Staff Report Summary

Item #10

Ward #2

File: A163/20

Applicant: Arber and Yllka Skilja

Address: 21 Twilight Terrace, Woodbridge

Agent: David Lang

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Development Engineering	☑	
Parks, Forestry and Horticulture Operations	☑	
By-law & Compliance		
Financial Planning & Development	☑	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York		
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**		

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Thursday, February 25, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*

Minor Variance Application

Agenda Item: 10

A163/20

Ward: 2

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing:	Thursday, February 25, 2021 at 6:00 p.m. As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. A live stream of the meeting is available at Vaughan.ca/LiveCouncil Please submit written comments by mail or email to: City of Vaughan Office of the City Clerk – Committee of Adjustment 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1 cofa@vaughan.ca To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332 Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.
Applicant:	Arber and Yllka Skilja
Agent:	David Lang
Property:	**21 Twilight Terrace, Woodbridge**
Zoning:	The subject lands are zoned R1 and subject to the provisions of Exception 9(145) under By-law 1-88 as amended
OP Designation:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential" within the Woodbridge Centre Secondary Plan (Volume 2, Section 11.11)
Related Files:	None
Purpose:	Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed covered and unenclosed deck to be located at the rear of the existing dwelling and to permit the existing retaining wall.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1) An encroachment of a covered deck is not permitted (Section 3.14c)).	1) To permit a maximum encroachment of 3.73 metres for a partly covered balcony.
2) A minimum rear yard setback of 5.7 metres is required to a balcony.	2) To permit a minimum rear yard setback of 5.5 metres for a partly covered balcony.
3) A maximum lot coverage of 20% is permitted.	3) To permit a maximum lot coverage of 23% (Dwelling (including garage) 17%, Rear Deck (covered portion) 3%, Front Porch 3%)
3) A minimum interior side yard setback of 1.79 metres is required to an existing retaining wall, the setback should be a distance equal to its height when exceeding 1.0 metres. (Section 4.1.1j)).	4) To maintain an interior side yard setback of 0.45m to an existing retaining wall with a height of 1.79 metres.

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on February 10, 2021

Applicant confirmed posting of signage on February 9, 2021

Property Information	
Existing Structures	**Year Constructed**
Dwelling	1970
Rear Yard Deck	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): Existing rear yard setback is restricting adequate depth for any usable deck area.

Adjournment Request: None

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

Building Permit No. 20-113623 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The architectural drawings regarding the permit, depict a Retain Wall establishing the pool deck. It appears that at the North corner of the Retaining Wall is closer to the interior side lot line than the total height of the retaining wall to the pool deck. That is where a retaining wall exceeds 1.0 metres in height, the retaining wall shall be setback a minimum distance from any property line a distance equal to it's height.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three (3) metres above finished grade.

An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 (‘VOP 2010‘): “Low-Rise Residential"

The Owner is requesting permission to construct a 2nd storey deck along the width of the rear of the dwelling with a covered portion and to maintain a retaining wall at the north end of the property with the above noted variances.

A site visit was conducted on February 9, 2021, to assess the potential implications caused by the proposed variances and confirm the proposal meets the four tests of *the Planning Act*. Development Planning staff observed an existing rear yard 2nd storey deck on-site and the Owner is requesting to maintain the width but increase the depth from 1.48 m to 3.73 m with a roof over a portion at the north-east end of the dwelling. The increase in depth and covered deck results in a rear yard setback deficiency of 0.2 m and an increase in lot coverage which will not be visible by the adjacent properties as the existing vegetation on site provides adequate screening. Development Planning staff is of the opinion the proposal maintains the general intent and purpose of Zoning By-law 1-88. The Development Engineering Department has reviewed the reduction in the interior side yard setback to the existing retaining wall and have no concerns.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:
Given that the neighbour at 25 Twilight Terrace has confirmed that there are no flooding issues because of the decreased setback of the retaining wall the Development Engineering (DE) Department does not object to variance application A163/20.

Parks Development - Forestry:
Forestry has no conditions for the proposed partially covered deck in rear yard.

Forestry would have concerns regarding future pool installation in rear yard, as indicated in sketch. A tree removal/protection permit would be required if applicant is planning on installing a pool in rear yard.

By-Law and Compliance, Licensing and Permit Services:
No comments received to date.

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No comments received to date.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended: N/A

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil . To make an electronic deputation, residents must complete and submit a Public Deputation Form no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment
Adriana MacPherson
T 905 832 8585 Extension 8360
E CofA@vaughan.ca

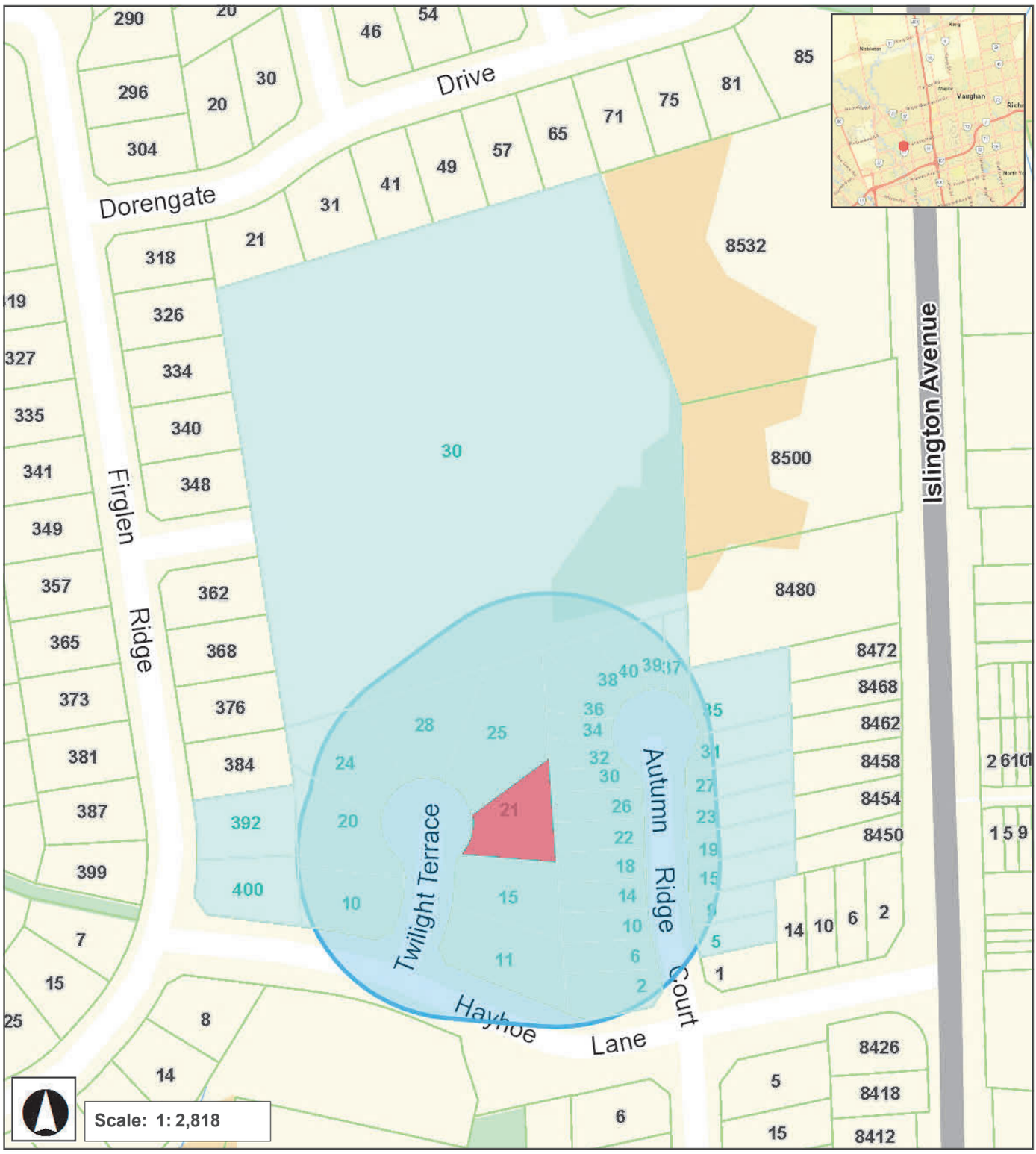
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches

A163/20 - Notification Map

21 Twilight Terrace, Woodbridge



Highway 7

February 11, 2021 10:52 AM

A163/20

REVISED Feb 10/21

Proposal:
1) To permit a maximum encroachment of 3.73 metres for a partly covered balcony .
2) To permit a minimum rear yard setback of 5.5 metres for a partly covered balcony.
3) To permit a maximum lot coverage of 23%.
4) To maintain an interior side yard setback of 0.45m to an existing retaining wall with a height of 1.79 metres.

21 TWILIGHT TERRACE
VAUGHAN, ONTARIO
L4L 2Y8

ZONING CALCULATIONS

LOT AREA	10499 SF	975.39 m²

COVERAGE	EXISTING		ADDITION		PROPOSED	
HOUSE (INCL. GARAGE)	1730 SF	160.72 m²	0 SF	0.00 m²	1730 SF	160.72 m²
REAR DECK (COVERED ONLY)	0 SF	0.00 m²	308 SF	28.61 m²	308 SF	28.61 m²
FRONT PORCH ROOF AREA	310 SF	28.80 m²	0 SF	0.00 m²	310 SF	28.80 m²
POOL SHED	66 SF	6.13 m²	0 SF	0.00 m²	66 SF	6.13 m²
TOTAL	2040 SF	189.52 m²	308 SF	28.61 m²	2348 SF	218.14 m²

REAR YARD LANDSCAPING	PROPOSED	
REAR YARD AREA	3835 SF	356.28 m²
EXISTING POOL	496 SF	46.08 m²
HARD LANDSCAPING (incl PATIO UNDER DECK)	1765 SF	163.97 m²
SHED	66 SF	6.13 m²
SOFT LANDSCAPING	1508 SF	140.10 m²

TREE PROTECTION ZONES

TREE PROTECTION ZONES:
NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE TREE PROTECTION ZONES. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONSTRUCTION, GRADE ALTERATIONS, STORAGE OR MATERIALS, VEHICLE TRAFFIC, EXCAVATION

TREE PROTECTION BARRIERS (TYPES #1 & #2):
1. TREE PROTECTION BARRIERS MUST BE CONSTRUCTED OF PLYWOOD HOARDING OR EQUIVALENT
2. TREE PROTECTION BARRIER FOR CITY TREES AND ALL FRONT YARD MUST CONSIST OF ORANGE PLASTIC SNOW FENCING ON 2"X4" WOOD FRAME CONSTRUCTION (MIN 4'-0" HGT)

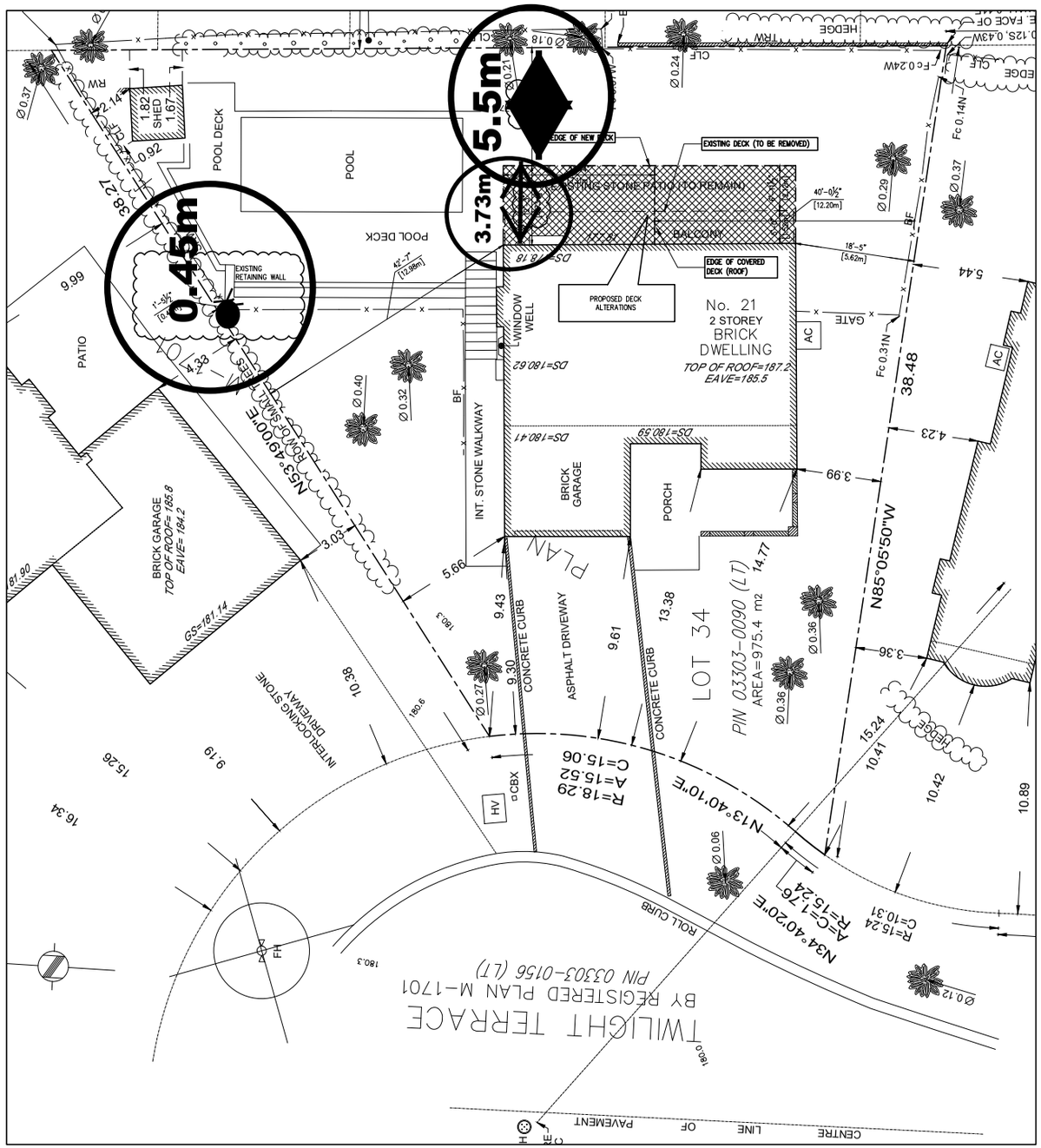
PERMIT TO INJURE OR REMOVE:
ANY PERMITS TO INJURE OR REMOVE A TREE REQUIRE CONSULTING WITH A CERTIFIED ARBORIST TO COORDINATE AN APPLICATION TO THE URBAN FORESTRY DEPARTMENT ON BEHALF OF ALL PARTIES SHARING INTEREST ON THE TREE

RAVINE AND CONSERVATION AREAS:
TREE PROTECTION ZONES WILL VARY FOR RAVINE AND CONSERVATION AREAS. CONTRACTORS TO CONTACT RELEVANT OFFICES FOR INSTRUCTION

TREE PROTECTION ZONE (TPZ)	
TRUNK (dia)	TPZ (Min Dist.)
LESS THAN 10cm	1.8m
11–40cm (4"–16")	2.4m (7'–8")
41–50cm (16"–20")	3.0m (9'–8")
51–60cm (20"–24")	3.6m (11'–8")
61–70cm (24"–28")	4.2m (13'–8")
71–80cm (28"–32")	4.8m (15'–8")
81–90cm (32"–36")	5.4m (17'–8")
91–100cm (36"–40")	6.0m (19'–8")

SITE WORKS

- CONTRACTORS RESPONSIBLE TO LOCATE AND PROTECT ALL UTILITIES DURING CONSTRUCTION (IN C GAS HYDRO, WATER, AND ANY OTHER UTILITIES THAT AY EXIST ON THE SITE OR WITHIN THE STREET LINES.
- SITE FENCING IS REQUIRED AS PER CITY OF TORONTO MUNICIPAL CODE 363 – ARTICLE III)
- NO CONSTRUCTION NOISE PERMITTED BETWEEN 7:00PM AND 7:00AM (9:00AM ON WEEKENDS AND HOLIDAYS)
- ALL CONNECTIONS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS
- CONTRACTORS TO VERIFY THAT ALL NEW FOOTING ELEVATIONS AND TOP OF FOUNDATION WALL ELEVATIONS CONFORM WITH BUILDING CODE AND CERTIFIED GRADING PLANS (PRIOR TO WORK DONE)
- OUTSIDE FINISHED GRADE ELEVATIONS TO BE MIN 150mm (APX 6") BELOW EXTERIOR CLADDING ELEVATIONS
- PRIOR TO ANY SODDING, CONTRACTORS MUST ENSURE TO PROPER GRADING GRADING CONDITIONS ARE SATISFIED.
- DRIVEWAY GRADES SHOULD BE NO LESS THAN 2.0% SLOPE AND NOT GREATER THAN 8.0%
- LAWN AND SWALES GRADES SHALL HAVE A MINIMUM SLOPE OF 1.5% AND MAXIMUM SLOPE OF 6.0%
- ALL EXCESS EXCAVATED MATERIALS WILL NOT BE STORED ON SITE. EXCAVATED MATERIAL TO BE TRUCKED OFF SITE
- EXISTING DRAINAGE PATTERNS TO BE MAINTAINED UNLESS NOTED OTHERWISE
- ANY SEPTIC SYSTEMS WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS
- PRIOR TO ANY CONSTRUCTION TAKING HOARDING TO BE INSTALLED ADJACENT TO THE EXISTING PROPERTIES TO PROTECT THEM FROM CONSTRUCTION WILL BE IN ACCORDANCE OF THE ONTARIO OCCUPATIONAL G=HEALTH AND SAFETY ACT AND MAINTAINED THROUGHOUT CONSTRUCTION
- ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGE AT AN APPROVED LOCATION PRIOR TO BUILDING PERMIT
- ENSURE ALL EXCAVATION AVOIDS ANY DAMAGE TO RELATED PROPERTIES, EXISTING STRUCTURES, UTILITIES, ROADS OR LANDSCAPE FEATURES.
- ENSURE INTEGRITY OF THE EXCAVATION, BRACING, AND SHORING IS MAINTAINED THROUGHOUT CONSTRUCTION
- ENGINEER APPROVAL REQUIRED FOR INADEQUATE SOIL CONDITIONS (INCLUDING HIGH GROUND WATER, UNSTABLE SOILS, CLAY, AND ANGLE OF REPOSE REQUIREMENTS.)



SITE PLAN
SCALE 1:100

- EXISTING WALL (TO REMAIN)
- EXISTING WALL (TO REMOVE)
- PROPOSED INTERIOR WALL
- PROPOSED EXTERIOR WALL (CLADDING)
- PROPOSED EXTERIOR WALL (STUCCO)
- PROPOSED EXTERIOR WALL (MASONRY VENEER)
- PROPOSED FOUNDATION WALL (CONCRETE BLOCK)
- PROPOSED FOUNDATION WALL (POURED CONCRETE)
- SPRAY FOAM INSULATION
- CONSTRUCTION NOTE
- DETAIL NOTE
- DOOR SIZES (INCHES)
- REVISION

GENERAL NOTES:
– ALL EXISTING & PROPOSED WORK MUST BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION.
– DO NOT SCALE DRAWINGS
– CONTRACTORS AND OWNERS ARE RESPONSIBLE FOR ANY MODIFICATIONS TO THIS PLAN DUE TO FIELD CONDITIONS AND CONSTRUCTION METHODS.
– SEE ATTACHED FOR ALL GENERAL NOTES, CONSTRUCTION SPECIFICATIONS AND DETAILS
– ALL CONSTRUCTION MUST ADHERE TO ONTARIO BUILDING CODE REQUIREMENTS AND ANY AUTHORITIES HAVING JURISDICTION
– CONTRACTORS TO REVIEW APPROVED PERMIT DRAWINGS FOR ADDITIONAL NOTES AND RELATED DOCUMENTS
– ALL PRODUCT & COLOUR SELECTIONS ARE THE RESPONSIBILITY OF THE CLIENT AND/OR CONTRACTOR UNLESS STATED OTHERWISE IN THESE PLANS.
– ANY MATERIAL SUBSTITUTIONS MUST BE OF EQUAL OR GREATER PERFORMANCE (AS PER OBC)

NORTH

ENGINEER SEAL:

DATE	NOTES:
NOV 2/20	PRELIM

SHEET TITLE:
SITE PLAN & DATA

ADDRESS:
21 TWILIGHT TERRACE
VAUGHAN, ONTARIO
L4L 2Y8

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE 2012 ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFO: DAVID LANG (BCIN: 21331)
REGISTRATION INFO: DAVID LANG (BCIN: 28170)

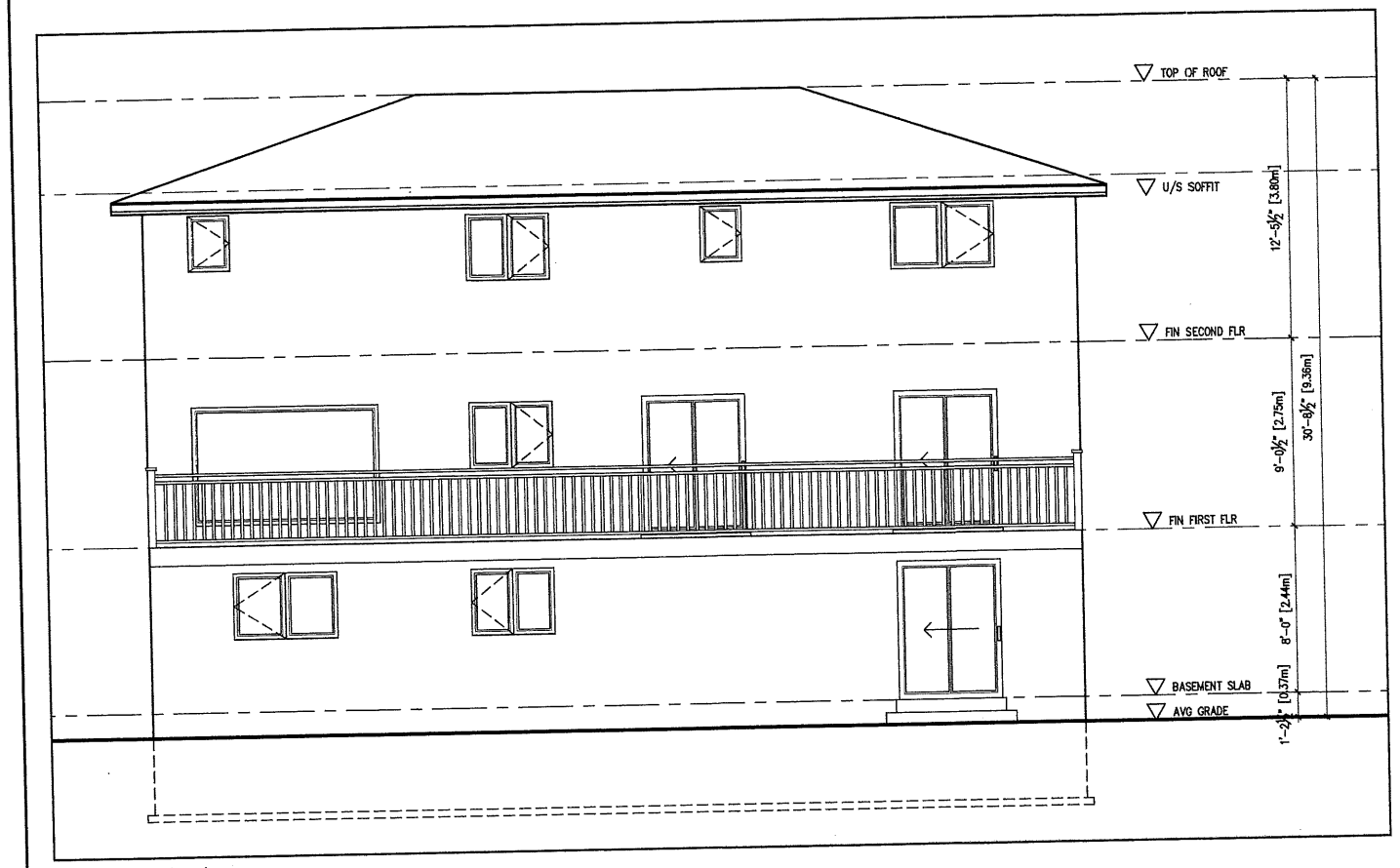
21 TWILIGHT TERR
NOV 10, 2020

DRAWN BY: DAVID LANG
2100 BLOOR ST W – STE 6272
TORONTO, ONTARIO – M6S 5A5
T: 416–894–1864 F:416–604–9787
www.plansandpermits.ca – dave@plansandpermits.ca

SCALE: 1/4" : 1'-0" (UNLESS NOTED OTHERWISE)
DWG No: A1

PROJECT NUMBER:
(PROJECT NUMBER: 20–015)

PLOT STAMP:
February 10, 2021 11:33:01 AM



REAR ELEVATION (EAST)
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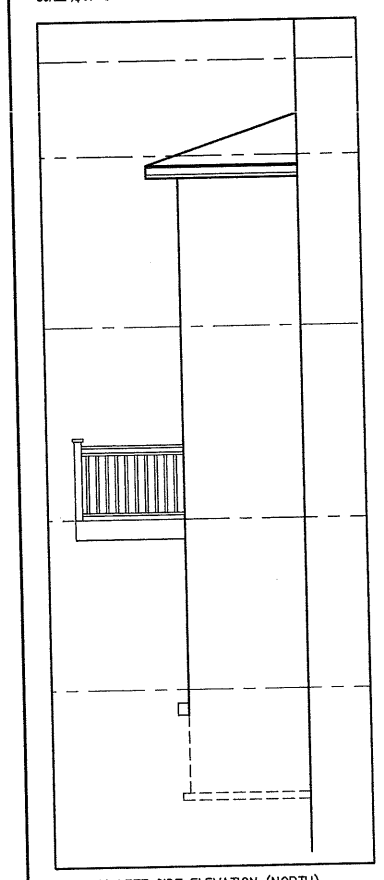

EXISTING LEFT SIDE ELEVATION (NORTH)
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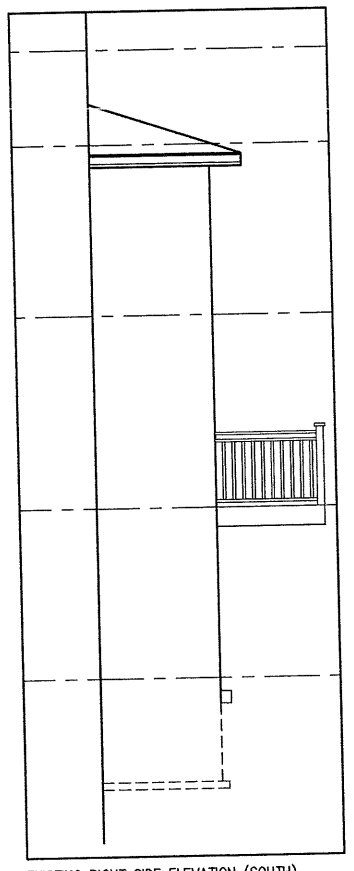
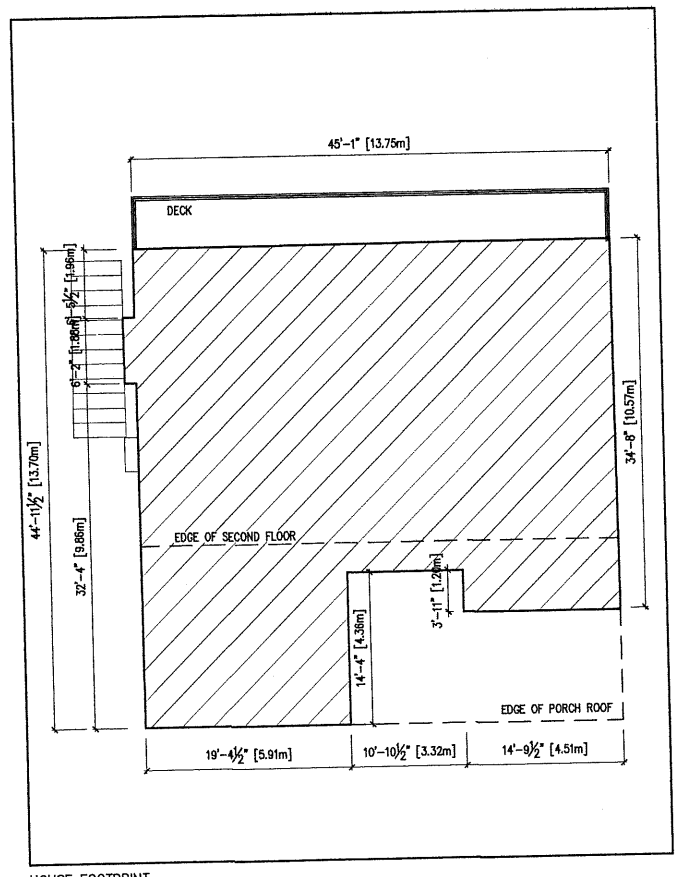
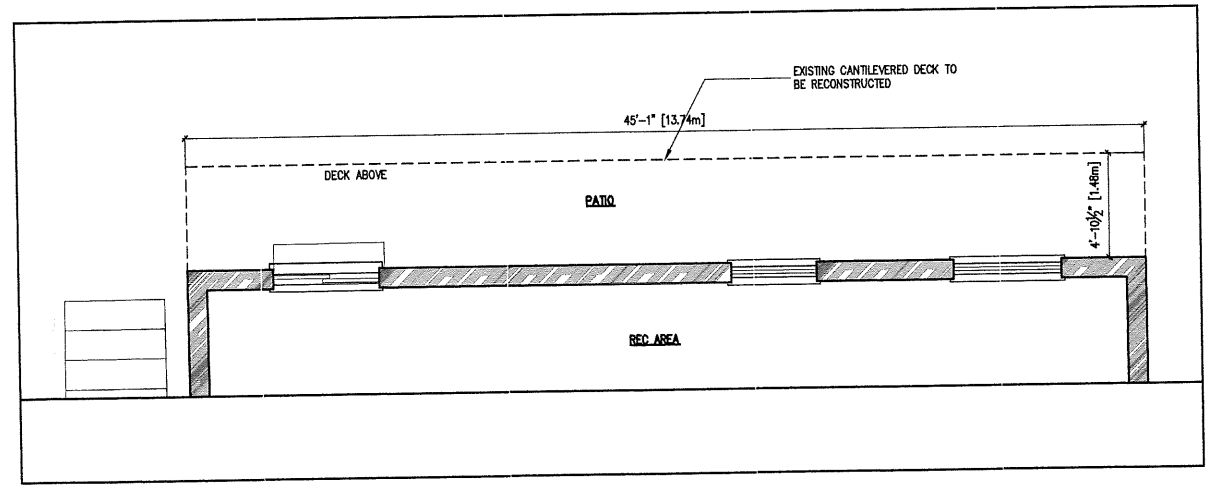


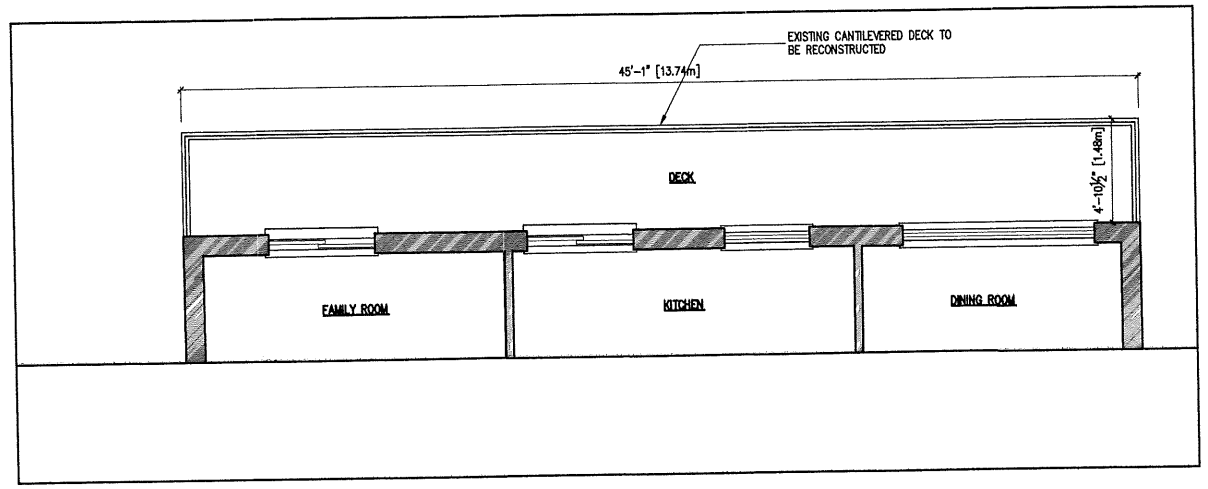
EXISTING RIGHT SIDE ELEVATION (SOUTH)
SCALE ¼":1'-0"



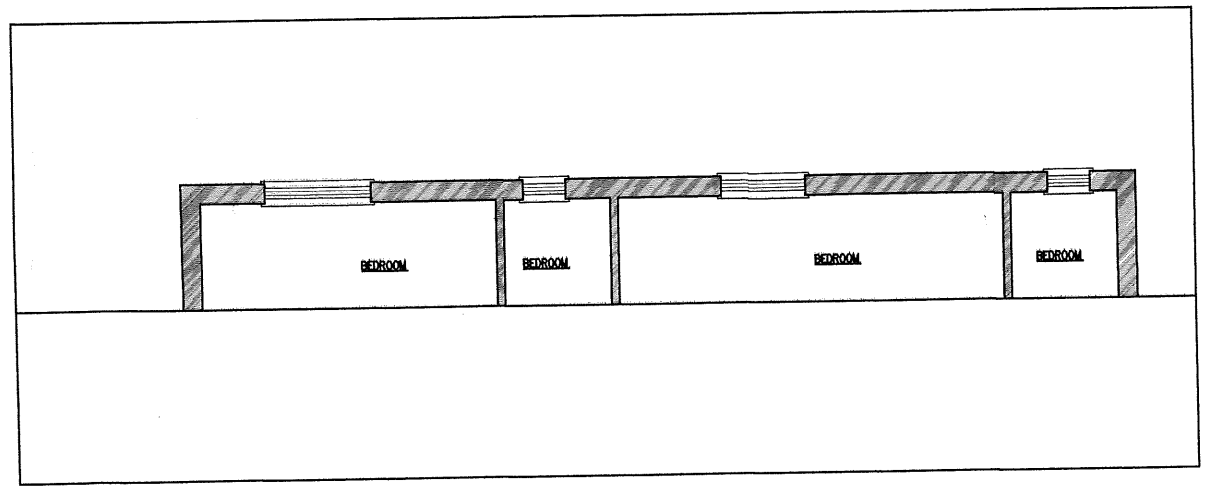
HOUSE FOOTPRINT
SCALE ⅛":1'-0"



EXISTING BASEMENT PLAN
SCALE ¼":1'-0"



EXISTING FIRST FLOOR PLAN
SCALE ¼":1'-0"



EXISTING SECOND FLOOR PLAN
SCALE ¼":1'-0"

- EXISTING WALL (TO REMAIN)
- EXISTING WALL (TO REMOVE)
- PROPOSED INTERIOR WALL
- PROPOSED EXTERIOR WALL (CLADDING)
- PROPOSED EXTERIOR WALL (STUCCO)
- PROPOSED EXTERIOR WALL (MASONRY VENEER)
- PROPOSED FOUNDATION WALL (CONCRETE BLOCK)
- PROPOSED FOUNDATION WALL (POURED CONCRETE)
- SPRAY FOAM INSULATION

- CONSTRUCTION NOTE
- DETAIL NOTE
- DOOR SIZES (INCHES)
- REVISION

GENERAL NOTES:
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- ANY MATERIAL SUBSTITUTIONS MUST BE OF EQUAL OR GREATER PERFORMANCE (AS PER OBC)

NORTH

ENGINEER SEAL:

DATE	NOTES:
NOV 2/20	PRELIM

SHEET TITLE:
EXISTING PLANS & FOOT PRINT

ADDRESS:
21 TWILIGHT TERRACE
VAUGHAN, ONTARIO
L4L 2Y8

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE 2012 ONTARIO BUILDING CODE TO BE A DESIGNER:

QUALIFICATION INFO: DAVID LANG (BCIN: 21331)
REGISTRATION INFO: DAVID LANG (BCIN: 28170)

21 TWILIGHT TERR
NOV 10, 2020

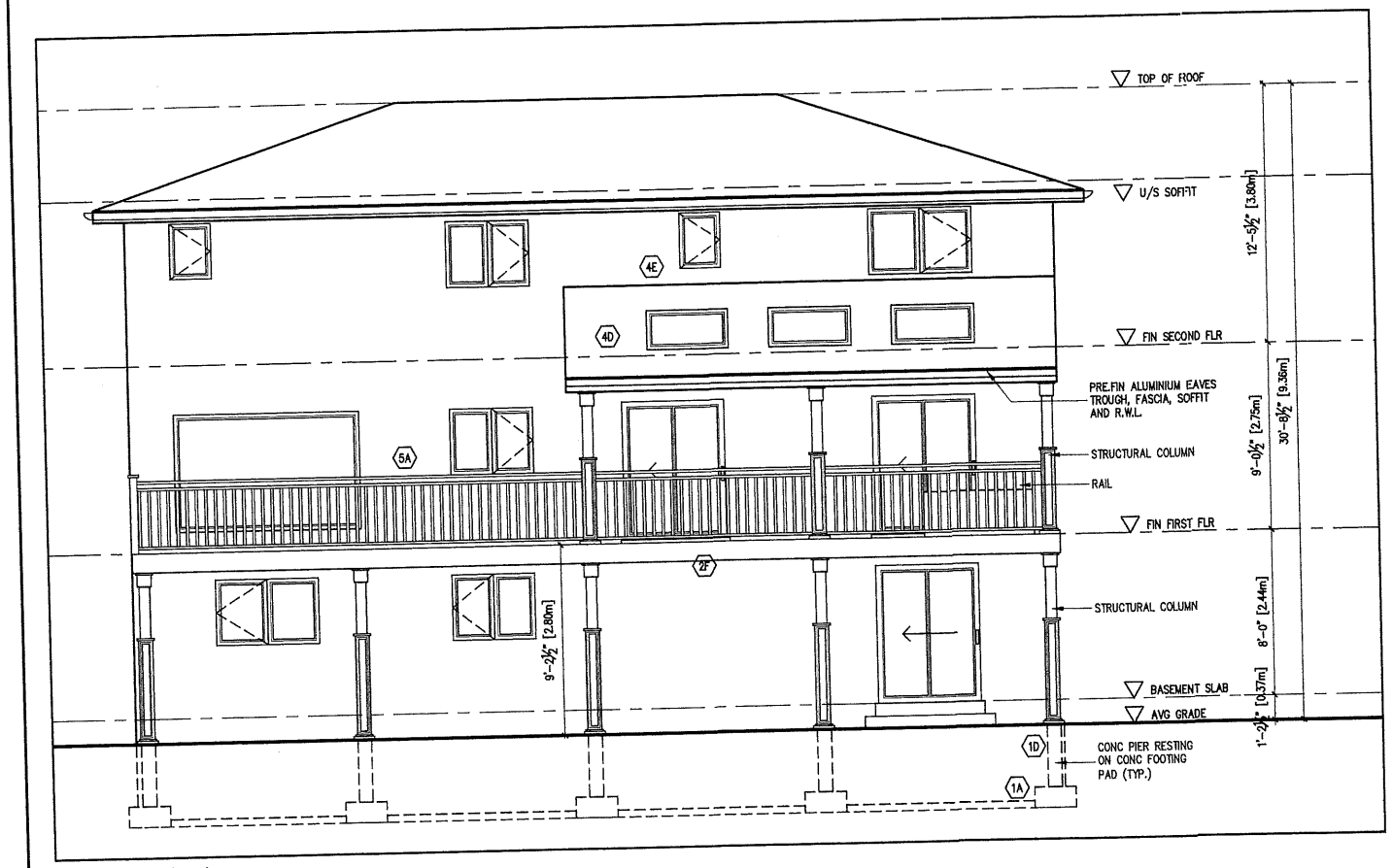
DRAWN BY: DAVID LANG
2100 BLOOR ST W – STE 6272
TORONTO, ONTARIO – M6S 5A5
T: 416-694-1864 F:416-694-9767
www.planseandpermits.ca – dave@planseandpermits.ca

SCALE: 1/4" : 1'-0" (UNLESS NOTED OTHERWISE)

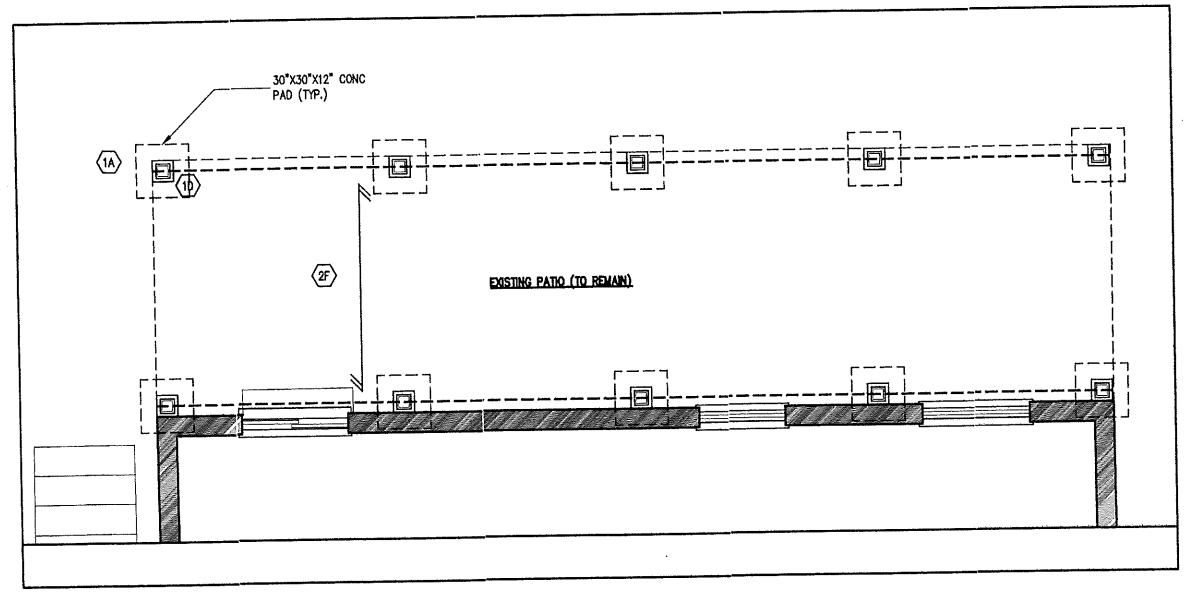
DWG No: A2

PROJECT NUMBER:
(PROJECT NUMBER: 20-015)

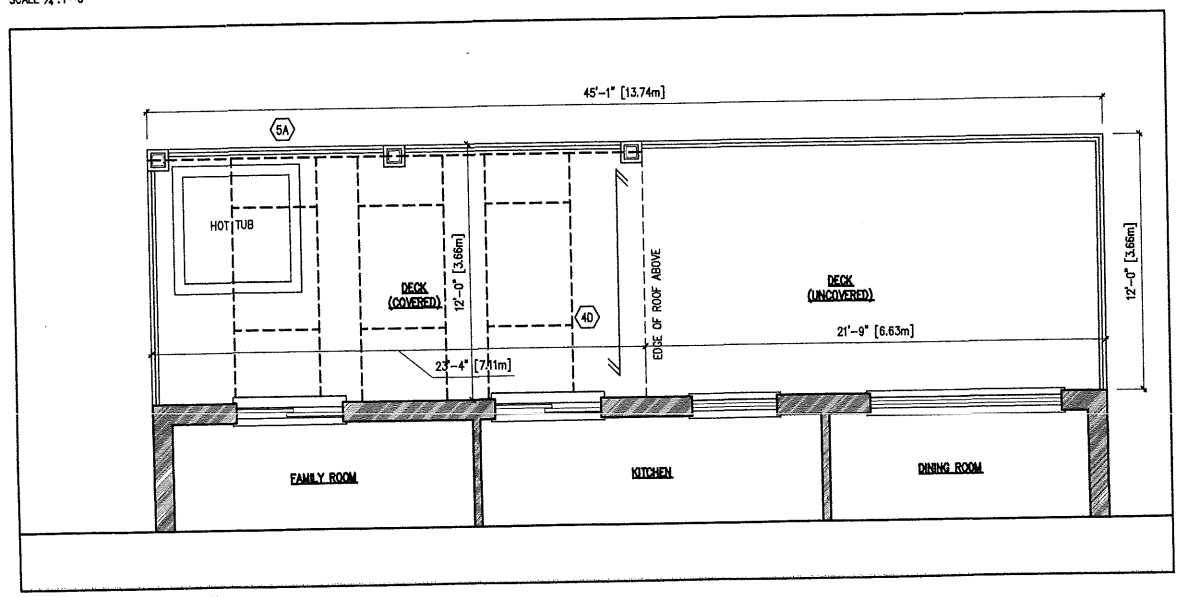
PLOT STAMP:
December 30, 2020 1:52:22 PM



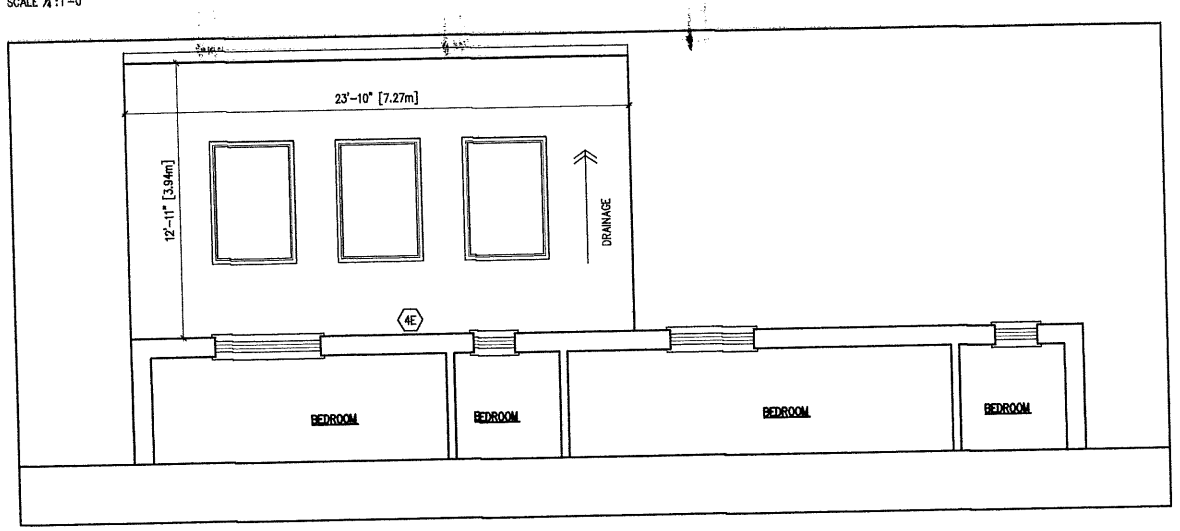
REAR ELEVATION (EAST)
SCALE ¼":1'-0"



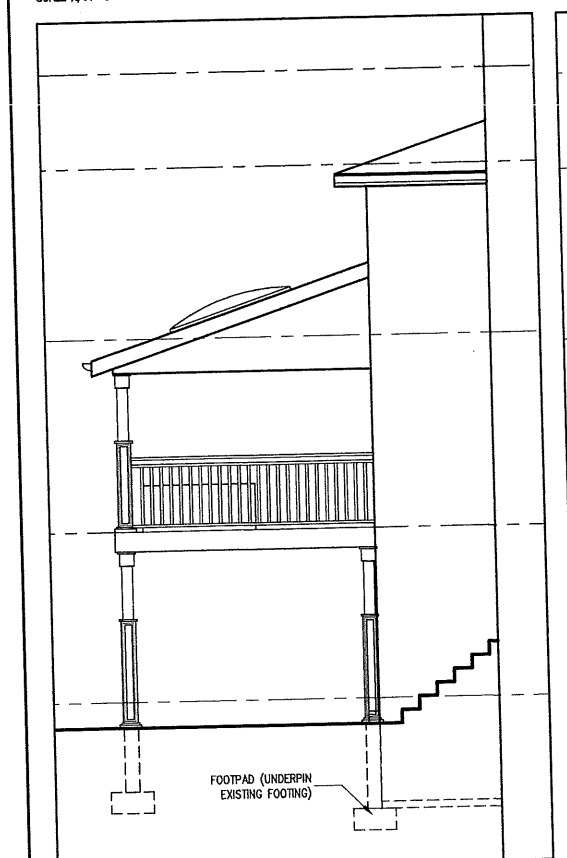
PROPOSED BASEMENT PLAN
SCALE ¼":1'-0"



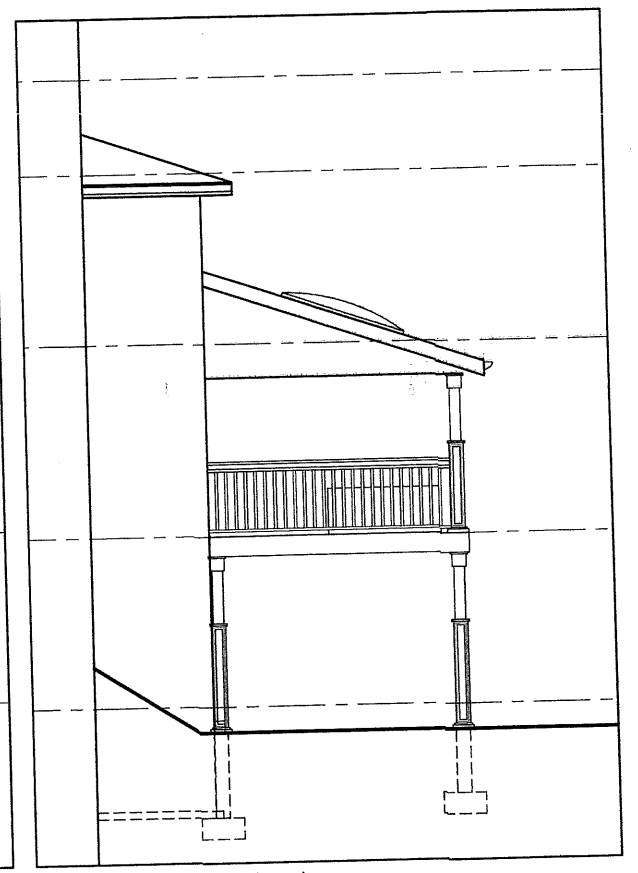
PROPOSED FIRST FLOOR PLAN
SCALE ¼":1'-0"



PROPOSED ROOF PLAN
SCALE ¼":1'-0"



EXISTING LEFT SIDE ELEVATION (NORTH)
SCALE ¼":1'-0"



EXISTING RIGHT SIDE ELEVATION (SOUTH)
SCALE ¼":1'-0"

VERIFICATION OF PROPOSED WORK
THESE PLANS ARE PROPOSED AND CONTRACTORS NEED TO VERIFY ACCURACY OF ALL DIMENSIONS, EXISTING CONDITIONS, AND PROPOSED WORK PRIOR TO CONSTRUCTION. ALL DISCREPANCIES ARE TO BE REPORTED BEFORE PROCEEDING WITH THE WORK.

DEMOLITION AND EXISTING CONDITIONS
ALL WORK TO BE PROPERLY BRACED AND SHORED THROUGHOUT CONSTRUCTION. CONTRACTOR TO VERIFY THAT ALL EXISTING CONDITIONS TO BE MAINTAINED ARE STRUCTURALLY ADEQUATE.

CONCRETE / CEMENT FLOOR TOPPINGS (INFLOOR RADIANT HEATING)
STRUCTURAL FLOOR LOADS TO BE VERIFIED WHERE CONCRTE/CEMENT FLOOR TOPPINGS ARE INSTALLED
(ie; RADIANT FLOOR HEATING)

INSPECTIONS & GENERAL REVIEW BY ENGINEER
CONTRACTORS TO CONFIRM ALL REQUIREMENTS FOR BUILDING DEPARTMENT INSPECTIONS AND/OR GENERAL REVIEW BY STRUCTURAL ENGINEER DURING CONSTRUCTION

INSPECTIONS
CONTRACTORS ARE RESPONSIBLE TO ARRANGE FOR ALL MUNICIPAL, ENGINEER AND OTHER PROFESSIONAL SERVICE INSPECTIONS WHERE REQUIRED

PRELIMINARY PLAN
THESE PLANS ARE FOR REFERENCE ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. PERMITS AND RELATED APPROVALS WHERE APPLICABLE

- EXISTING WALL (TO REMAIN)
- EXISTING WALL (TO REMOVE)
- PROPOSED INTERIOR WALL
- PROPOSED EXTERIOR WALL (CLADDING)
- PROPOSED EXTERIOR WALL (STUCCO)
- PROPOSED EXTERIOR WALL (MASONRY VENEER)
- PROPOSED FOUNDATION WALL (CONCRETE BLOCK)
- PROPOSED FOUNDATION WALL (POURED CONCRETE)
- SPRAY FOAM INSULATION

- # • CONSTRUCTION NOTE
- # • DETAIL NOTE
- # • DOOR SIZES (INCHES)
- # • REVISION

GENERAL NOTES:
- ALL EXISTING & PROPOSED WORK MUST BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION.
- DO NOT SCALE DRAWINGS
- CONTRACTORS AND OWNERS ARE RESPONSIBLE FOR ANY MODIFICATIONS TO THIS PLAN DUE TO FIELD CONDITIONS AND CONSTRUCTION METHODS.
- SEE ATTACHED FOR ALL GENERAL NOTES, CONSTRUCTION SPECIFICATIONS AND DETAILS
- ALL CONSTRUCTION MUST ADHERE TO ONTARIO BUILDING CODE REQUIREMENTS AND ANY AUTHORITIES HAVING JURISDICTION
- CONTRACTORS TO REVIEW APPROVED PERMIT DRAWINGS FOR ADDITIONAL NOTES AND RELATED DOCUMENTS
- ALL PRODUCT & COLOUR SELECTIONS ARE THE RESPONSIBILITY OF THE CLIENT AND/OR CONTRACTOR UNLESS STATED OTHERWISE IN THESE PLANS
- ANY MATERIAL SUBSTITUTIONS MUST BE OF EQUAL OR GREATER PERFORMANCE (AS PER OBC)

NORTH

ENGINEER SEAL:

DATE	NOTES:
NOV 2/20	PRELIM

SHEET TITLE:
PROPOSED PLANS & FOOT PRINT

ADDRESS:
21 TWILIGHT TERRACE
VAUGHAN, ONTARIO
L4L 2Y8

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE 2012 ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFO: DAVID LANG (BCIN: 21331)
REGISTRATION INFO: DAVID LANG (BCIN: 28170)

21 TWILIGHT TERR
NOV 10, 2020

DRAWN BY: DAVID LANG
2100 BLOOR ST W – STE 6272
TORONTO, ONTARIO – M6S 5A5
T: 416-894-1864 F:416-604-9767
www.planseandpermits.ca – dave@planseandpermits.ca

SCALE:
1/4" : 1'-0"
(UNLESS NOTED OTHERWISE)

DWG No:
A3

PROJECT NUMBER:
(PROJECT NUMBER: 20-015)

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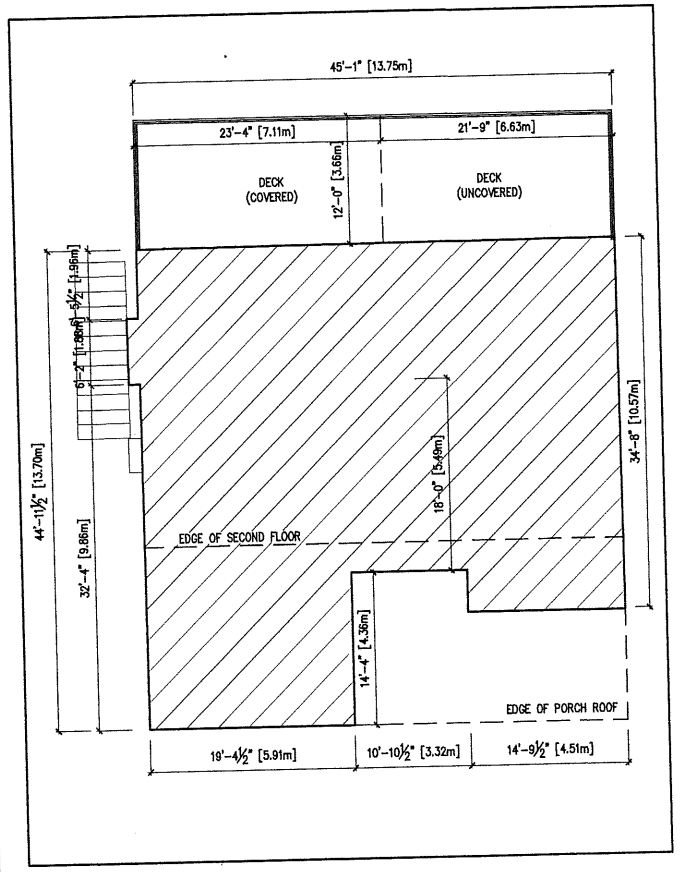
CONSTRUCTION NOTES AND DETAILS:

TYPICAL SPECIFICATIONS UNLESS NOTED OTHER WISE OR FIELD CONDITIONS REQUIRE ADDITIONAL ASSESSMENT



HOUSE FOOTPRINT
SCALE ⅛":1'-0"

VERIFICATION OF PROPOSED WORK
THESE PLANS ARE PROPOSED AND CONTRACTORS NEED TO VERIFY ACCURACY OF ALL DIMENSIONS, EXISTING CONDITIONS, AND PROPOSED WORK PRIOR TO CONSTRUCTION. ALL DISCREPANCIES ARE TO BE REPORTED BEFORE PROCEEDING WITH THE WORK.

DEMOLITION AND EXISTING CONDITIONS
ALL WORK TO BE PROPERLY BRACED AND SHORED THROUGHOUT CONSTRUCTION. CONTRACTOR TO VERIFY THAT ALL EXISTING CONDITIONS TO BE MAINTAINED ARE STRUCTURALLY ADEQUATE.

CONCRETE / CEMENT FLOOR TOPPINGS (INFLOOR RADIANT HEATING)
STRUCTURAL FLOOR LOADS TO BE VERIFIED WHERE CONCRTE/CEMENT FLOOR TOPPINGS ARE INSTALLED
(ie; RADIANT FLOOR HEATING)

INSPECTIONS & GENERAL REVIEW BY ENGINEER
CONTRACTORS TO CONFIRM ALL REQUIREMENTS FOR BUILDING DEPARTMENT INSPECTIONS AND/OR GENERAL REVIEW BY STRUCTURAL ENGINEER DURING CONSTRUCTION

INSPECTIONS
CONTRACTORS ARE RESPONSIBLE TO ARRANGE FOR ALL MUNICIPAL, ENGINEER AND OTHER PROFESSIONAL SERVICE INSPECTIONS WHERE REQUIRED

PRELIMINARY PLAN
THESE PLANS ARE FOR REFERENCE ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. PERMITS AND RELATED APPROVALS WHERE APPLICABLE

GENERAL NOTES

GENERAL NOTES:
- DO NOT SCALE THE DRAWINGS
- REFER TO CONSTRUCTION NOTES FOR ALL SPECIFICATIONS.
- OWNERS & CONTRACTORS RESPONSIBLE FOR ALL MEANS & METHODS OF CONSTRUCTION INCLUDING ANY RELATED SAFETY PRECAUTIONS
- ALL DIMENSIONS & AS-BUILT INFORMATION TO BE VERIFIED BY CONTRACTORS
- CONTRACTORS ARE RESPONSIBLE FOR ANY MODIFICATIONS TO THE PLAN.
- CONTRACTORS TO CARRY LIABILITY INSURANCE FOR PERFORMING THE WORK
- CONTRACTORS RESPONSIBLE TO ENSURE PROPER SAFETY PRECAUTIONS ARE IN PLACE THROUGHOUT CONSTRUCTION FOR ALL ITEMS RELATED TO ALL CONSTRUCTION METHODS INCLUDING MATERIAL SUPPLIES

CODE AND REGULATIONS AND INSPECTIONS
- ALL CONSTRUCTION TO ADHERE TO ONTARIO BUILDING CODE REQUIREMENTS AS WELL AS OTHER CODES & AUTHORITIES HAVING JURISDICTION.
- ADDITIONAL DESIGN & CALCULATIONS TO BE PROVIDED BY OTHER QUALIFIED DESIGNERS SUCH AS STRUCTURAL, HVAC, TRUSS, GRADING, SURVEY, ETC...
- CONTRACTORS TO ENSURE THAT ALL INSPECTIONS ARE CARRIED OUT AS REQUIRED BY LOCAL BUILDING CODE AUTHORITIES, GENERAL REVIEW COMMITMENTS, AND THIRD PARTY DESIGN SPECIFICATIONS

SITE WORK:
- ENSURE ALL EXCAVATION AVOIDS DAMAGE TO ANY RELATED PROPERTIES, EXISTING STRUCTURES, UTILITIES, ROADS OR SURROUNDING FEATURES.
- CONTRACTOR TO CONFIRM ALL UTILITIES LOCATIONS BEFORE EXCAVATION..
- EXISTING GRADES AND DRAINAGE LOCATIONS TO BE MAINTAINED UNLESS NOTED OTHERWISE STATED OTHERWISE

PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION:
- EXISTING STRUCTURE(S) TO BE PROTECTED DURING CONSTRUCTION FROM ANY WEATHER ISSUES, SECURITY OR RELATED DAMAGES.
- VERIFY/REINFORCE EXISTING SUPPORT SYSTEMS, INCLUDING FOUNDATIONS THROUGHOUT CONSTRUCTION

PREFABRICATED ITEMS AND ORDERING OF MATERIALS:
- ALL PREFABRICATED ITEMS TO BE SITE VERIFIED PRIOR TO CONSTRUCTION
- SHOP DRAWINGS FOR PREFABRICATION ITEMS TO BE SUPPLIED BY OTHERS.
- REFER TO RELEVANT DOCUMENTS FOR DIMENSIONS AND INSTALLATION REQUIREMENTS

UTILITIES, SERVICES, AND EASEMENTS:
- CONTACT ALL LOCAL AUTHORITIES HAVING JURISDICTION TO GAS , ELECTRICAL, WATER, SANITARY, EASEMENTS AND OTHER RELATED ITEMS WHERE APPLICABLE

STRUCTURAL(INCL. BEAMS & POSTS):
- REFER TO PLANS FOR ALL BEAMS AND POST SIZES
- ALL MEMBERS SHALL BE FRAMED, ANCHORED, FASTENED, TIED AND BRACED TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY
- ALL STRUCTURAL LOADS TO BE CONTINUOUS & VERTICAL WITH SOLID BEARING THROUGH THE FOUNDATION
- MIN 3 1/2" SOLID BEARING FOR ALL WOOD BEAMS 2-PLY OR LESS
- MIN 5 1/2" SOLID BEARING FOR STEEL & WOOD BEAMS 3-PLY OR GREATER
- ALL STRUCTURAL POSTS TO BE SAME WIDTH AS MEMBER THEY SUPPORT
- PROVIDE SOLID CONCRETE FOR TOP 2 COURSES FOR ALL BEAMS AND POSTS BEARING ON MASONRY WALLS
- ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

TREE PROTECTION:
- NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN TREE PROTECTION ZONES WITHOUT APPROVAL FROM LOCAL FORESTRY DEPARTMENT.

INSPECTIONS:
- CONTRACTORS ARE RESPONSIBLE TO ARRANGE FOE REQUIRED INSPECTIONS BY LOCAL BUILDING AUTHORITIES AND/OR STRUCTURAL ENGINEER WHERE APPLICABLE FOR GENERAL REVIEW COMMITMENT.

OTHER DESIGN DRAWINGS:
- OTHER DESIGN DRAWINGS REQUIRED FOR PERMIT RELATED APPROVALS TO BE PREPARED PRIOR TO ANY WORK. THESE MAY INCLUDE, BUT ARE NOT LIMITED TO HVAC DESIGN, ENGINEER ROOF DESIGN, SOILS REPORTS, ETC...

MATERIALS

GENERAL:
- ALL MATERIALS AND INSTALLATIONS TO CONFORM TO THE ONTARIO BUILDING CODE STANDARDS AS WELL AS ALL MANUFACTURER'S SPECIFICATIONS.
- OWNERS & CONTRACTORS ARE RESPONSIBLE FOR ALL PRODUCT & COLOUR SELECTIONS.
- ANY MATERIAL SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE SUPPLIERS.

LUMBER:
- ALL LUMBER TO BE SPRUCE-PINE-FIR NO 1& 2 OR BETTER WITH GRADE STAMP
- LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO2 PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE
- MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION
- LUMBER IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE WITH 2MIL POLY, NO 50 (45LBS) ROLL ROOFING PAPER, OR OTHER DAMPPROOFING MATERIALS, EXCEPT WHERE THE WOOD MEMBER IS MORE THAN 6" ABOVE THE GROUND
- CONTRACTOR TO ENSURE PROPER PROTECTION IS PROVIDED WHERE TERMITES ARE KNOWN TO OCCUR

FASTENERS AND STEEL HANGERS:
- NAILS AND SCREWS AS PER OBC 9.23.3.
- ENGINEER APPROVED JOIST HANGERS AND FASTENERS WHERE REQUIRED FOR JOIST AND BEAM CONNECTIONS

INSULATION:
- NON-COMBUSTIBLE BATT INSULATION, POLYSTYRENE RIGID BOARD, LOOSE FILL, OR SPRAY FOAM INSULATION (SPRAY FOAM INSULATION TO BE INSTALLED AS PER CAN/ULC-S705.1 AND CAN/ULC-705.2(INSTALLER'S RESPONSIBILITIES)

R-VALUES
- CEILING WITH ATTIC - (R60)
- ROOF WITHOUT ATTIC - (R31)
- EXTERIOR WALL ABOVE GRADE - (R24) OR (22+5ci FOR NEW HOMES)
- EXTERIOR WALL BELOW GRADE - (R20)
- FOUNDATION WALL(24" BELOW GRADE) - (R10)
- EXPOSED FLOORS - (R31)
- SLABS ON GRADE - (R10)

CONCRETE - INCL. CONCRETE MASONRY UNITS:
- 32MPA (4650 PSI) FOR GARAGE FLOORS, CARPORTS, EXTERIOR STEPS, AND OTHER EXTERIOR FLAT WORK (5%-8% AIR ENTRAINMENT)
- 20MPA (2900 PSI) FOR INTERIOR FLOORS OTHER THAN GARAGES AND CARPORTS
- 15MPA (2200PSI) FOR ALL OTHER APPLICATIONS
- CONCRETE MASONRY UNITS TO BE 15MPA (2200 PSI)

STEEL:
- ALL STEEL SHALL BE SHOP PRIMED WITH RUST INHIBITING PAINT
- STEEL BEAMS TO CONFIRM TO CODE REQUIREMENTS UNLESS NOTED OTHERWISE
- CONNECTIONS AND WELDING TO BE PERFORMED BY QUALIFIED INDIVIDUALS

FRAMING AND STRUCTURAL NOTES

FLOORS
- FLOOR JOISTS TO HAVE MIN 1¾" BEARING. (MIN 1¾" FOR I-JOIST)
- APPROVED STEEL HANGERS WHERE FLUSH MOUNTING.
- DOUBLE JOISTS OR BLOCKING UNDER PARALLEL NON-LOADBEARING WALLS
- NOTE ABOUT CONCRETE TOPPING
- UNHEATED BELOW
- PROVIDE SILL PLATES (MIN 2"X4") ANCHORED TO ALL MASONRY AND FOUNDATION WALLS WITH APPROVED SILL GASKET
- PROVIDE BLOCKING BETWEEN CANTILEVERED JOISTS OVER BEARING WALLS/BEAMS BELOW

WALLS
- FLOOR JOISTS TO HAVE MIN 1 ½" BEARING.
- APPROVED STEEL HANGERS WHERE FLUSH MOUNTING.
- DOUBLE JOISTS OR BLOCKING UNDER PARALLEL NON-LOADBEARING WALLS
- NOTE ABOUT CONCRETE TOPPING
- UNHEATED BELOW

PARTITIONS
- BLOCKING MID HEIGHT FOR ALL UNFINISHED WALLS
- PROVIDE BLOCKING BELOW @ 48" O.C. (BETWEEN PARALLEL JOISTS UNDER NON-LOADBEARING WALLS)
- LUMBER IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE WITH 2MIL POLY, NO 50 (45LBS) ROLL ROOFING PAPER, OR OTHER DAMPPROOFING MATERIALS, EXCEPT WHERE THE WOOD MEMBER IS MORE THAN 6" ABOVE THE GROUND

BEAMS / POSTS
- REFER TO PLANS FOR ALL BEAMS AND POST SIZES
- MIN 3 ½" SOLID BEARING FOR ALL WOOD BEAMS 2-PLY OR LESS
- MIN 5 ½" SOLID BEARING FOR STEEL BEAMS AND WOOD BEAMS 3-PLY OR GREATER
- ALL STRUCTURAL POSTS TO BE SAME WIDTH AS MEMBER THEY SUPPORT
- PROVIDE SOLID CONCRETE FOR TOP 2 COURSES FOR ALL BEAMS AND POSTS BEARING ON MASONRY WALLS
- ALL BEAMS AND POSTS TO HAVE SOLID BEARING WITH LOADS CONTINUOUS THRU FOUNDATION
- FIELD WELD FOR ALL STEEL BEAM-BEAM CONNECTIONS. WELDING OR BOLTED CONNECTIONS ACCEPTABLE FOR STEEL POST-BEAM CONNECTIONS.
- ENGINEER APPROVED JOIST HANGERS AND FASTENERS WHERE REQUIRED FOR JOIST AND BEAM CONNECTIONS
- ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
- ENSURE QUALITY OF EXISTING MASONRY WALLS IS ADEQUATE FOR ALL LOADS WHERE REQUIRED

MASONRY WALLS:
- PROVIDE SOLID MASONRY FILLED TOP COURSE WITH CONTINUOUS 2"X4" SILL PLATE UNDER ALL FRAMING MEMBER
- REPAIR AND/OR PARGE AS NEEDED FOR ALL EXISTING MASONRY WALLS
- FOR REDUCED FOUNDATION WALL THICKNESS TO ALLOW BRICK VENEER (WHILE MAINTAINING LATERALS SUPPORT)
- MASONRY OVER OPENINGS SHALL BE SUPPORTED WITH SHOP PRIMED STEEL LINTELS (MIN 6" END BEARING)

ALARMS AND DETECTORS / FIRE PROTECTION / GAS PROOFING

ALARMS AND DETECTORS
- SMOKE ALARMS AS PER OBC
- CARBON MONOXIDE DETECTOR AS PER
- PROVIDE C.O. DETECTOR IN ALL ROOMS WHERE THERE IS A SOLID FUEL BURNING APPLIANCE OR STOVE.
- PROVIDE ONE SMOKE DETECTOR AND C.O. DETECTOR FOR EACH FLOOR
- PROVIDE ONE SMOKE ALARM PER SLEEPING ROOM
- SMOKE DETECTORS TO BE LOCATED SUCH THAT ONE IS WITHIN 10'-0" OF EVERY BEDROOM DOOR AND NO MORE THAN 49'-3" TRAVEL DISTANCE FROM ANY POINT ON THE FLOOR. ALL ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE OTHER ALARMS IN DWELLING.

45MIN F.R.R. (EXPOSED BUILDING FACE)
- ⅝" TYPE 'X' GYPSUM BOARD INTERIOR FINISH WHERE PROPERTY LINES ARE LESS THAN 3'-11" FROM THE EXTERIOR WALL
- ENSURE SIZE OF UNPROTECTED OPENINGS CONFIRM TO TABLE O.B.C. (9.10.15.4)

NON-COMBUSTIBLE CLADDING (EXPOSED BUILDING FACE)
- NON-COMBUSTIBLE CLADDING WHERE THE PROPERTY LINE IS LESS THAN 24"
- APPROVED CLADDING TO BE EITHER MASONRY VENEER, VINYL SIDING(AS PER 9.10.15.5(3), OR DURABOND STUCCO NON-COMBUSTIBLE SYSTEMS.
- UNPROTECTED OPENINGS NOT PERMIT

GAS PROOFING:
- WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES
- ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED
- DOORS BETWEEN THE DWELLING UNIT AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHER STRIPPED AND HAVE SELF CLOSER

LEGEND:

AC - AIR CONDITIONING
BLK - CONCRETE BLOCK
CANT. - CANTILEVER
CJ - CEILING JOIST
CLO - CLOSET
CO - CO2 DETECTOR
CONC - CONCRETE
DJ - DOUBLE JOIST
EXTG - EXISTING
FD - FLOOR DRAIN
FDN - FOUNDATION
FJ - FLOOR JOIST
FIN - FINISHED
FTG - FOOTING
FURN - FURNACE
GFP - GAS FIREPLACE
GT - GIRDER TRUSS
HWT - HOT WATER TANK
OC - ON CENTER
OH - OVERHEAD
OTA - OPEN TO ABOVE
OTB - OPEN TO BELOW
PL - POINT LOAD
PT - PRESSURE TREATED
RR - ROOF RAFTER
RJ - ROOF JOIST
SBFA - BEARING FROM ABOVE
SA - SMOKE ALARM
TYP - TYPICAL
U/G - UNDER GROUND
U/S - UNDER SIDE
UNEXC - UNEXCAVATED

- EXISTING WALL (TO REMAIN)
- EXISTING WALL (TO REMOVE)
- PROPOSED INTERIOR WALL
- PROPOSED EXTERIOR WALL (CLADDING)
- PROPOSED EXTERIOR WALL (STUCCO)
- PROPOSED EXTERIOR WALL (MASONRY VENEER)
- PROPOSED FOUNDATION WALL (CONCRETE BLOCK)
- PROPOSED FOUNDATION WALL (POURED CONCRETE)
- SPRAY FOAM INSULATION
- CONSTRUCTION NOTE
- DETAIL NOTE
- DOOR SIZES (INCHES)

TAG NUMBER REVISION

1A FOOTING / FOUNDATIONS / EXCAVATION & BACKFILL

FOOTINGS:
- CONCRETE STRIP FOOTING AND/OR PAD AS PER PLAN (15 MPA)
- FOOTING REQUIRES SHEAR KEY OR 15M DOWELS SPACED @ 48" O.C.
- FOOTINGS TO BE BEARING ON UNDISTURBED SOIL WITH MINIMUM BEARING CAPACITY OF 75Kpa (100Kpa FOR ICF)
- UNDERSIDE OF FOOTING TO BE MIN 48" BELOW GRADE
- ENGINEER DESIGN WHERE JOISTS SPAN EXCEED 16'-1" OR 2 STOREY
- STEPPED FOOTINGS: MAX 22" RISE & MIN 24" RUN (MAX VERT. STEP FOR SAND OR GRAVEL = 14")

FOUNDATION:
- CONCRETE BLOCK MASONRY(15MPa) OR POURED CONCRETE (15MPa) - THICKNESS AND STRENGTH AS PER PLAN
- 8" ANCHOR BOLTS (⅝" DIA) EMBEDDED MIN 8" @ 7'-10" O.C.
- CONC BLOCK FOUNDATIONS TO BE SOLID CONC TOP 2 COURSES
- BRACE FOUNDATION PRIOR TO BACKFILL
- FOUNDATION REINFORCEMENT REQUIRED FOR LATERALLY UNSUPPORTED SECTIONS OR WHERE BACKFILL HEIGHT EXCEEDS PERMITTED AS PER O.B.C. ALLOWANCES (TABLE 9.15.4.2)
- ALL FOUNDATION WALL TO EXTEND MIN 6" ABOVE FINISHED GRADE

DAMPPROOFING & DRAINAGE:
- DAMPPROOFING AND DRAINAGE TO EXTEND FROM FOOTING LEVEL TO FINISHED GRADE
- BITUMINOUS DAMP PROOFING LAYER
- PROVIDE ½" LAYER OF PARGING FOR CONCRETE BLOCK WALLS.
- OVERLAPPING LAYER OF DELTA-MS DRAINAGE WRAP
- 4" WEEPING TILE WITH MIN 6" OF ¾" GRANULAR STONE COVER (LEVEL WITH FOOTING BELOW INTERIOR SLAB. (ENSURE TILE IS CONTINUOUS WITH DRAINAGE TO APPROVED LOCATION.)
- CONSULT ENGINEER WHERE HYDROSTATIC CONDITIONS EXIST

EXCAVATION & BACKFILL
- ENSURE ALL EXCAVATION AVOIDS ANY DAMAGE TO RELATED PROPERTIES, EXISTING STRUCTURES, UTILITIES, ROADS OR LANDSCAPE FEATURES.
- ENSURE INTEGRITY OF THE EXCAVATION, BRACING, AND SHORING IS MAINTAINED THROUGHOUT CONSTRUCTION
- EXCAVATION TO BE FREE OF STANDING WATER AND KEPT FROM FREEZING.
- EXCAVATION MUST BE CONTINUOUS TO UNDISTURBED SOIL WITH MIN SOIL BEARING CAPACITY
- ENGINEER APPROVAL REQUIRED FOR INADEQUATE SOIL CONDITIONS (INCLUDING HIGH GROUND WATER, UNSTABLE SOILS, CLAY, AND ANGLE OF REPOSE REQUIREMENTS.)
- ENSURE FINISHED GRADE DRAINS TO APPROVED LOCATIONS.

1D CONCRETE PIER

- CONCRETE PIER (15MPA) WITH BELLED BOTTOM OR CONCRETE PAD
- PIER THICKNESS AS PER PLAN
- METAL SHOE FASTENER WITH MIN ½" BOLTS (MIN 6" EMBEDDED INTO CONCRETE PIER)
- STRUCTURAL POST ABOVE AS PER PLAN

NOTES:
- ENSURE FOUNDATION EXTENDS MIN 6" ABOVE GRADE
- UNDERSIDE OF PIER TO BE MIN 48" BELOW GRADE RESTING ON UNDISTURBED SOIL

2F WOOD DECK

- 1"X4" P.T. WOOD DECKING ON DECK JOISTS
- PRESSURE TREATED DECK JOISTS AND BEAMS AS PER PLAN
- P.T. POST ANCHORED TO METAL SHOE WITH ½" BOLTS ON CONCRETE PIER

NOTES:
- REFER TO SB-7 OF OBC FOR ALL TYP. SPECIFICATIONS REGARDING RAILINGS, GUARDS AND CONNECTION DETAILS.

4D NEW ROOF (SLOPED - UNHEATED BELOW)

- ASPHALT ROOF SHINGLES (UNLESS STATED OTHERWISE)
- NO 15 BUILDING PAPER
- ½" ROOF PLY SHEATING('H' CLIPS AT UNSUPPORTED EDGES)
- ROOF FRAMING AS PER PLAN
- COLLAR TIES TO HAVE 1"X4" BRACING WHERE SPAN IS GREATER THAN 7'-10"

NOTES
- ROOF TRUSS PACKAGES TO BE VERIFIED ON SITE BEFORE ORDERING
- FLASHING REQUIRED WHERE ALL ROOF INTERSECTIONS WITH OTHER ROOFS, EXTERIOR WALLS, AND CHIMNEYS

4E FLASHING

- GALVANIZED METAL FLASHING(ALL ROOF INTERSECTIONS WITH OTHER ROOFS, EXTERIOR WALLS, AND CHIMNEYS)
- MIN 24" METAL FLASHING FOR OPEN VALLEYS

INTERSECTIONS OF ROOFS & MASONRY WALLS:
- COUNTER FLASHING SHALL BE EMBEDDED 1" INTO MASONRY WALL AND EXTEND DOWN WALL NO LESS THAN 6" WITH MIN 4" OVERLAP FOR LOWER FLASHING
- STEPPED FLASHING SHALL OVERLAP MIN 3" HORIZONTALLY
- FLASHING TO BE CONTINUOUS BEHIND BRICK VENEER

INTERSECTION OF ROOFS & WALLS OTHER THAN MASONRY:
- FLASHING TO EXTEND UP WALL MIN 3" (BEHIND SHEATHING PAPER) & MIN 3" HORIZONTALLY
- STEPPED FLASHING SHALL OVERLAP MIN 3" HORIZONTALLY

INTERSECTION OF FLAT ROOFS & EXTERIOR WALLS:
- CANT STRIP FOR MIN 6" CONTINUOUS ROOFING MEMBRANE ON WALL

5A STAIRS / HANDRAILS / GUARDS

STAIR
- MIN HEAD ROOM: 6'-5"
- MIN WIDTH: 2'-10"
- RISER LIMITS: 4 ⅞"- 7 ⅞"
- RUN LIMITS: 8 ½"-14"
- TREAD LIMITS: 9 ½"-14"
- ONE SET OF WINDERS BETWEEN EACH FLOOR LEVEL (MAX 30' PER WINDER) & MIN 48" BETWEEN SETS OF WINDERS
- LANDINGS REQUIRED FOR ALL DOOR SWINGS OVER STAIR
- RISE AND RUN DIMENSIONS TO BE UNIFORM FOR ALL FLIGHTS

HANDRAILS
- CONTINUOUS HANDRAILS FOR ALL STAIR WITH 3 OR MORE RISERS
- MAXIMUM HEIGHT: 34"-38"

GUARDS:
- GUARDS REQUIRED FOR ALL AREAS WITH 3 OR MORE RISERS OR ADJACENT LEVEL EXCEEDS 24"
- NO MEMBERS TO FACILITATE CLIMBING BETWEEN 4" & 35½"
- MAX 4" SPACING BETWEEN PICKETS
- MIN INTERIOR GUARD HEIGHT TO BE 35½"@LANDINGS & STAIRS

NOTES
- REFER TO OBC TABLE 9.8.8.2 FOR LOAD SPECIFICATIONS LOADS GUARDS

NOTES FOR ALL EXTERIOR STAIR(S):
- CONCRETE STAIRS WITH 3 OR MORE RISERS REQUIRE FOUNDATION
- WOOD STAIR SHALL NOT BE IN DIRECT CONTACT WITH GROUND UNLESS TREATED TO PREVENT DECAY OR RESTING ON CONCRETE PAD

GUARDS:
- MIN EXTERIOR GUARD HEIGHT TO BE 35½" (42" WHERE GRADE EXCEEDS 6'-0")

NOTES
- REFER TO OBC SB-7 DETAILS FOR ALL SPECIFICATIONS FOR EXTERIOR GUARDS AND HANDRAILS CONNECTIONS

- EXISTING WALL (TO REMAIN)
- EXISTING WALL (TO REMOVE)
- PROPOSED INTERIOR WALL
- PROPOSED EXTERIOR WALL (CLADDING)
- PROPOSED EXTERIOR WALL (STUCCO)
- PROPOSED EXTERIOR WALL (MASONRY VENEER)
- PROPOSED FOUNDATION WALL (CONCRETE BLOCK)
- PROPOSED FOUNDATION WALL (POURED CONCRETE)
- SPRAY FOAM INSULATION
- CONSTRUCTION NOTE
- DETAIL NOTE
- DOOR SIZES (INCHES)
- REVISION

GENERAL NOTES:
- ALL EXISTING & PROPOSED WORK MUST BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION.
- DO NOT SCALE DRAWINGS
- CONTRACTORS AND OWNERS ARE RESPONSIBLE FOR ANY MODIFICATIONS TO THIS PLAN DUE TO FIELD CONDITIONS AND CONSTRUCTION METHODS.
- SEE ATTACHED FOR ALL GENERAL NOTES, CONSTRUCTION SPECIFICATIONS AND DETAILS
- ALL CONSTRUCTION MUST ADHERE TO ONTARIO BUILDING CODE REQUIREMENTS AND ANY AUTHORITIES HAVING JURISDICTION
- CONTRACTORS TO REVIEW APPROVED PERMIT DRAWINGS FOR ADDITIONAL NOTES AND RELATED DOCUMENTS
- ALL PRODUCT & COLOUR SELECTIONS ARE THE RESPONSIBILITY OF THE CLIENT AND/OR CONTRACTOR UNLESS STATED OTHERWISE IN THESE PLANS
- ANY MATERIAL SUBSTITUTIONS MUST BE OF EQUAL OR GREATER PERFORMANCE (AS PER OBC)

NORTH

ENGINEER SEAL:

DATE	NOTES:
NOV 2/20	PRELIM

SHEET TITLE:
PROPOSED PLANS & FOOT PRINT

ADDRESS:
21 TWILIGHT TERRACE
VAUGHAN, ONTARIO
L4L 2Y8

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE 2012 ONTARIO BUILDING CODE TO BE A DESIGNER:
QUALIFICATION INFO: DAVID LANG (BCIN: 21331)
REGISTRATION INFO: DAVID LANG (BCIN: 28170)

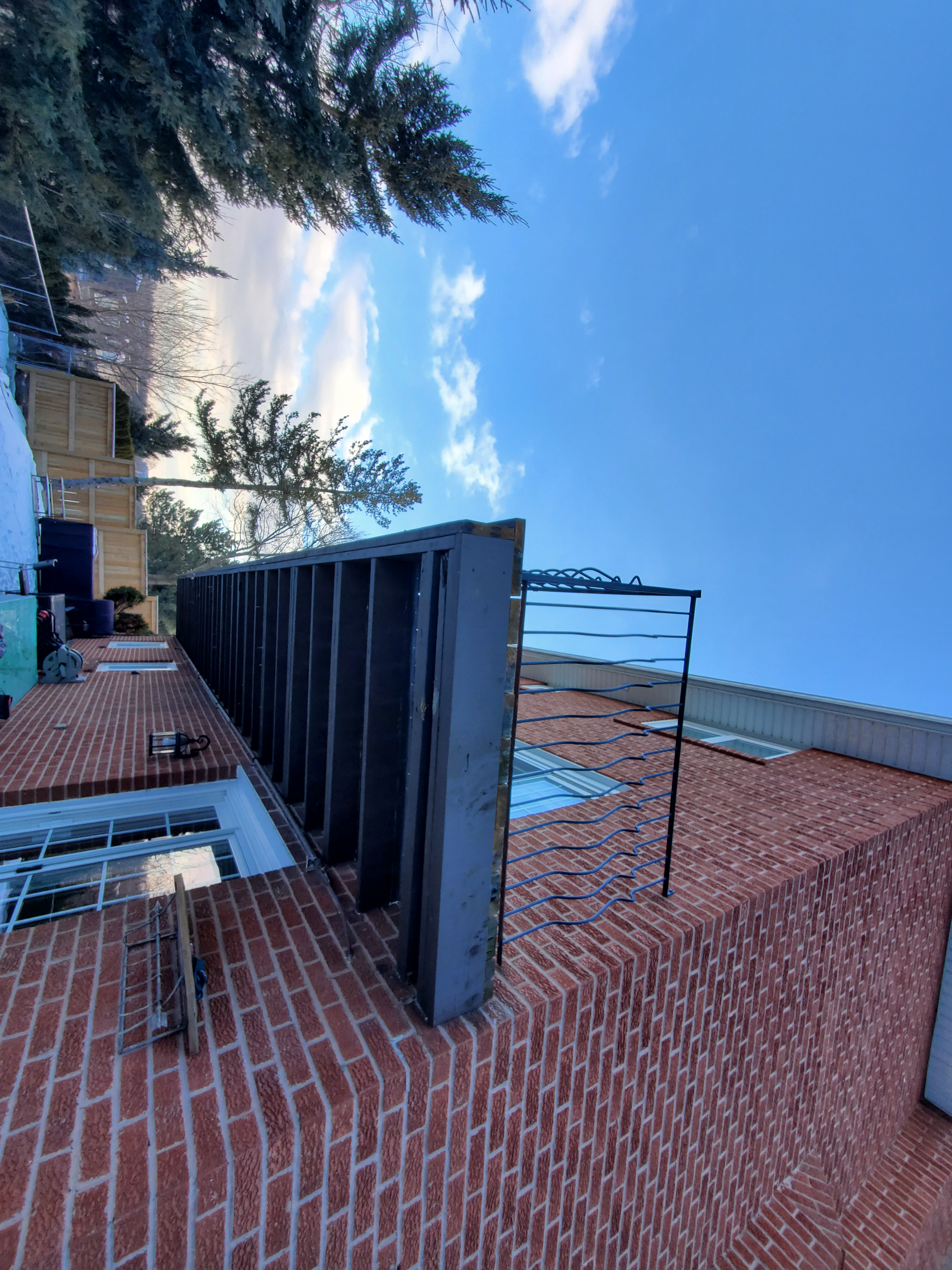
21 TWILIGHT TERR
NOV 10, 2020

DRAWN BY: DAVID LANG
2100 BLOOR ST W - STE 6272
TORONTO, ONTARIO - M6S 5A5
T: 416-894-1864 F:416-604-9767
www.planscandpermits.ca - dave@planscandpermits.ca

SCALE: 1/4" : 1'-0" (UNLESS NOTED OTHERWISE)
DWG No: A4

PROJECT NUMBER:
(PROJECT NUMBER: 20-015)

PLOT STAMP:
December 30, 2020 1:52:24 PM



Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com