



File: A158/20

Applicant: Mario DeCaroli and Anna Schiraldi

Address: 160 Kilmuir Gate, Woodbridge

Agent: None.

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: None.

Background History: None.

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, February 25, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance
Application

Agenda Item: 07

A158/20

Ward: 2

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, February 25, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Mario DeCaroli and Anna Schiraldi

Agent: None.

Property: 160 Kilmuir Gate, Woodbridge

Zoning: The subject lands are zoned R1 and subject to the provisions of Exception 9(263) under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit two (2) existing pavilions (shown as large covered pavilion and small covered pavilion on sketch submitted with the application) and outdoor fireplace located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1) A minimum rear yard setback of 15.0 metres is required to the accessory structure (large pavilion).	1) To permit an accessory structure (large covered pavilion) with a minimum rear yard setback of 13.9 metres.
2) A minimum rear yard setback of 15.0 metres is required to the accessory structure (small pavilion).	2) To permit an accessory structure (small covered pavilion) with a minimum rear yard setback of 7.9 metres.
3) A minimum interior side yard setback of 2.3 metres is required to the accessory structure (small pavilion).	3) To permit an accessory structure (small pavilion) with a minimum interior side yard setback of 2.0 metres.
4) A minimum interior side yard setback of 2.3 metres is required to an architectural design element (fire place) which is 2.3 metres in height.	4) To permit a architectural design element (fireplace being 2.3 in height with a minimum interior side yard setback of 1.0 metres.

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on February 10, 2021

Applicant confirmed posting of signage on February 4, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1982
Shed, Fireplace, Pool	2020
Large Pavilion, Small Pavilion	2020

Applicant has advised that they cannot comply with By-law for the following reason(s): Structures exist and cannot be modified to meet the by-law.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

Building Permit No. 20-109636 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'):"Low-Rise Residential"

In support of this application to maintain the existing accessory structures (pavilions) and fireplace in the rear, the Owner has submitted an Post Construction Arborist Report, prepared by Cinerea Urban Forestry Services, dated January 27, 2021. The Urban Design Division of the Development Planning Department has reviewed the study and has no concerns.

The Development Planning Department is of the opinion the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A158/20.

Parks Development - Forestry:
Forestry has reviewed the Arborist Report and find it satisfactory to our tree protection requirements and in accordance with By-Law 052-2018. No trees were injured to the severity of an infraction to By-Law 052-2018. No further action required. Forestry will keep Arborist Report for documentation purposes.

By-Law and Compliance, Licensing and Permit Services:
No comments or concerns

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No comments received to date.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Public Correspondence (166 Kilmuir Gate) – Letter of Support

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None.

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96 subject to the following conditions: N/A

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

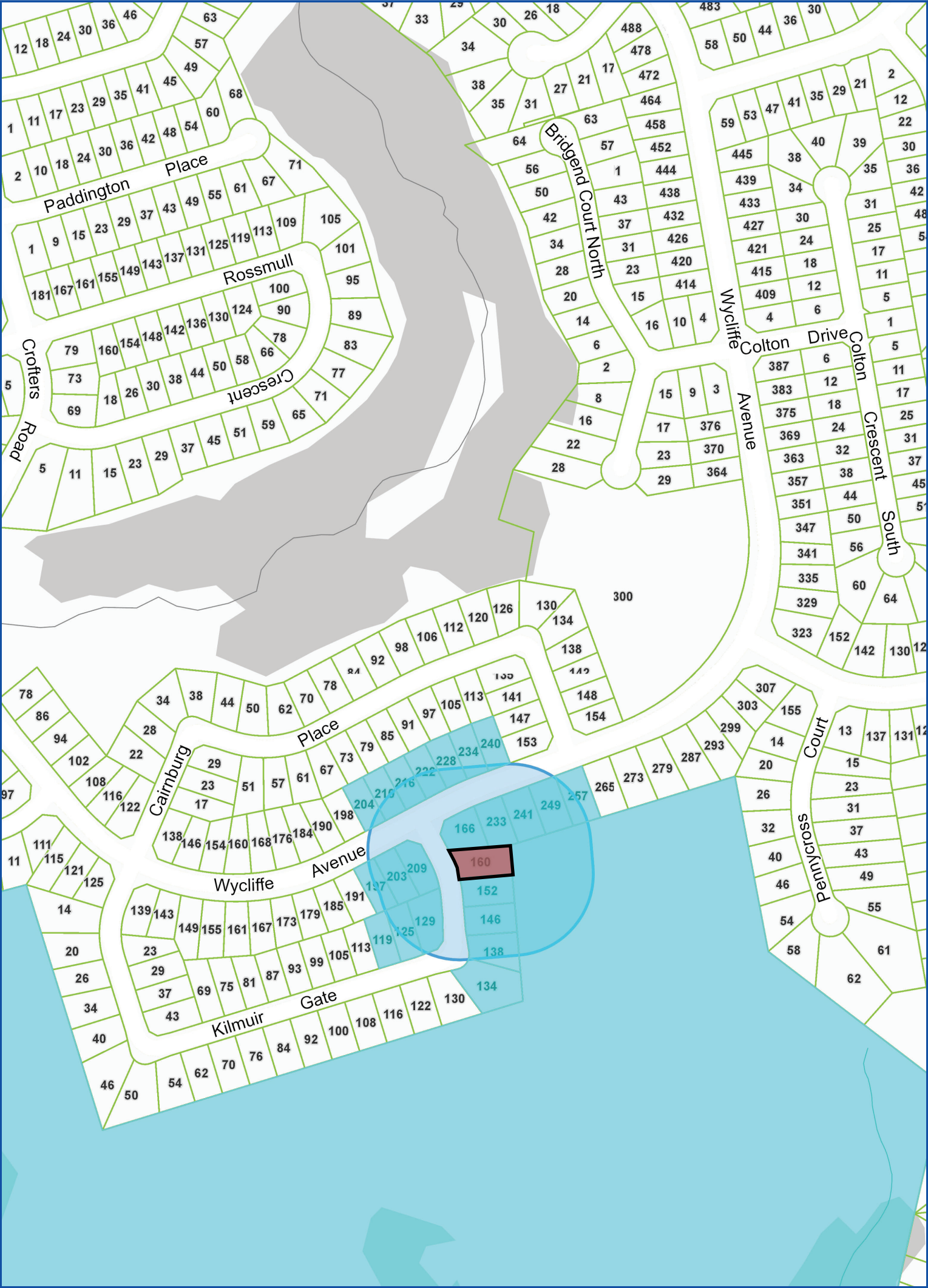
T 905 832 8585 Extension 8394
E CofA@vaughan.ca

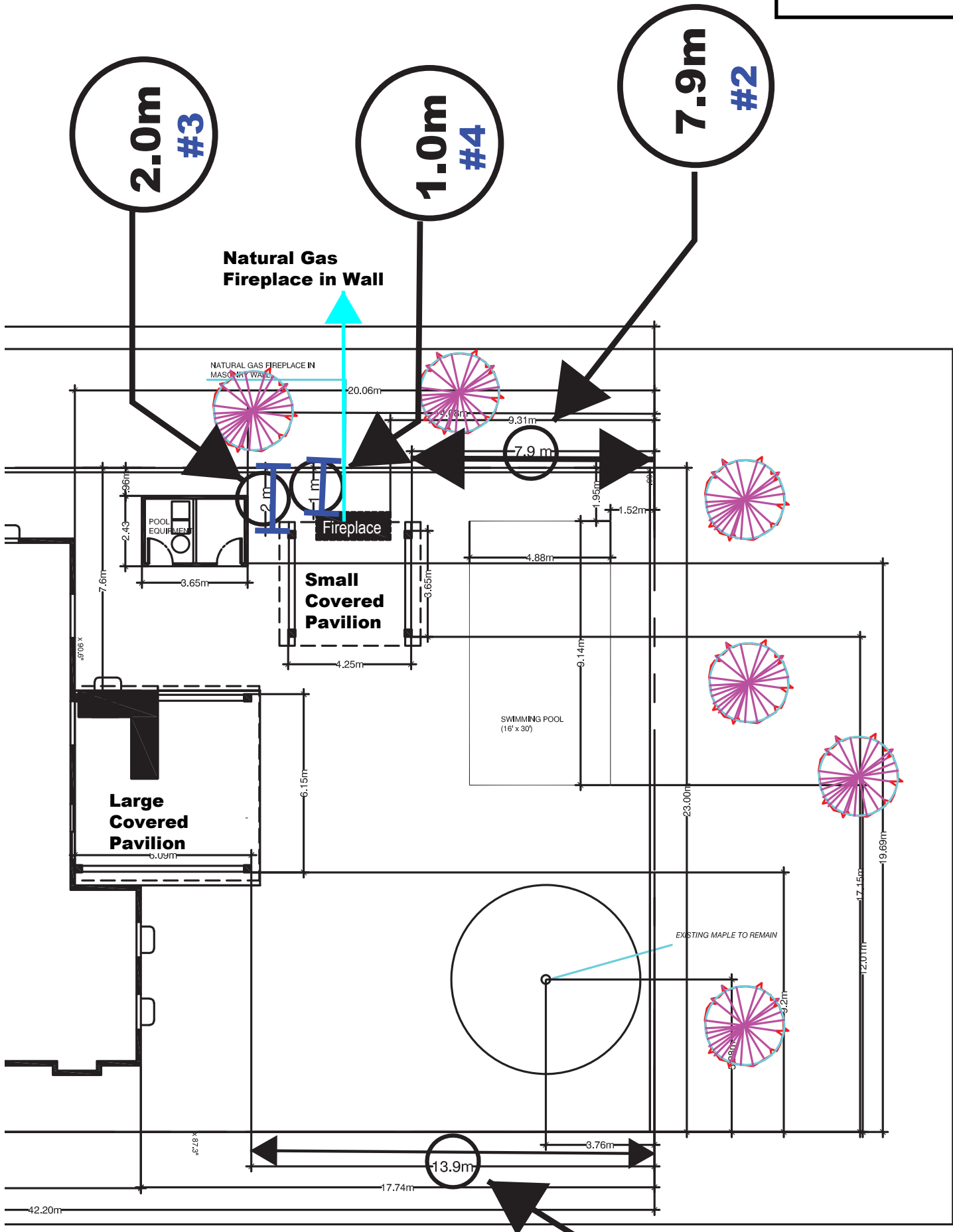
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches

RUTHERFORD ROAD





- #1 To permit an accessory structure (covered pavilion) with a minimum rear yard setback of 13.9 metres.
- #2 To permit an accessory structure (small pavilion) with a minimum rear yard setback of 7.9 metres.
- #3 To permit an accessory structure (small pavilion) with a minimum interior side yard setback of 2.0 metres.
- #4 To permit a architectural design element (fire place being 2.3 in height with a minimum interior side yard setback of 1.0m

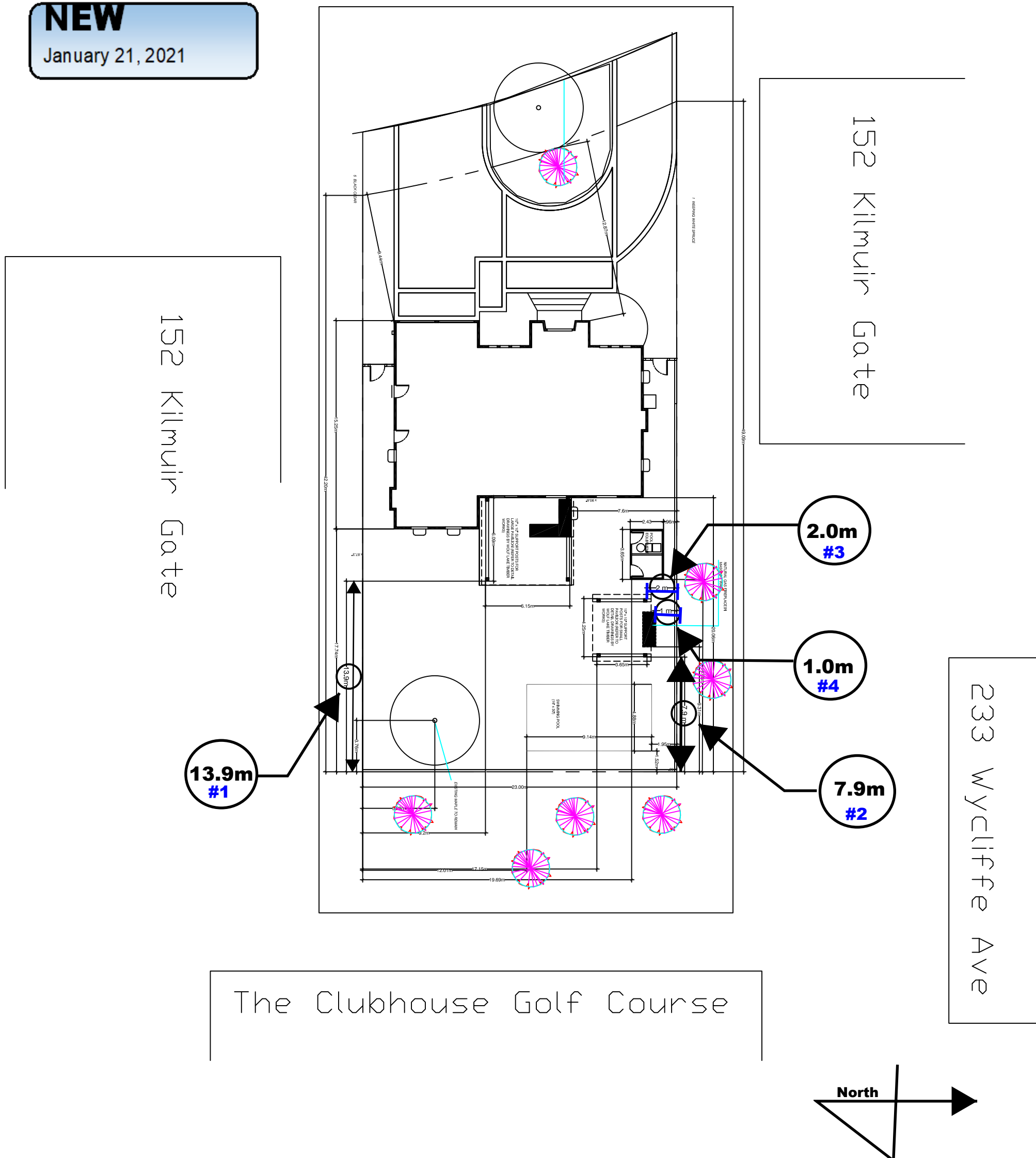
#1
13.9m

- | | |
|----|---|
| #1 | To permit an accessory structure (covered pavilion) with a minimum rear yard setback of 13.9 metres. |
| #2 | To permit an accessory structure (small pavilion) with a minimum rear yard setback of 7.9 metres. |
| #3 | To permit an accessory structure (small pavilion) with a minimum interior side yard setback of 2.0 metres. |
| #4 | To permit a architectural design element (fire place being 2.3 in height with a minimum interior side yard setback of 1.0 metres. |

160 Kilmuir Gate

NEW
January 21, 2021

NEW
January 21, 2021

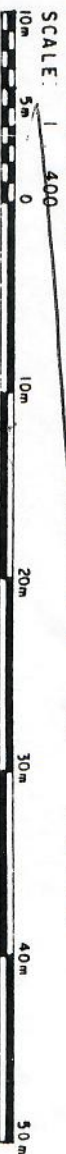


AVENUE

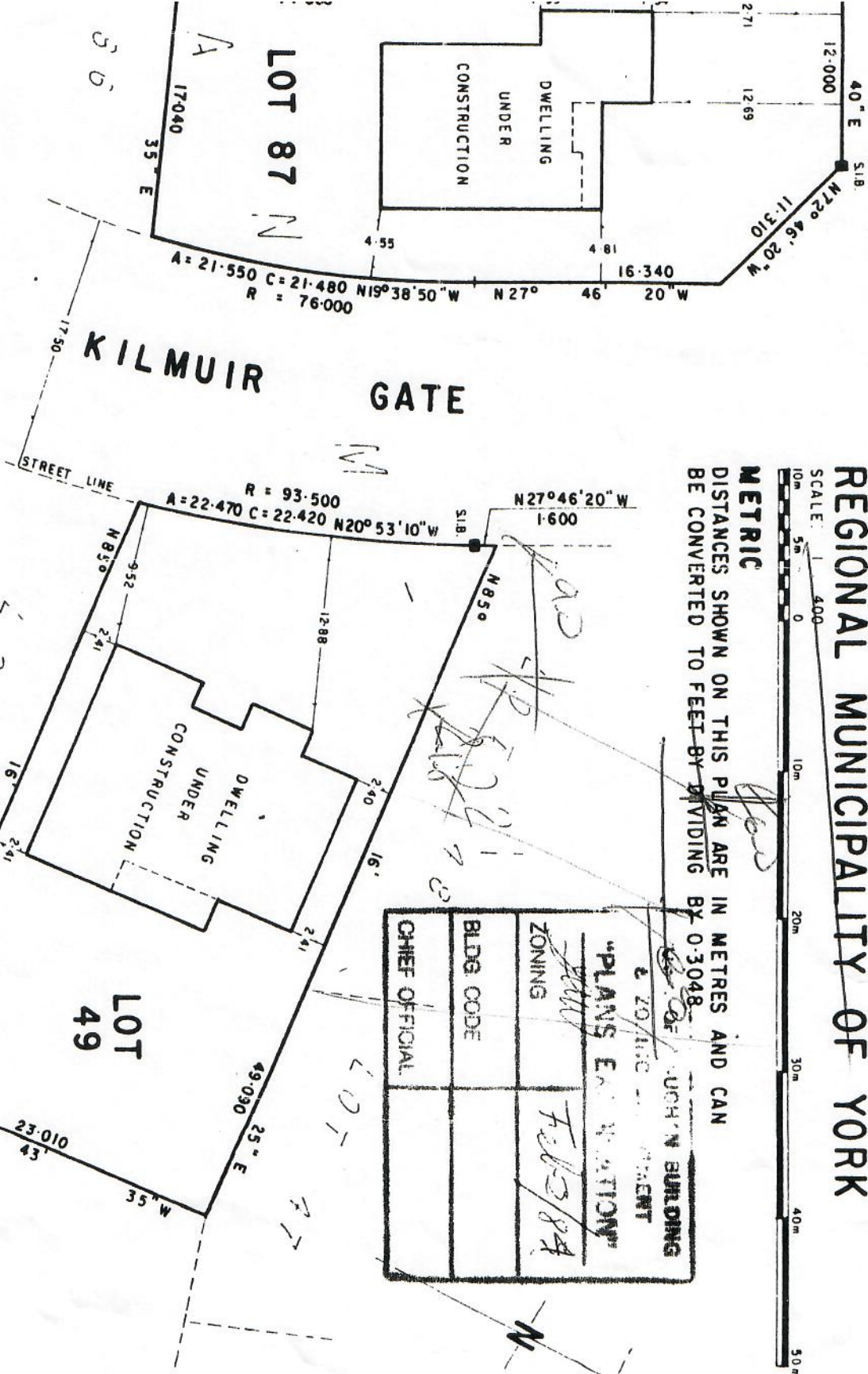
PLAN SHOWING LOTS 49, 87 AND 88, PLAN M-2021 TOWN OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048



"PLANS EXAMINATION"	
ZONING	Feb 2/84
BLDG CODE	
CHIEF OFFICIAL	



NOTE

- I.B. DENOTES IRON BAR
- S.I.B. DENOTES STANDARD IRON BAR
- DENOTES FOUND

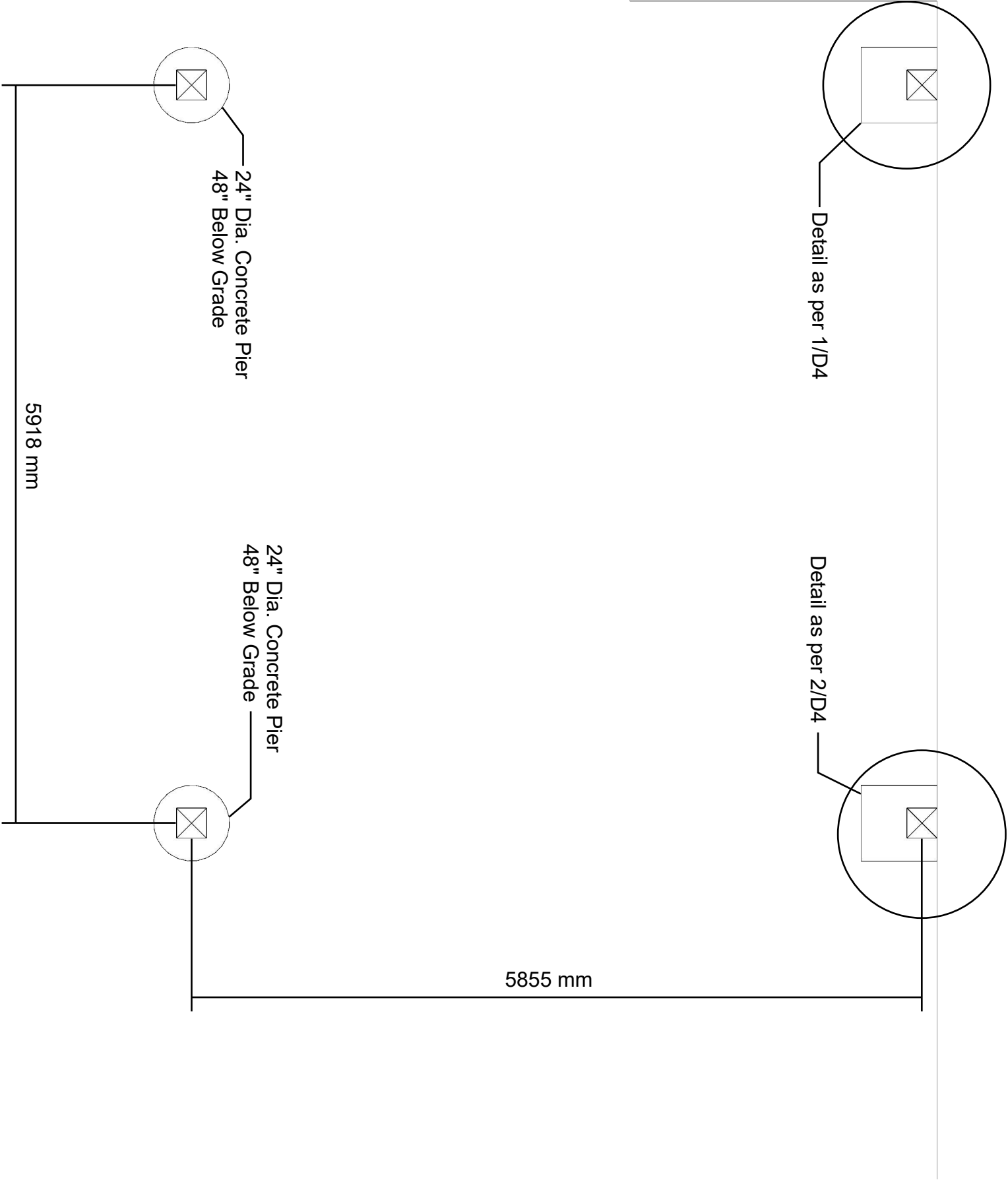
Joseph Rady - Pentek
JOSEPH RADY - PENTEK LTD.
ONTARIO LAND SURVEYOR
678 SHEPPARD AVE. W., DOWNSVIEW ONT.
635-5886





ALL MATERIAL TO BE #1 GRADE DOUGLAS FIR DRESSED FOUR SIDES

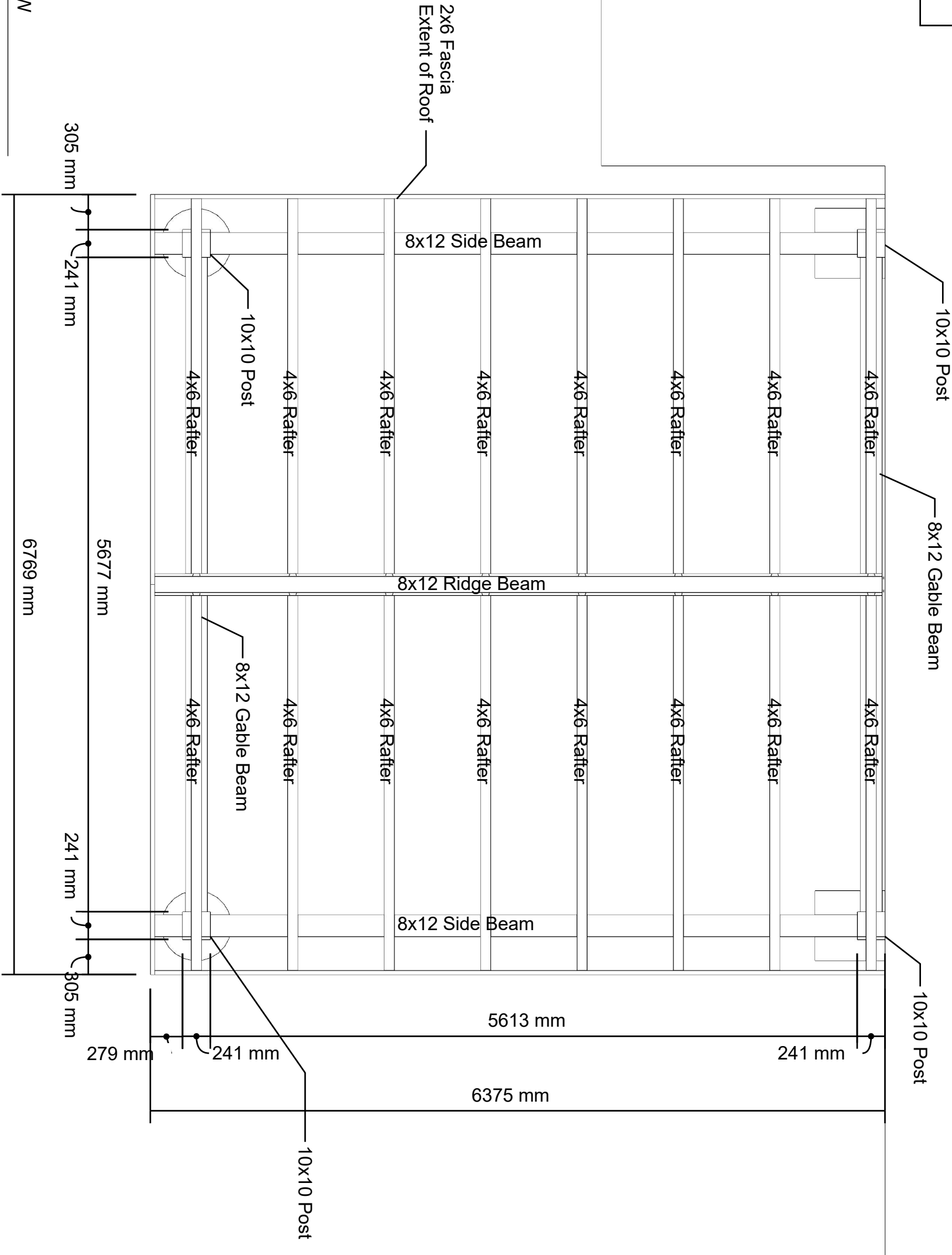
EXISTING BUILDING



1 FOUNDATION PLAN
A1 SCALE: 1:40



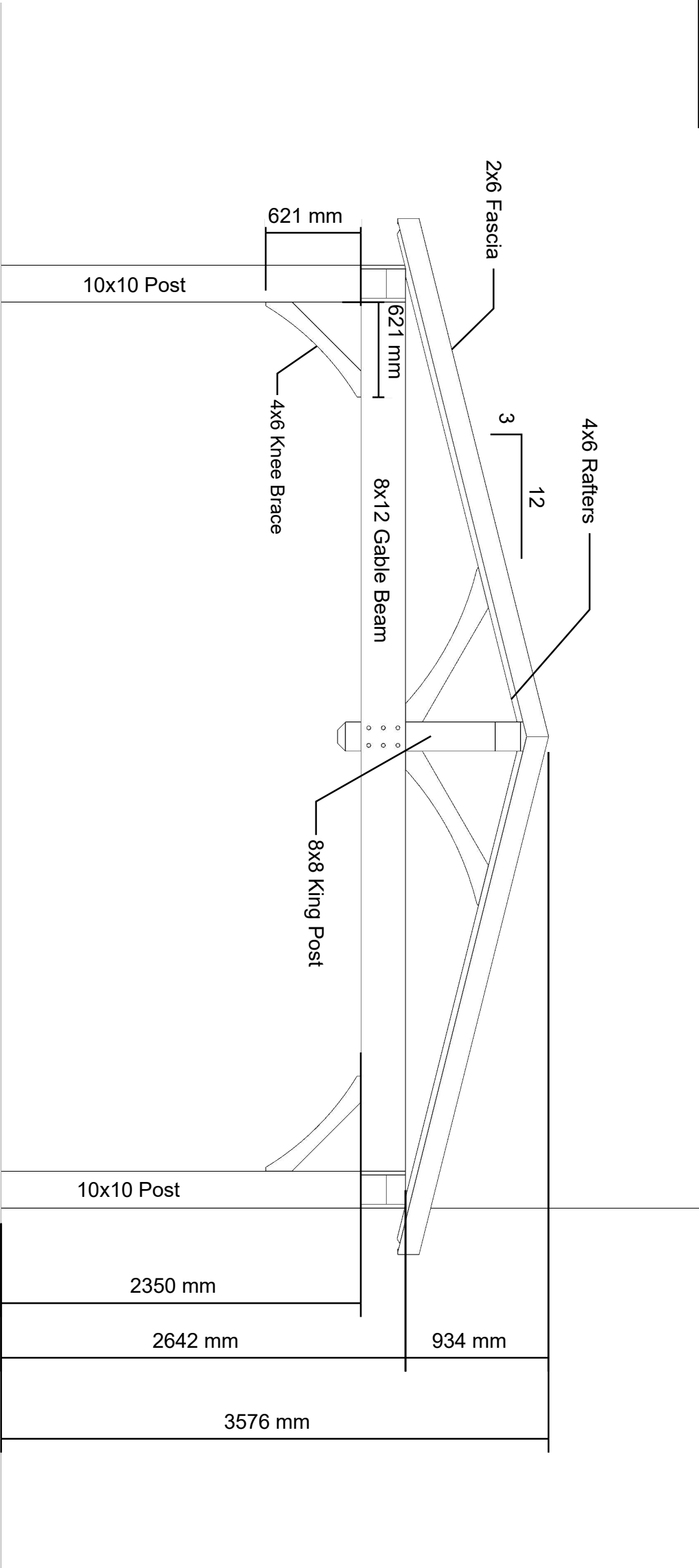
ALL MATERIAL TO BE #1 GRADE DOUGLAS FIR DRESSED FOUR SIDES



1 PLAN VIEW
A2 SCALE: 1:38.4



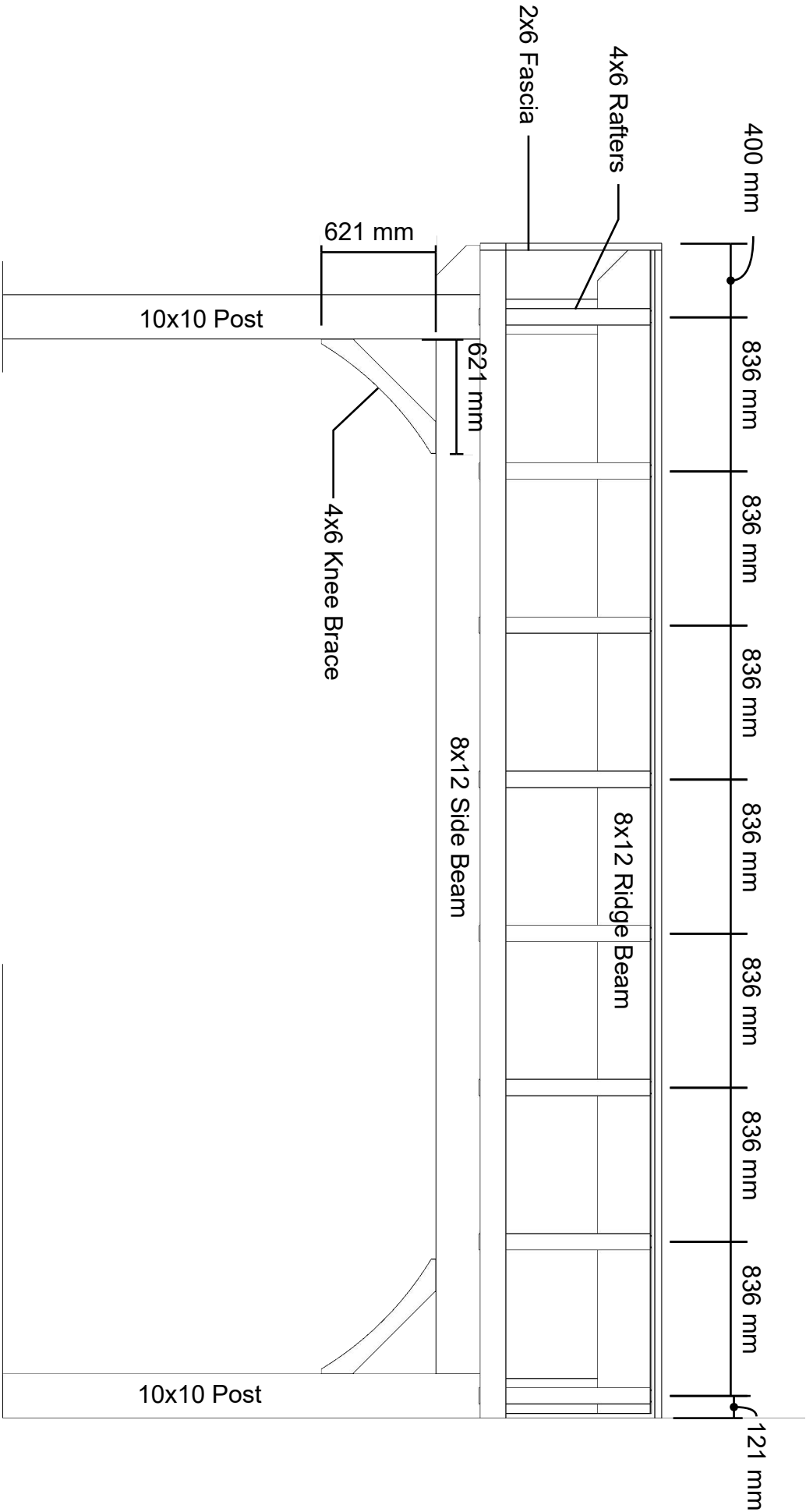
ALL MATERIAL TO BE #1 GRADE DOUGLAS FIR DRESSED FOUR SIDES



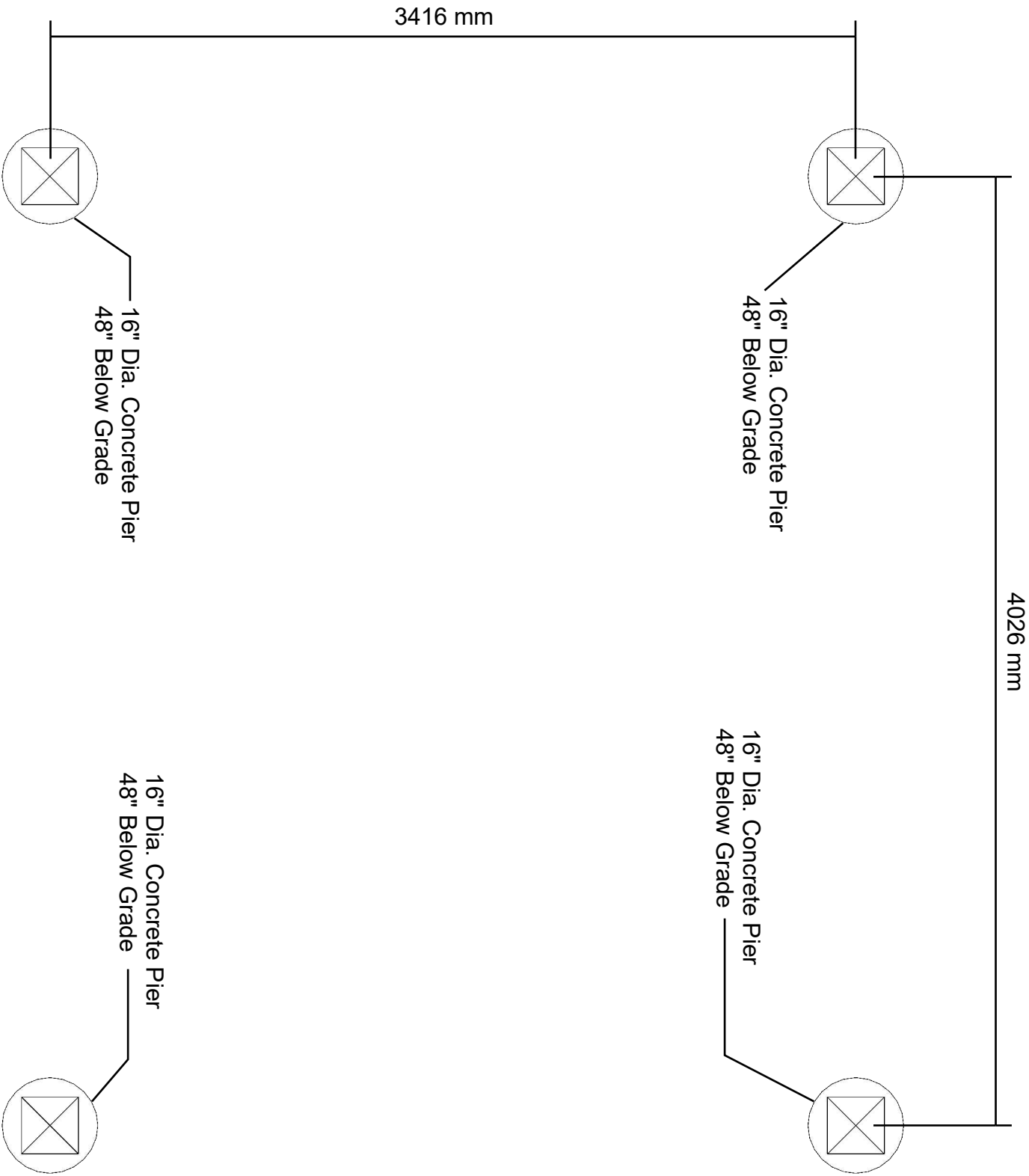
1 FRONT ELEVATION
A3 SCALE: 1:32



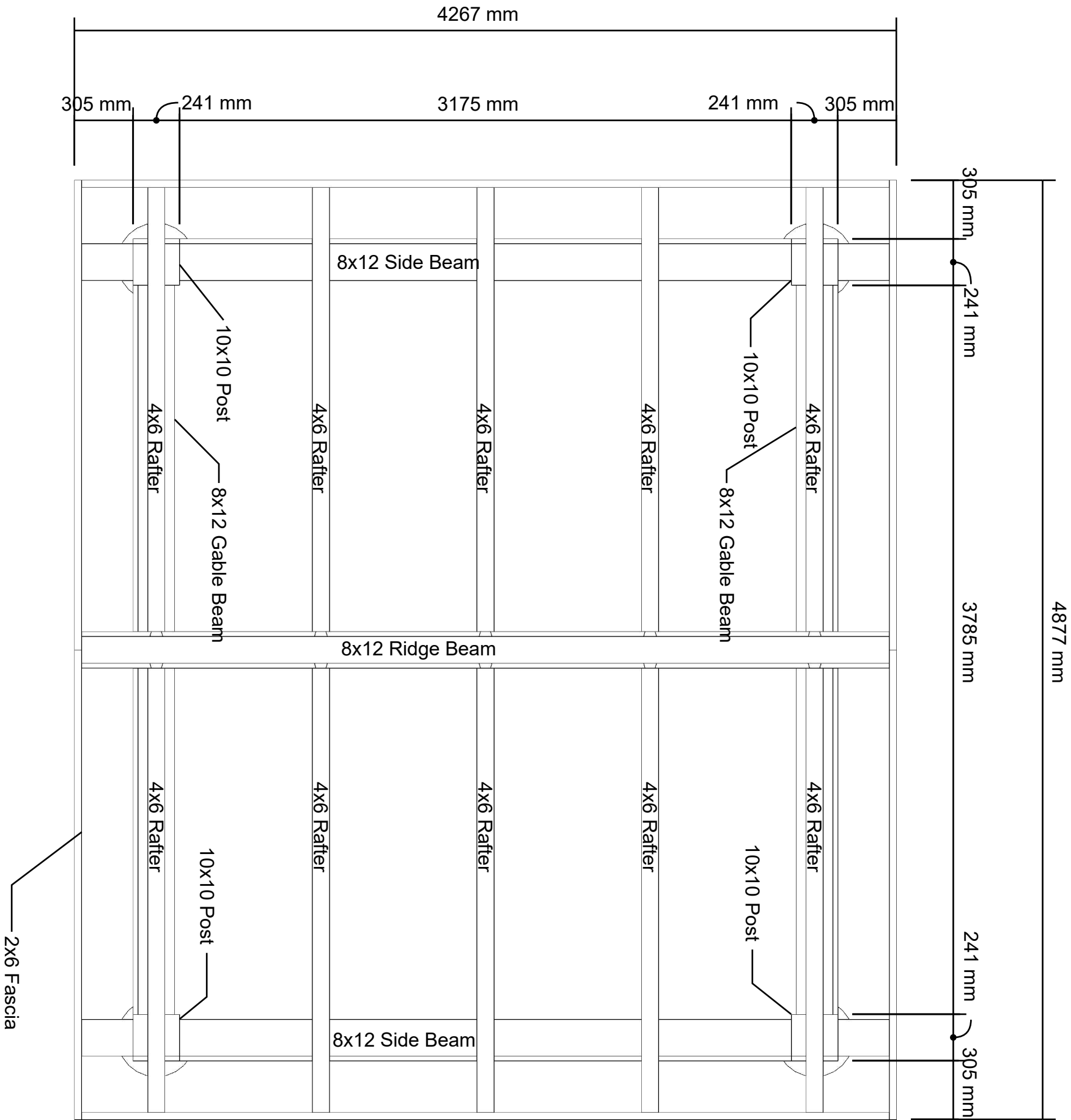
ALL MATERIAL TO BE #1 GRADE DOUGLAS FIR DRESSED FOUR SIDES



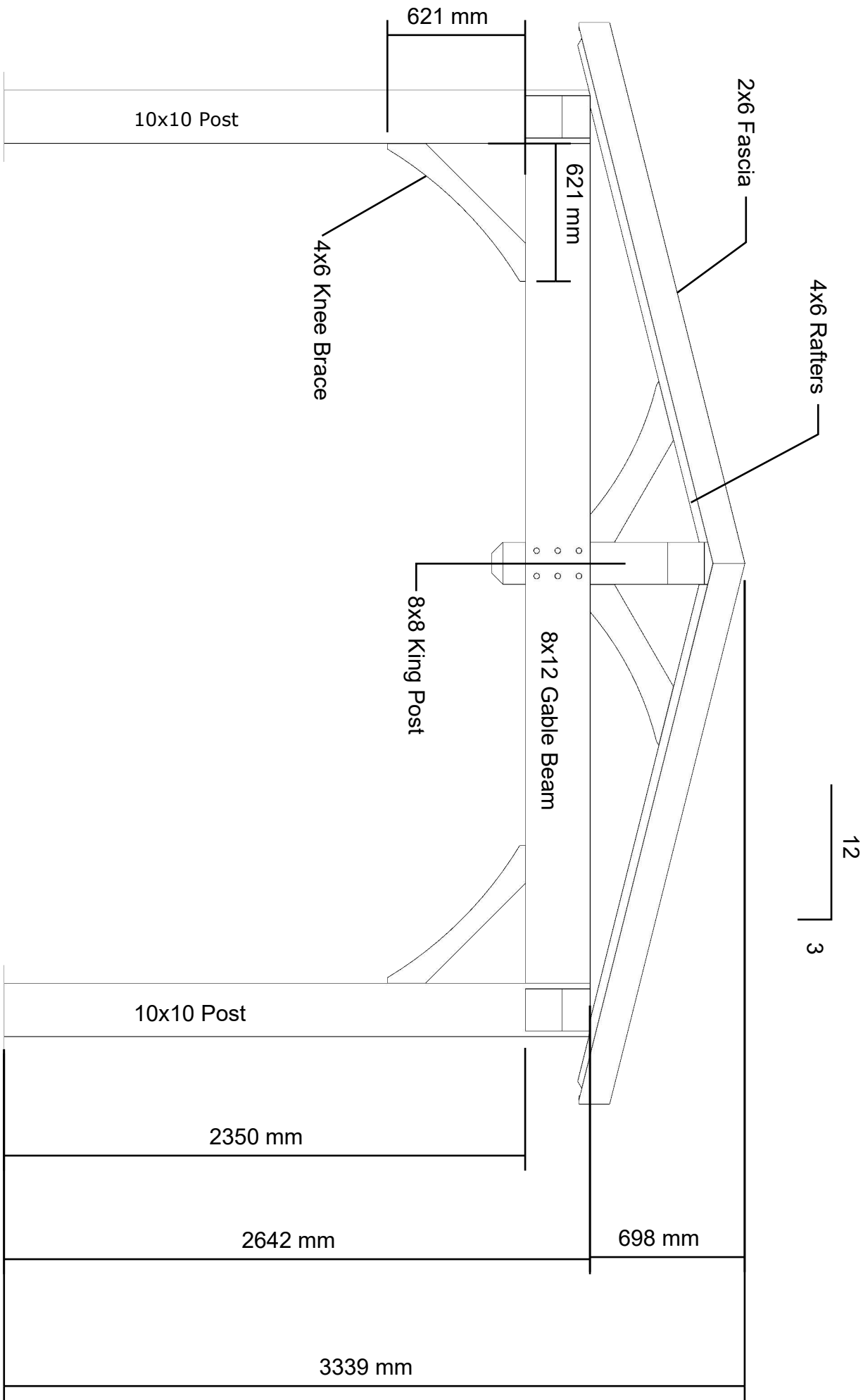
1 RIGHT ELEVATION
A4 SCALE: 1:32



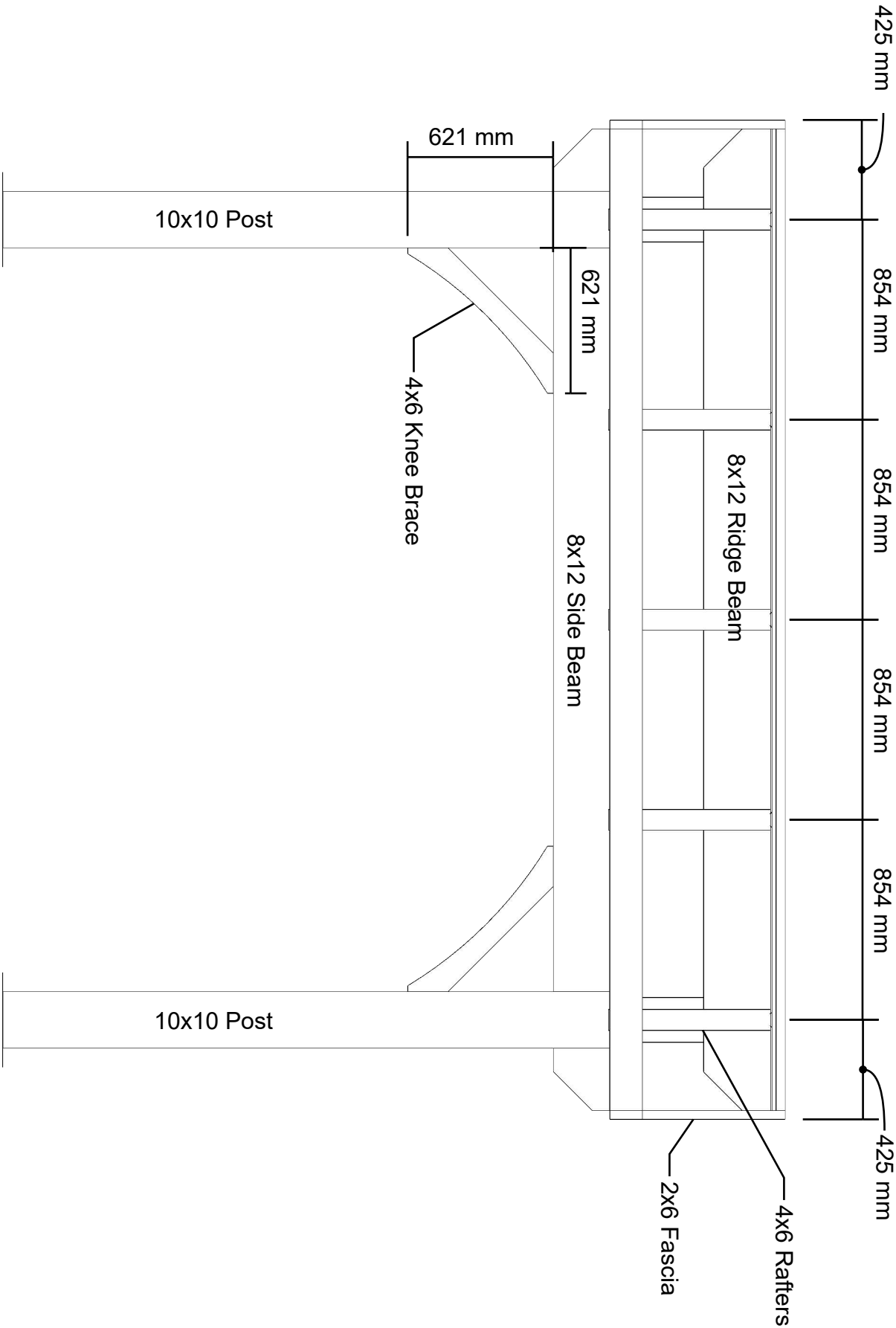
1 FOUNDATION PLAN
A5 SCALE: 1:24



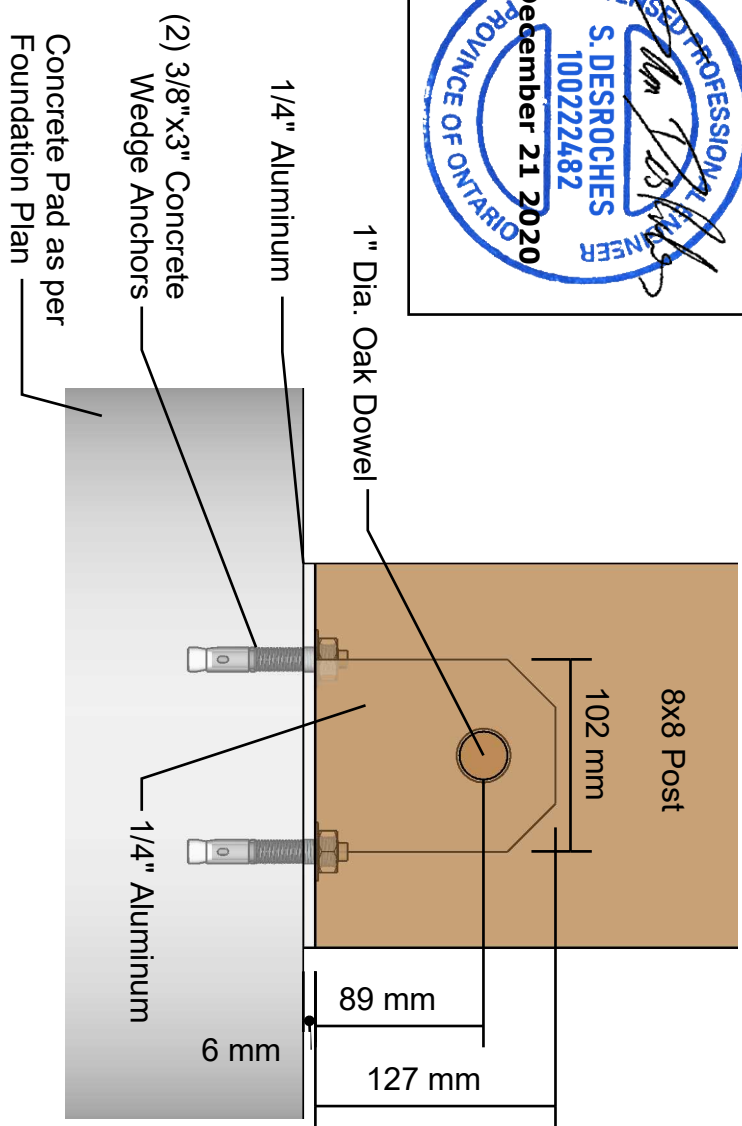
1 Plan View
A6 SCALE: 1:24



1 FRONT ELEVATION
A7 SCALE: 1:24

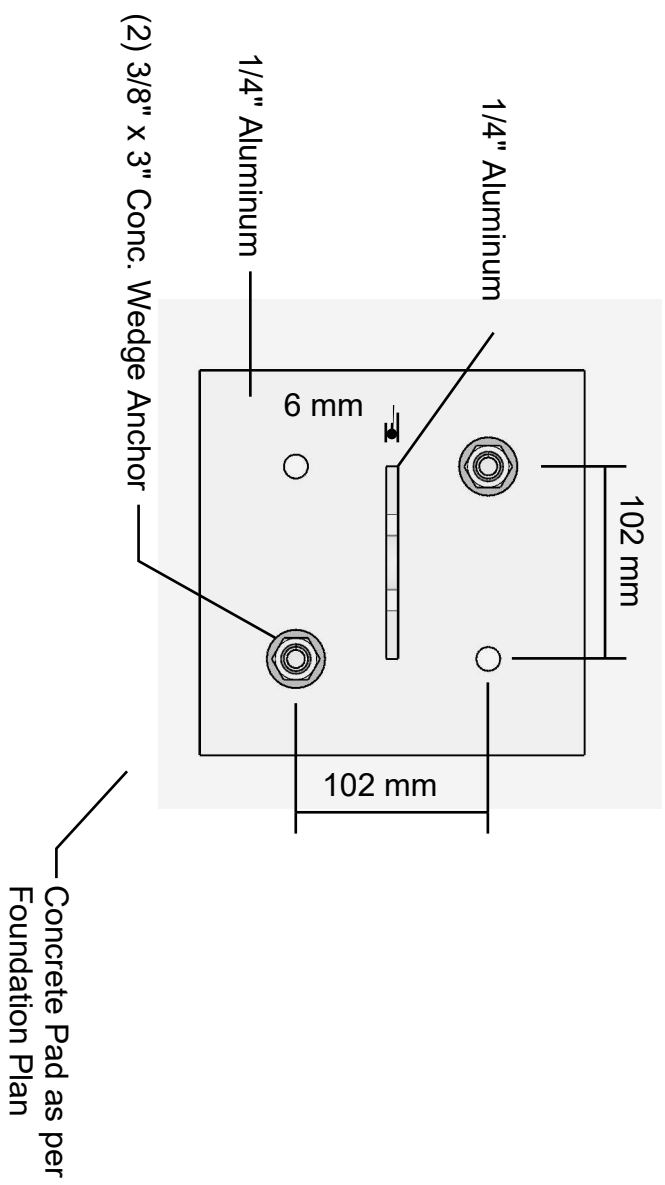


1 RIGHT ELEVATION
A8 SCALE: 1:24



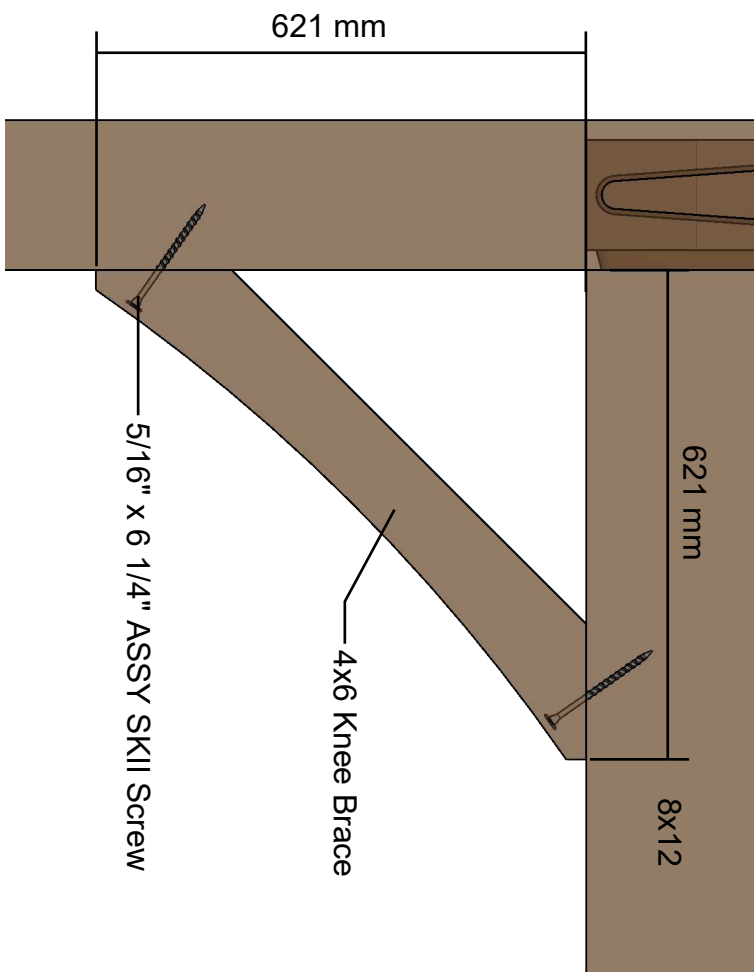
1 Base Plate Front Detail

D1 Scale: 1:4



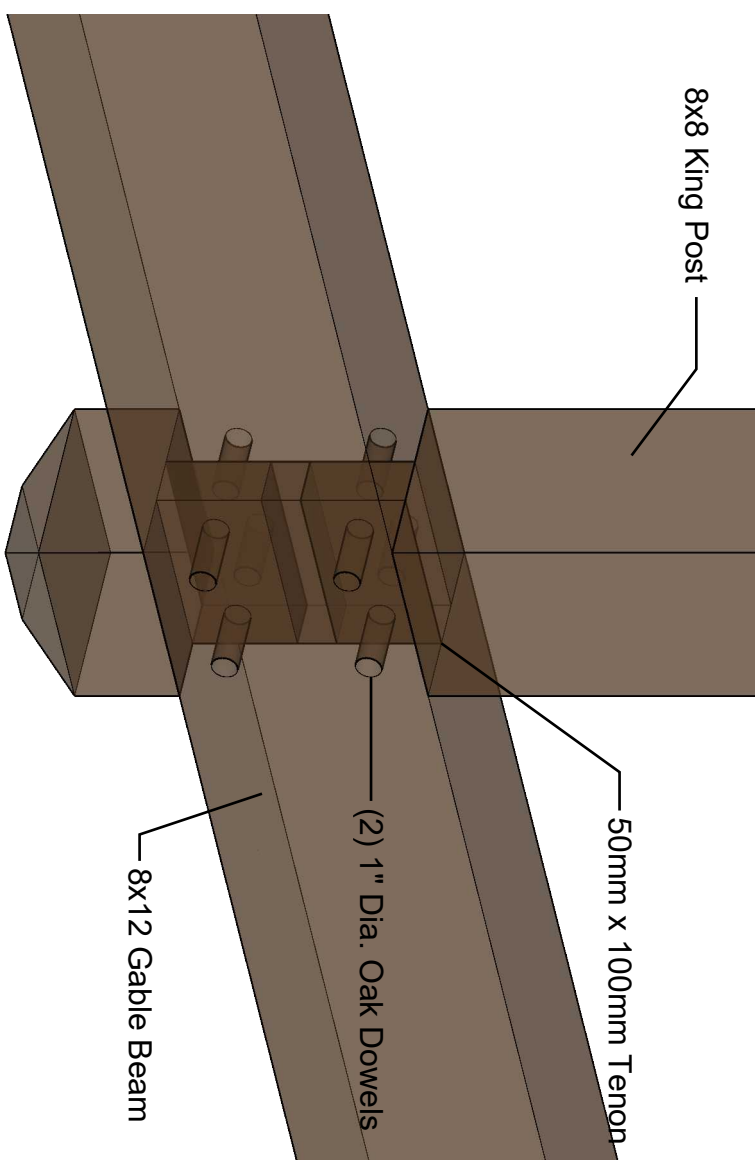
3 Base Plate Plan Detail

D1 Scale: 1:4



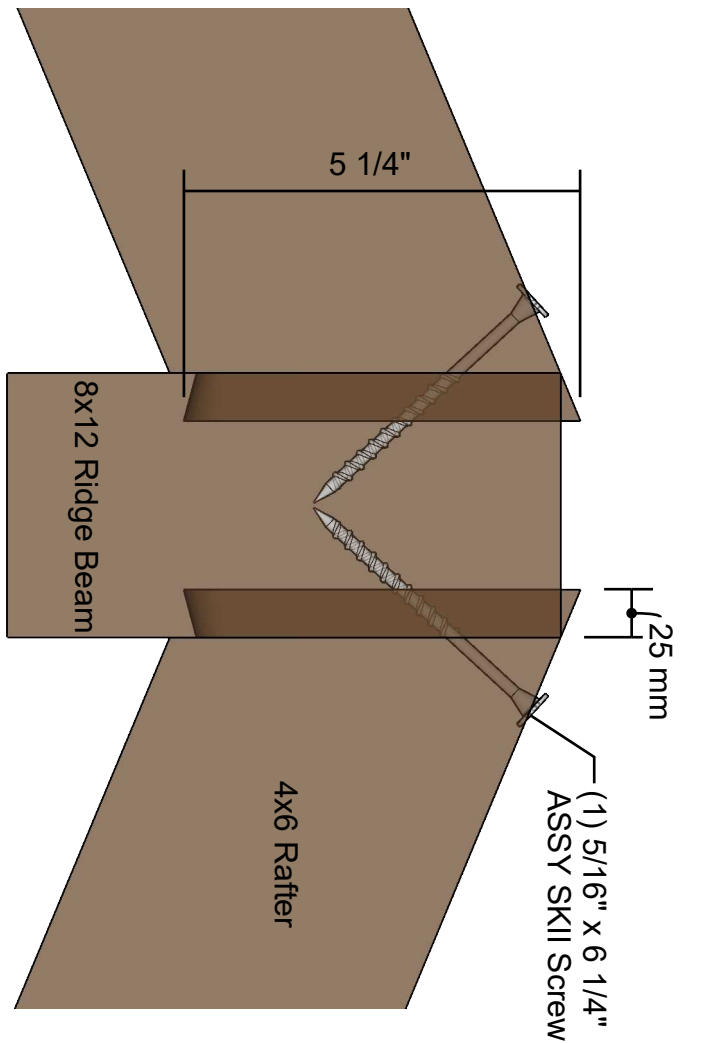
2 Knee Brace Detail

D1 Scale: 1:9.6

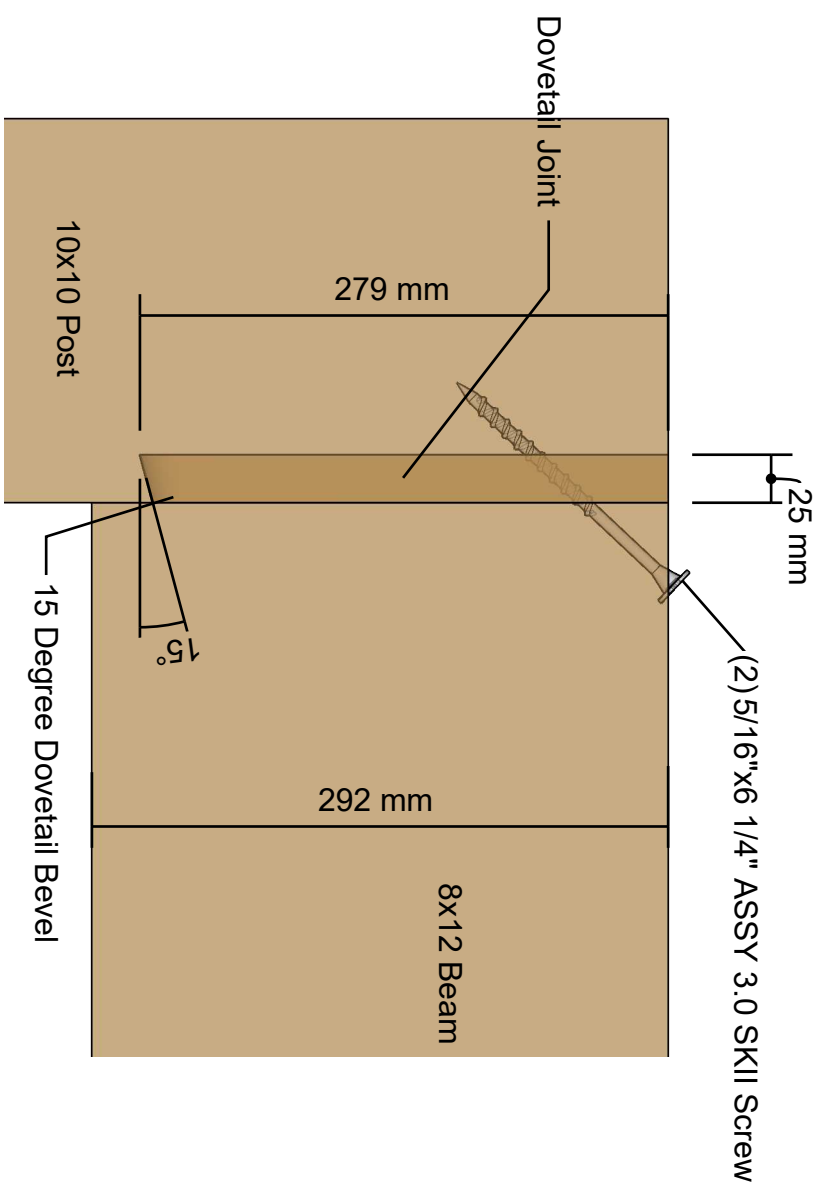


4 King Post to Gable Beam

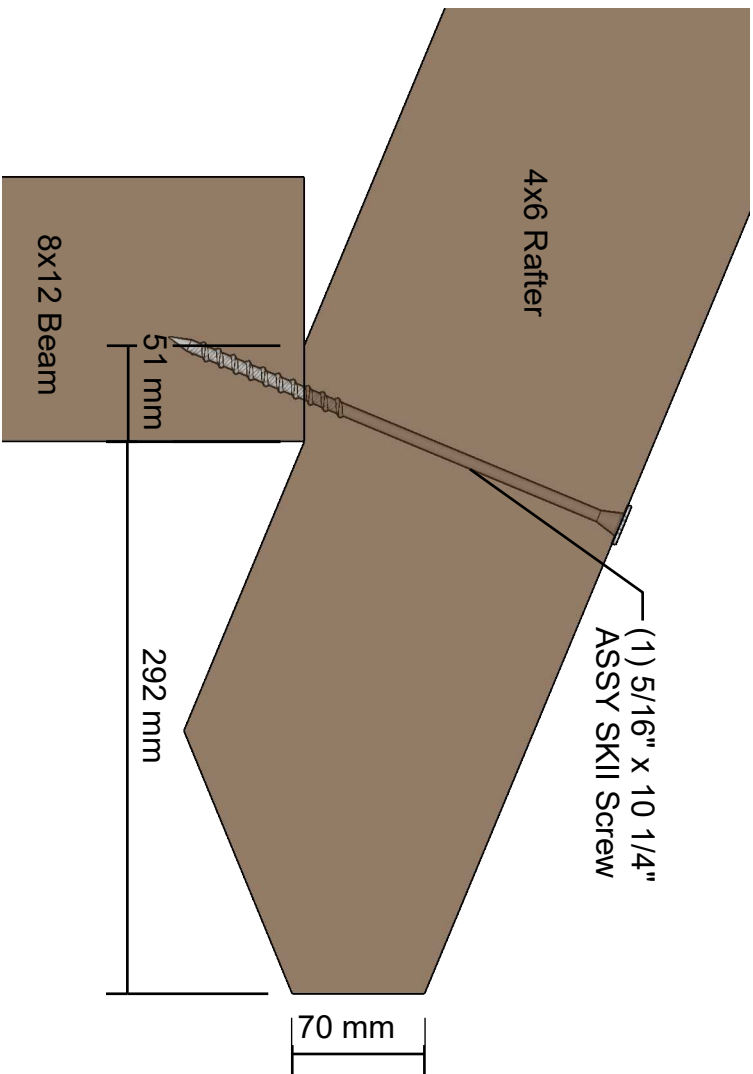
D1 NTS



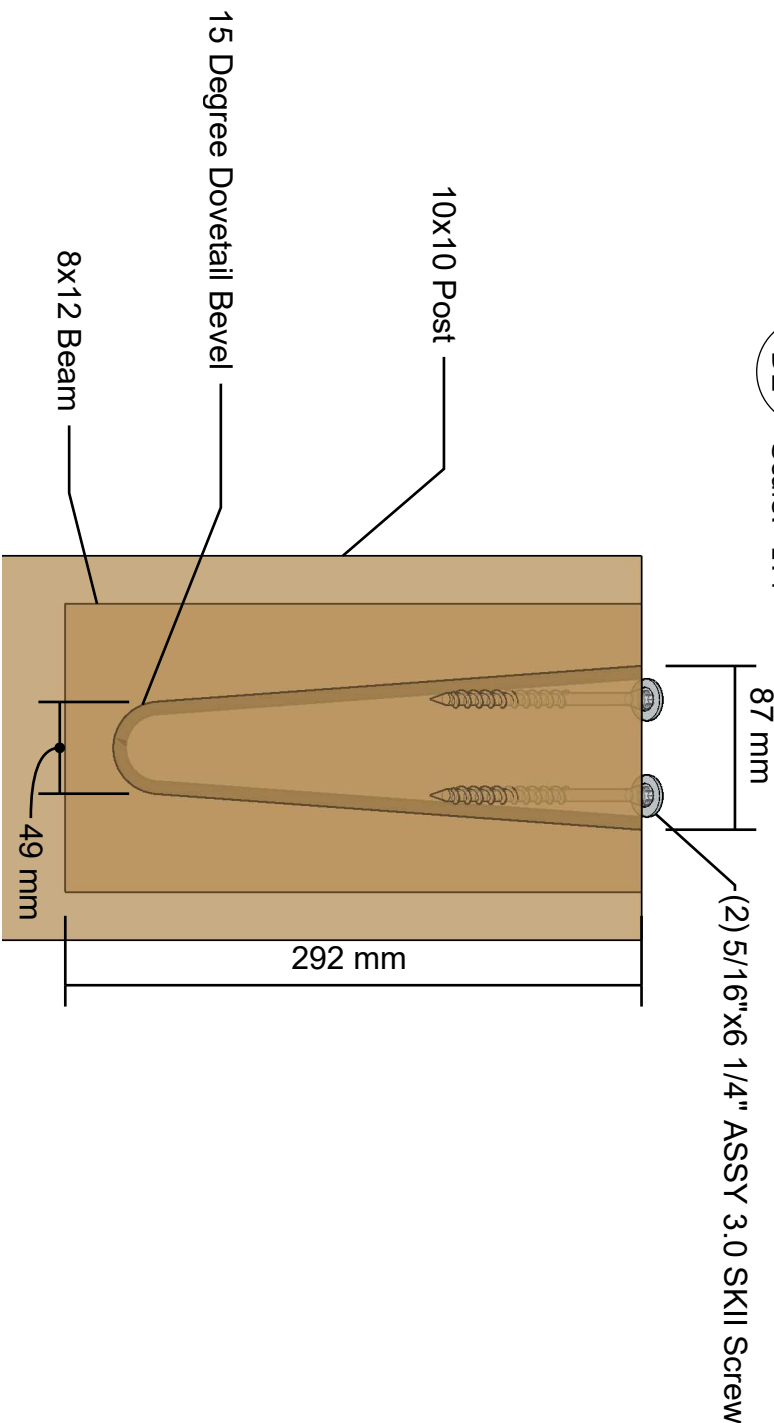
1 Rafter to Ridge Detail
D2 Scale: 1:4



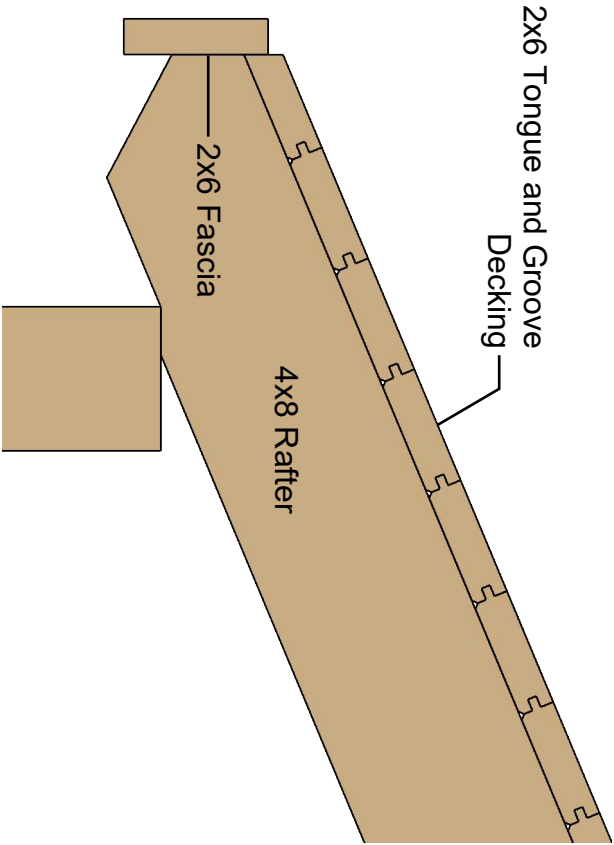
3 12" Deep Beam Detail 1
D2 Scale: 1:4



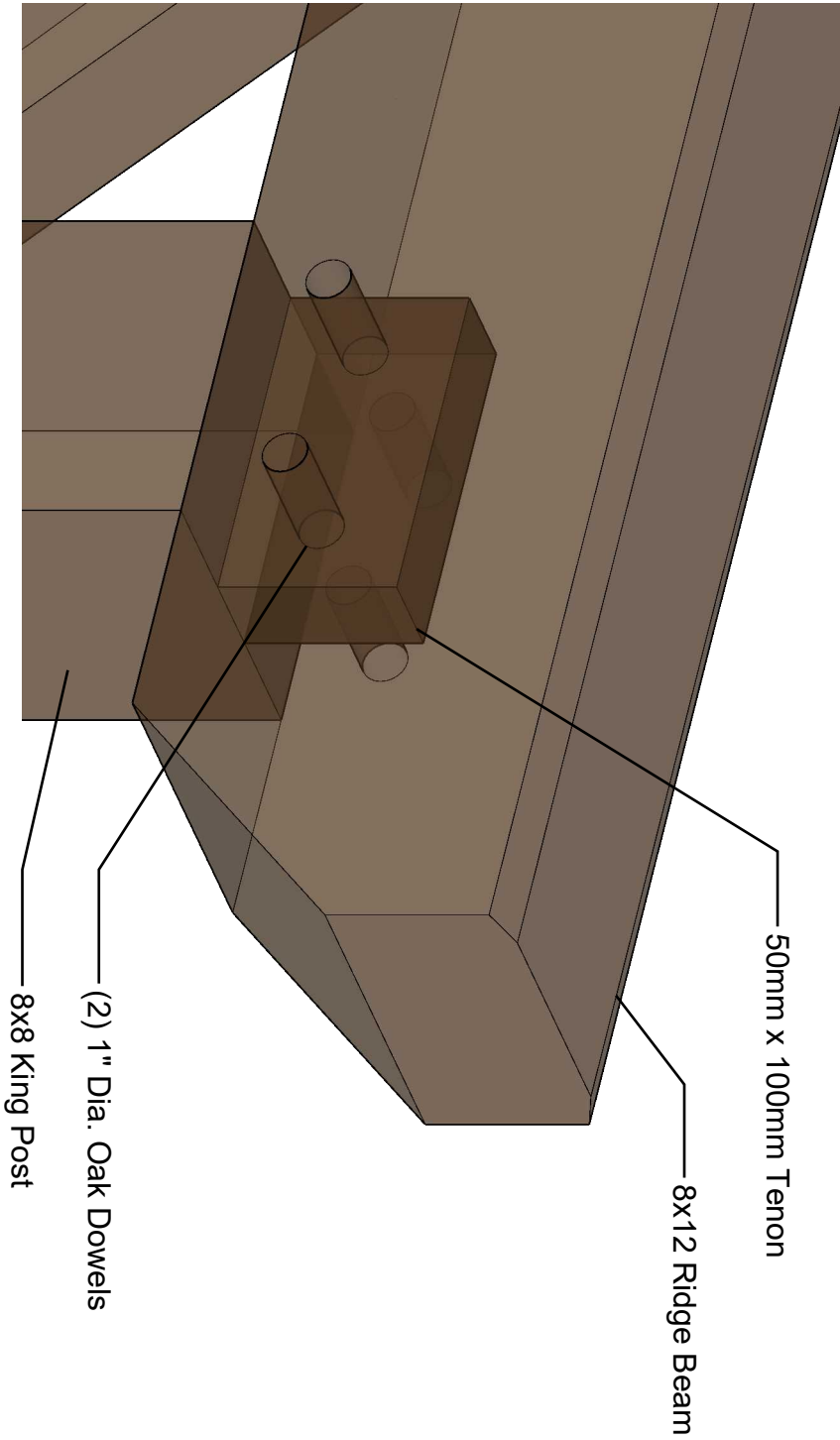
2 Rafter to Beam Detail
D2 Scale: 1:4



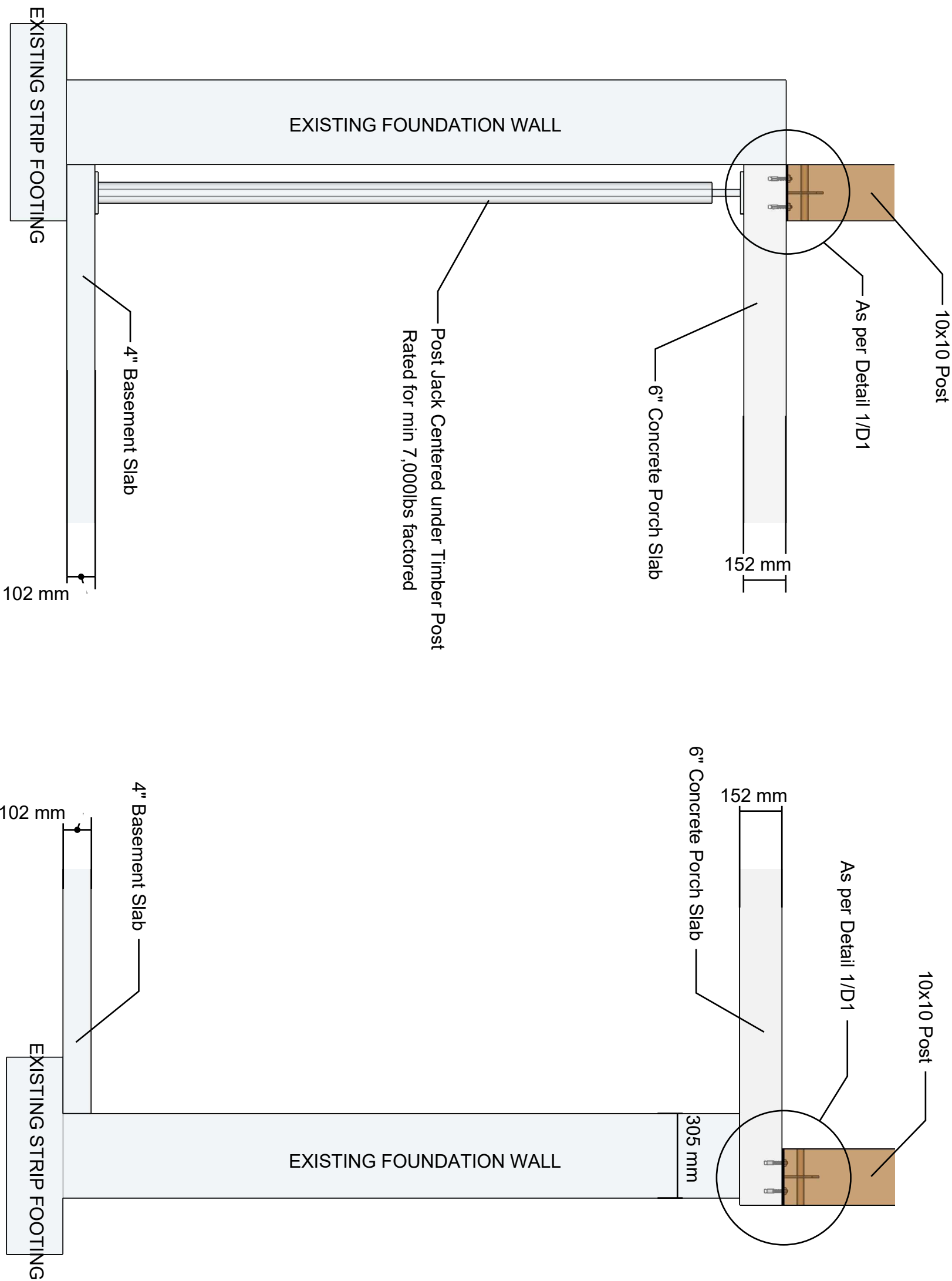
4 12" Deep Beam Detail 2
D2 Scale: 1:4



1 Tongue and Groove Detail
D3 Scale: 1:8



2 King Post to Ridge Beam
D3 NTS



1 Post Jack Footing Detail
D4 Scale: 1:16

2 Post Over Cold Cellar Wall Detail
D4 Scale: 1:16



LOADING

1. ROOF LOADING:
 - 1.1. SNOW LOAD = $C_b \times S_s + 0.4 \text{ kPa}$, NOT LESS THAN 1 kPa (20.9 psf), AS PER OBC 9.4.2.2
 $C_b = 0.55 \text{ kPa}$ FOR ROOF WIDTH > 4.3m
 $C_b = 0.45 \text{ kPa}$ FOR ROOF WIDTH <= 4.3m
 $S_s = 1\text{-IN-50}$ GROUND SNOW LOAD in kPa
 - 1.2. DEAD LOAD = 0.29 kPa (6 psf) (ROOF RAFTERS/ JOISTS OR TRUSS TOP CHORDS)
2. CEILING LOADING:
 - 2.1. ATTIC OR ROOF SPACE WITH LIMITED ACCESSIBILITY (CEILING JOISTS/TRUSS BOTTOM CHORDS), AS PER OBC 9.4.2.4. (1)
 - 2.2. TOTAL SPECIFIED LOAD = 0.35 kPa (7.3 psf)
3. FLOOR LOADING:
 - 3.1. LIVE LOAD = 1.92 kPa (40 psf),
BEDROOMS = 1.44 kPa (30 psf)
DEAD LOAD = 0.57 kPa (12 psf)
 - 3.2. ACCESSIBLE EXTERIOR PLATFORMS, AS PER OBC 9.4.2.3:
 - 4.1. LIVE LOAD = GREATER OF 1.92 kPa (40 psf) OR SNOW LOA
 - 4.2. GUARD LOADS: AS PER OBC 2012 4.1.5.14 (1)

GENERAL

1. DESIGN & CONSTRUCTION OF ALL WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING:
 - NATIONAL BUILDING CODE
 - ONTARIO BUILDING CODE
 - LOCAL REGULATIONS
 - OHSA REGULATIONS
2. THE STRUCTURAL ENGINEERING REVIEW BY WADDELL ENGINEERING LTD (WEL) IS FOR THE STRUCTURAL ITEMS NOTED ON THE STAMPED DRAWINGS FOR WHICH THERE ARE NO ONTARIO BUILDING CODE (OBC) PART 9 PROVISIONS.
3. THE SEALED DRAWINGS ARE ONLY FOR USE BY THE PARTY WITH WHOM WEL HAS ENTERED INTO A CONTRACT (THE CLIENT), AND ARE NOT TO BE USED BY OTHERS.
4. WEL'S REVIEW IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AT THE TIME OF OUR REVIEW. WEL IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THIS INFORMATION. IT IS THE CLIENT'S RESPONSIBILITY TO INFORM US OF ANY CHANGES, ADDITIONS OR CORRECTIONS REQUIRED ON OUR DRAWINGS.
5. THIS SPECIFICATION SHEET IS TO SUPPLEMENT THE STAMPED DRAWINGS AND OBC PART 9 REQUIREMENTS. PLEASE CONTACT THE LOCAL BUILDING DEPARTMENT OR WEL, IF FURTHER CLARIFICATION IS REQUIRED.
6. WEL ASSUMES THAT ALL REQUIRED INSPECTIONS WILL BE DONE BY THE LOCAL BUILDING DEPARTMENT. IF WEL IS REQUIRED TO PERFORM AN INSPECTION, CALL (519) 267-6789. ALLOW 24 HOURS NOTICE FOR ALL INSPECTIONS.
7. NO CHANGES SHALL BE MADE TO THE STAMPED DRAWINGS WITHOUT NOTIFYING WEL PRIOR TO MAKING THOSE CHANGES.
8. THE CLIENT SHALL CHECK AND VERIFY ALL SITE CONDITIONS AND MEASUREMENTS, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

WOOD-FRAME CONSTRUCTION

1. ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23 U.N.O. ON THE STAMPED DRAWINGS.
2. ALL STRUCTURAL COMPOSITE LUMBER (SCL) SHALL BE 2.0E WITH Fb=2950 OR BETTER, FASTEN MULTIPLE SCL BEAMS AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 3" MIN. BEARING LENGTH AT ENDS, U.N.O.:
3. ALL PRE-ENGINEERED SYSTEMS (I.E. ROOF TRUSSES, FLOOR JOISTS, ETC.) ARE TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER OF ONTARIO. PROVIDE LAYOUTS AND STAMPED DRAWINGS TO WEL AND THE LOCAL BUILDING DIVISION.
4. ENSURE THE EXTERIOR WALLS ARE BRACED AS PER OBC 9.23.10.2 TO PROVIDE LATERAL SUPPORT FOR THE BUILDING.
5. PROVIDE SUFFICIENT LATERAL SUPPORT FOR THE TOP OF ALL DROPPED BEAMS AND LINTELS TO PREVENT LATERAL TORSIONAL BUCKLING.
- 5.1. AN EXAMPLE OF SUFFICIENT LATERAL SUPPORT IS (2) 3 1/4" NAILS PER JOIST FOR LEDGER STRIP TO WOOD BEAM CONNECTION (AS PER OBC TABLE 9.23.3.4).
6. ALL WOOD COLUMNS SHALL CONFORM TO OBC 9.17 U.N.O. PROVIDE A BUILT-UP WOOD STUD COLUMN EQUAL TO THE WIDTH OF BEAM/GIRDER TRUSS UNDER ALL BEAM/GIRDER TRUSSES MIN. U.N.O. CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS, BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
7. ALL LINTELS TO HAVE 1 JACK STUD, 1 KING STUD AT ENDS U.N.O.
8. ALL WOOD SHALL BE NO. 2 SPRUCE OR BETTER.
9. ALL GUARDS SHALL CONFORM TO OBC 9.8.8 AND SUPPLEMENTARY STANDARD SB-7 U.N.O.

MATERIALS

1. MATERIALS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS U.N.O. ON THE STAMPED DRAWINGS:
 - CONCRETE
 - OBC 9.3.1
 - CSA G30
 - REINFORCING STEEL
 - OBC 9.23
 - LUMBER & WOOD PRODUCTS
 - OBC 9.23.4.3
 - STEEL BEAMS
 - OBC 9.17
 - STEEL COLUMNS
 - CAN/CSA-G40.21
 - ANCHOR BOLTS, STEEL PLATES & ROLLED SECTIONS
 - CAN/CSA-G40.21M-350W
 - CAN/CSA-G40.21M-300W
 - STEEL HSS & W-BEAMS
 - CAN/CSA-G40.21M-300W
 - ALL OTHER STEEL
 - ASTM A325
 - STRUCTURAL BOLTS

FOOTINGS AND FOUNDATIONS

1. ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO OBC 9.15 UNLESS NOTED OTHERWISE (U.N.O.) ON THE STAMPED DRAWINGS.
2. FOOTINGS TO BEAR ON SOUND SUB-GRADE SUITABLE FOR 95 kPa (2000 psf) ALLOWABLE SOIL BEARING CAPACITY. THE CLIENT IS TO INFORM WEL IF THE REQUIRED BEARING CAPACITY CANNOT BE ACHIEVED.
3. FOUNDATION WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED FOR THE LOADS PROVIDED

STRUCTURAL STEEL

1. ALL WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND CONFORM TO CSA STANDARD W59.
2. PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT LATERAL TORSIONAL BUCKLING. SUFFICIENT LATERAL SUPPORT EXAMPLES:
 - 2.1. DROPPED STEEL BEAM - AS PROVIDED IN OBC 9.23.4.3 (3). OR A 2x6 TOP PLATE w/ 3/8" THRU BOLTS c/w NUTS & WASHERS OR HILTI X-U FASTENERS @ 24" o.c., STAGGERED INTO THE TOP FLANGE & (2) 3 1/4" NAILS FROM EACH JOIST INTO THE TOP PLATE.
 - 2.2. FLUSH STEEL BEAM - SOLID BLOCKING (2x LUMBER AND PLYWOOD) BOLTED TO THE BEAM WEB WITH 1/2" DIA. THRU BOLTS AT 16" o.c., STAGGERED TOP AND BOTTOM AND APPROVED FACE MOUNT HANGERS FOR THE JOIST TO BLOCKING CONNECTION.
3. WHERE A STEEL PLATE SUPPORTING MASONRY VENEER IS SPECIFIED, WELD TO THE TOP OR BOTTOM FLANGE OF THE BEAM WITH (2) ROWS OF 2" LONG FILLET WELDS @ 12" o.c. MIN., STAGGERED.
4. ALL STEEL COLUMNS ARE TO BE Laterally supported TOP & BOTTOM (I.E. BY CONCRETE SLAB ON GRADE, (2) 3/8"Ø BOLTS OR 2" OF 1/4" FILLET WELD MIN.); CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS, BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).

ROOF AND CEILING FRAMING

1. ALL ROOF AND CEILING FRAMING SHALL CONFORM TO OBC 9.23.13 U.N.O. ON THE STAMPED DRAWINGS.
2. ALL ROOF RAFTERS/JOISTS AND CEILING JOISTS SHALL CONFORM TO THE SPANS SHOWN IN OBC PART 9 TABLES A-3 TO A-7.
3. WHERE REQUIRED, PROVIDE INTERMEDIATE SUPPORT FOR ROOF RAFTERS/JOISTS AS PER OBC 9.23.13.7.
 - 3.1. WEL ASSUMES THAT COLLAR TIES WILL BE USED TO PROVIDE INTERMEDIATE SUPPORT INSTEAD OF STRUTS OR DWARF WALLS U.N.O. (I.E. ALL ROOF RAFTERS/JOISTS BEAR ON EXTERIOR WALLS ONLY AND INTERIOR WALLS SUPPORT CEILING JOISTS ONLY U.N.O.).
 4. WHERE THE RIDGE IS UNSUPPORTED, ROOF RAFTERS/JOISTS ARE TO BE TIED TO THE CEILING JOISTS (OR SOLID BLOCKING AT 3'-11" o.c. MAX.) AT THEIR BASE AND NAILED AS PER OBC TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT.
 5. OVER-FRAMED AREAS ARE TO BE SUPPORTED ON LOWER ROOF RAFTERS/JOISTS BY 2x4 STRUTS @ 24" EACH WAY MIN., U.N.O.
 6. WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH OBC 9.23.13.11, OR PART 4 IF THEIR SPAN EXCEEDS 40'-0" (AS PER OBC 9.23.1.1).
 - 6.1. IF THE TRUSSES ARE DESIGNED IN ACCORDANCE WITH OBC PART 4, THE DESIGN OF UPLIFT ANCHORS SHALL BE PROVIDED BY THE TRUSS SUPPLIER ALONG WITH LAYOUTS AND STAMPED DRAWINGS.

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Public Correspondence (166 Kilmuir Gate) – Letter of Support

From: [REDACTED]
To: [Committee of Adjustment](#)
Cc: [REDACTED]
Subject: [External] Re: Minor Variance Application A158/20
Date: Wednesday, February 17, 2021 1:51:10 PM

To whom it may concern,

I am writing to you regarding Minor Variance Application A158/20.

We the residents / owners of 166 Kilmuir Gate have reviewed the request for relief from By-Law 1-88. The minor variances requested do not pose a negative impact on the community. We support this application.

Thank you,

Rose and Sal Giunta

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A158-20 - REQUEST FOR COMMENTS - 160 Kilmuir Gate, Woodbridge - (Full Circulation)

From: Development Services <developmentservices@york.ca>

Sent: January-25-21 3:47 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>

Subject: [External] RE: A158-20 - REQUEST FOR COMMENTS - 160 Kilmuir Gate, Woodbridge - (Full Circulation)

Good afternoon Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | Gabrielle.hurst@york.ca | www.york.ca