		ADDITION
	HARD SURFACE		PROPERTY LINE
	LANDSCAPE		BUILDING SETBACK



**A001/21**

**NEW**  
January 29, 2021





By Igor Lukac at 10:23:59 AM, 1/29/2021

PROJECT NUMBER	20-KNG-013
DRAFTER / DATE	OJ/ 11/20/2020
REV 1	OJ/ 1/29/2021
REV 2	
REV 3	
REV 4	

DESIGN FIRM



**Distributed Engineering**

Oakville, Ontario, Canada  
+1.905.399.3671  
[www.distributedeng.com](http://www.distributedeng.com)

CLIENT

**Povereni Leonid**

PROJECT

**BASEMENT  
WALK-OUT DESIGN**

19 Cherry Hills Road  
Vaughan, ON  
L4K 1M2

TITLE

**STAIR DETAILS**

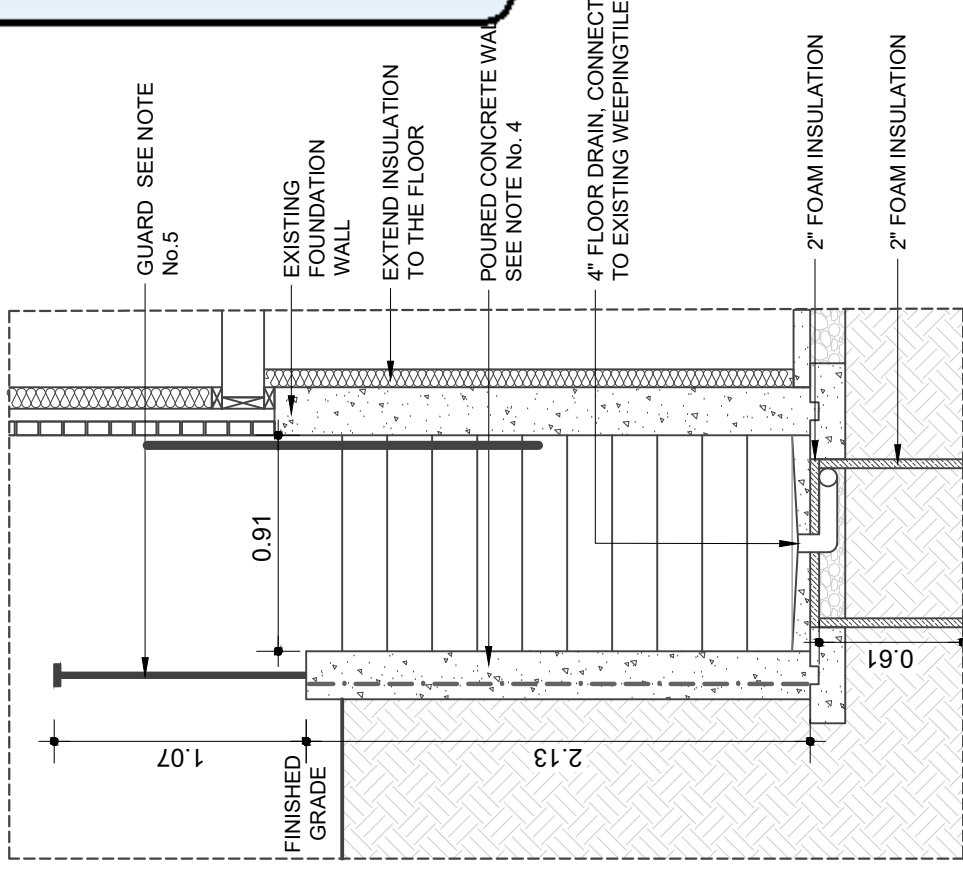
DATE	1/29/2021
PAPER SIZE	TABLOID
SCALE	SHEET
3/8" = 1'-0"	

**A2**

**NEW**

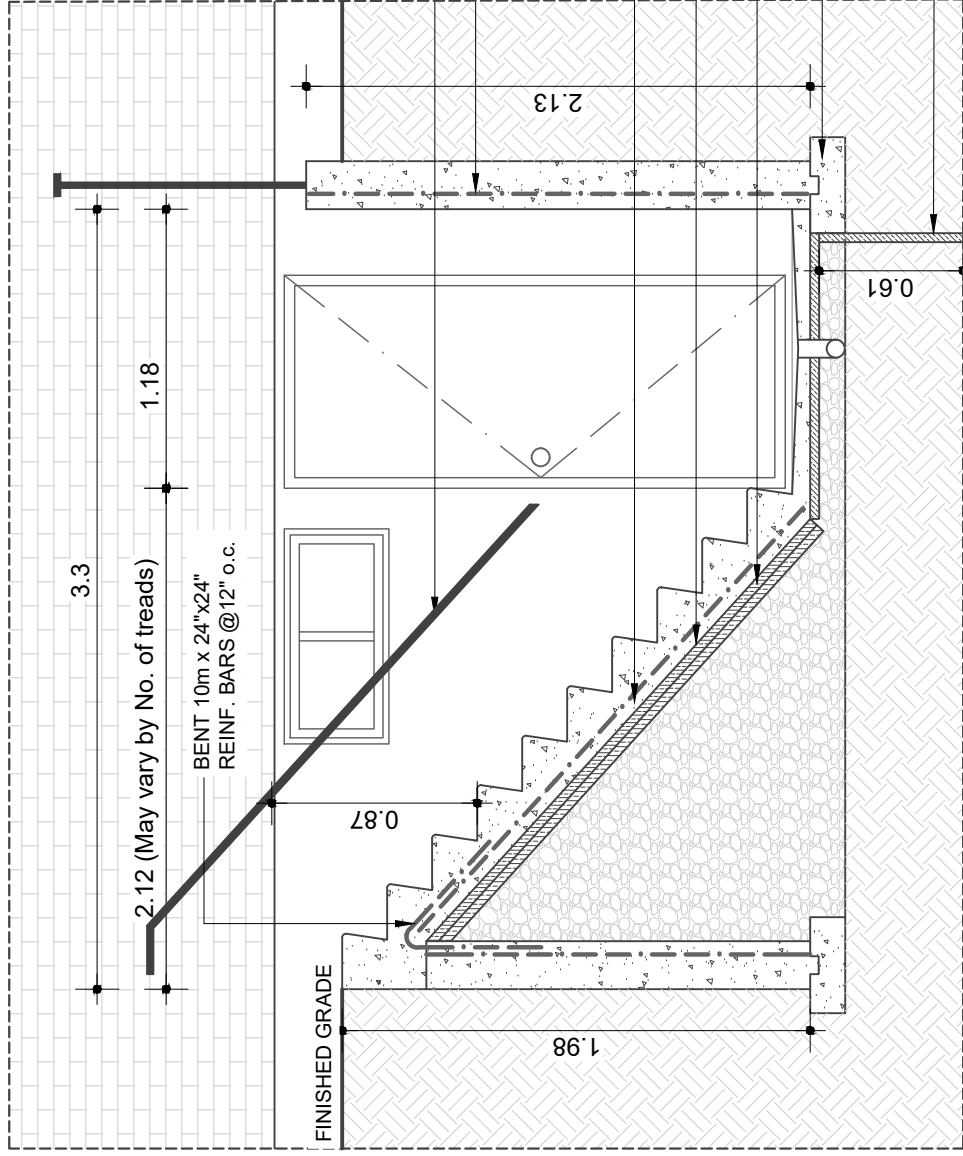
January 29, 2021

**SECTION B-B**

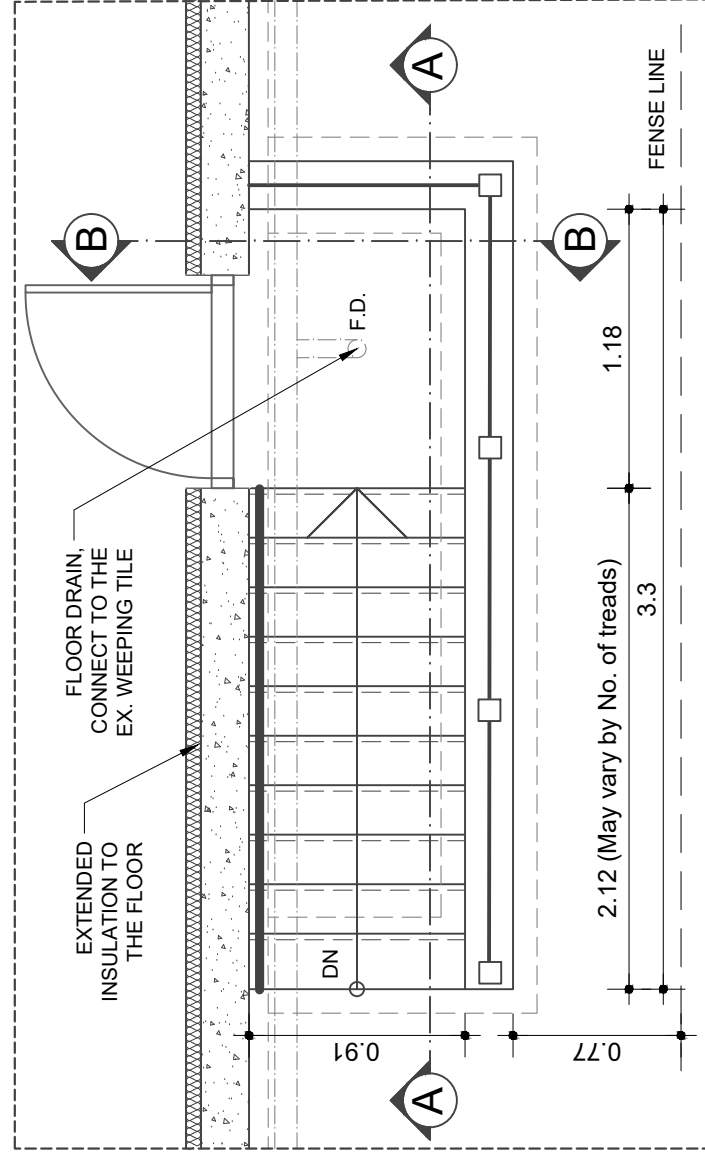


HANDRAIL  
POURED CONCRETE WALL SEE NOTE No.4  
CONCRETE STAIRS SEE NOTE No.3  
BOTTOM REINF. 10M 12" o.c. w/ MIN. 1/2" CONC. COVER  
4" FOAM INSULATION  
CONCRETE FOOTING  
2" FOAM INSULATION

**SECTION A-A**



**PLAN VIEW**



**1. FOOTINGS**

16" x 6" POURED CONCRETE FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.

**2. CONCRETE**

MINIMUM COMPRESSIVE STRENGTH OF 35 MPa @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.

**3. EXTERIOR STAIRS**

RISE - 4 7/8" MIN, 7 7/8" MAX  
RUN - 8 1/4" MIN, 14" MAX  
TREAD - 9 1/4" MIN, 14" MAX

**4. RETAINING WALL**

POURED CONCRETE, NO REINFORCING REQUIRED FOR WALL HEIGHTS WITHIN THE LIMITS OF TABLE 1. PROVIDE 10M VERTICAL REINFORCING @ 16" o.c. IN AN 8" WALL FOR BACKFILL HEIGHTS TO 7'-0" MAX.

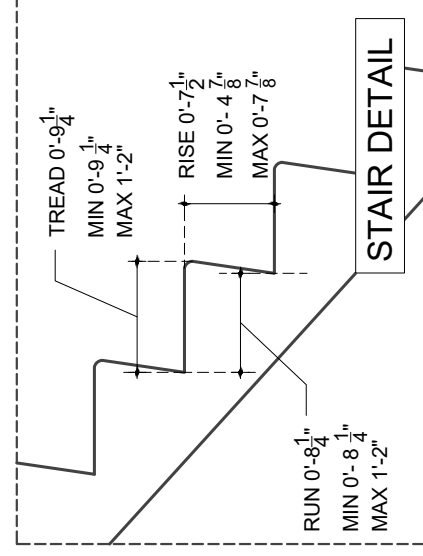
**5. GUARDS**

GUARDS SHALL BE A MINIMUM OF 42" HIGH, EXCEPT A 35" HIGH GUARD IS PERMITTED FOR WALL HEIGHTS LESS THAN 5'-11". GUARD SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE THROUGH OPENINGS AND BE DESIGNED TO PREVENT CLIMBING. PROVIDE ENGINEERED SPECIFICATIONS AS REQUIRED.

**A001/21**

TABLE 1

MINIMUM WALL THICKNESS	MAXIMUM WALL HEIGHT WITHOUT REINFORCING
150mm (6")	0.8m (2'-7")
200mm (8")	1.2m (3'-11")
250mm (10")	1.4m (4'-7")
300mm (12")	1.5m (4'-11")



## **Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**None.**

## **Schedule C: Agency Comments**

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

**Alectra (Formerly PowerStream) – No concerns or objections**  
**Region of York – No concerns or objections**



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Providence, Lenore

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**Subject:** FW: A001-21 - REQUEST FOR COMMENTS - 19 Cherry Hills Rd Concord - (Full Circulation)

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** February-01-21 11:04 AM

**To:** Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>

**Subject:** [External] RE: A001-21 - REQUEST FOR COMMENTS - 19 Cherry Hills Rd Concord - (Full Circulation)

Good morning Lenore,

The Regional Municipality of York has completed its review of the above minor variance application and has no comment.

Regards,

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [Gabrielle.hurst@york.ca](mailto:Gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)